

**Phase I Architecture/History Survey and Phase II Evaluation
for Trunk Highway 149
Saint Paul, West Saint Paul, and Mendota Heights
Ramsey and Dakota Counties, Minnesota**

**MnDOT S.P. Nos. 1917-45, 6223-45
Federal Project Number SPR CR16(002)**

Authorized and Sponsored by:
Minnesota Department of Transportation

Prepared by:
**Emily Pettis, Principal Investigator
Mead & Hunt, Inc.
7900 West 78th Street
Minneapolis, MN 55439**

March 2017

THIS PAGE INTENTIONALLY LEFT BLANK

REPORT DOCUMENTATION PAGE	1. Report No.	2.	3. Recipient's Accession No.
4. Title and Subtitle Phase I Architecture/History Survey and Phase II Evaluation for Trunk Highway 149 Ramsey and Dakota County, Minnesota			December 2016
			6.
7. Author(s) Emily Pettis – Principal Investigator (History)			8. Performing Organization Rept. No.
9. Performing Organization Name and Address Mead & Hunt, Inc. 7900 West 78 th Street, Suite 370 Minneapolis, Minnesota 55439-2572			10. Project/Task/Work unit No.
			11. Contract (C) or Grant (G) No.
			(C)
			(G)
12. Sponsoring Organization Name and Address Minnesota Department of Transportation Transportation Building 395 John Ireland Boulevard St. Paul, MN 55155			13. Type of Report and Period Covered
			14.
15. Supplementary Notes			
16. Abstract (Limit: 200 words) The Minnesota Department of Transportation (MnDOT) proposes to improve Trunk Highway 149 (TH 149) in Ramsey and Dakota Counties. In December 2015 Mead & Hunt, Inc. (Mead & Hunt) was retained to complete a Phase I Architecture/History survey. A total of 307 properties located in the Area of Potential Effects (APE) were surveyed. Phase II Evaluations were prepared for 17 properties that may be eligible for inclusion in the National Register of Historic Places (National Register): 11 residences, a saloon, school, theater, automobile garage, country club, and TH 149/Dodd Road. This report is the result of the Phase I Survey and Phase II Evaluation prepared by Mead & Hunt. The Avery Ward Addams House (RA-SPC-3407) and Mears House (DK-MHC-035) are recommended eligible for listing in the National Register. The remaining properties are recommended not eligible for the National Register. In addition, the National Register-eligible Uppertown Historic District is in the APE. This report does not necessarily reflect the determination of the MnDOT Cultural Resources Unit or the concurrence of the Minnesota State Historic Preservation Office.			
17. Document Analysis a. Descriptors b. Identifiers/Open-Ended Terms c. COSATI Field/Group			
18. Availability Statement:	19. Security Class (This Report)	21. No. of Pages-	
	20. Security Class (This Page)	22. Price	

THIS PAGE INTENTIONALLY LEFT BLANK

Management Summary

The Minnesota Department of Transportation (MnDOT) proposes improvements to Trunk Highway (TH) 149 from W. 7th Street (TH 5) in Saint Paul, Ramsey County, to Interstate Highway (I-) 494 in Mendota Heights, Dakota County. The project has two separate IDs. SP 6223-20 covers work between W. 7th Street and George Street in Saint Paul, including the High Bridge (Bridge No. 62090).¹ SP 1917-45 covers work between George Street and I-494 in Saint Paul, West Saint Paul, and Mendota Heights. Both projects are included in this report.

TH 149 is concurrent with Smith Avenue in Saint Paul and West Saint Paul until its intersection with Dodd Road, where it runs concurrent with Dodd Road in Mendota Heights. The projects entail the resurfacing of TH 149; improving drainage, sidewalks, and pedestrian accessibility; constructing an additional left turn lane to provide access from westbound I-494 to southbound TH 149/Dodd Road; removing ash trees within the project limits; and replacing signals at the intersections of George Street, Annapolis Street, Dodd Road, and the I-494 north ramp terminal.² The projects are receiving Federal Highway Administration (FHWA) funds; thus, the undertakings are subject to review under Section 106 of the National Historic Preservation Act of 1966, as amended (Section 106).

In 2016 Mead & Hunt, Inc. (Mead & Hunt) was retained by the MnDOT Cultural Resources Unit (CRU) to complete a Phase I Architecture/History Survey (Phase I Survey) for the TH 149 improvement projects and a Phase II Evaluation of properties that are potentially eligible for inclusion in the National Register of Historic Places (National Register). The area of potential effect (APE) was delineated by MnDOT to encompass the first tier of properties 45 years of age or older, adjacent to roadway improvements.

The Phase I Survey, completed in February 2016, identified 307 historic-age properties within the APE. Of these, 17 were identified for Phase II Evaluation. Mead & Hunt's project team consisted of Principal Investigator Emily Pettis and architectural historians Katherine Haun Schuring, Kathryn Ohland, Shannon Dolan, Liz Boyer, and Jenna Rempfert.

As a result of the Phase II Evaluation, the Avery Ward Adams House and Norman B. Mears House are recommended as eligible for listing in the National Register. The brick house at 1549 Dodd Road, Mohawk Theater, Somerset Country Club, Somerset Elementary School, Theodore Johnson Apartment Building, Louis Farinacci House, house at 431 Smith Avenue North, William Heusler House, Anthony Waldman Saloon, Benjamin J. Haag House, Emil F. Henskl House, Phillips House, Smith Avenue Garage, Charles F. Staples House, and TH149/Dodd Road are recommended as not eligible for listing in the National Register.

A Phase IA archaeological literature search was completed for this project and is submitted as a separate stand-alone document.

¹ Bridge No. 62090, also referred to as the High Bridge, was constructed between 1895 and 1987. Therefore, it was not subject to this survey.

² Additional improvements in conjunction with this work on Annapolis Street and the High Bridge received a separate Section 106 review by MnDOT Cultural Resources Unit staff.

THIS PAGE INTENTIONALLY LEFT BLANK

Table of Contents

	Page
1.0 Introduction	1
1.1 Location and purpose of survey	1
1.2 Project description.....	1
2.0 Methods and Research Design.....	3
2.1 Objectives	3
2.2 Survey methodology	3
2.3 Area of Potential Effects	3
3.0 Literature Search.....	5
3.1 Research	5
3.2 Previously surveyed or previously evaluated properties within the APE	5
3.3 Historic context.....	7
3.3.1 Settlement	7
3.3.2 Education	13
3.3.3 Recreation	14
4.0 Results	17
4.1 Key project personnel and survey date.....	17
4.2 Summary of historic-age properties within the APE	17
4.3 Phase I survey results.....	17
4.4 Phase II survey results.....	309
4.4.1 Louis Farinacci House	310
4.4.2 431 Smith Avenue North.....	323
4.4.3 Theodore Johnson Apartment Building	332
4.4.4 Smith Avenue Garage.....	341
4.4.5 Anthony Waldman Saloon	351
4.4.6 William Heusler House.....	371
4.4.7 Avery Ward Adams House.....	380
4.4.8 Benjamin J. Haag House	393
4.4.9 Emil F. Henskl House	402
4.4.10 Arthur L. Phillips House	412
4.4.11 Mohawk Theater	425
4.4.12 Charles F. Staples House	445
4.4.13 Norman B. Mears House	461
4.4.14 Somerset Elementary School	475
4.4.15 Somerset Country Club.....	492
4.4.16 1549 Dodd Road	514
4.4.17 Dodd Road	529
Bibliography	559

List of Appendices

Appendix

- A Maps of Surveyed Properties

List of Tables

Table

1	Previously Inventoried Architecture/History Properties.....	6
2	Phase II Evaluation Results	309
3	Settlement-era Solid Limestone Buildings in Saint Paul.....	366
4	Saint Paul’s Oldest Homes	390

1.0 Introduction

1.1 Location and purpose of survey

The Minnesota Department of Transportation (MnDOT) proposes improvements to Trunk Highway (TH) 149 (concurrent with Smith Avenue and Dodd Road) from W. 7th Street (TH 5) in Saint Paul, Ramsey County, to Interstate Highway (I-) 494 in Mendota Heights, Dakota County. The work will be completed under two separate project IDs. SP 6223-20 covers work between W. 7th Street and George Street in Saint Paul, including the High Bridge. SP 1917-45 covers work between George Street and I-494 in Saint Paul, West Saint Paul, and Mendota Heights.

The projects will receive Federal Highway Administration (FHWA) funds; therefore, they must comply with Section 106 of the National Historic Preservation Act of 1966, as amended (Section 106). In 2016 Mead & Hunt, Inc. (Mead & Hunt) was retained by MnDOT to complete Phase I Survey and Phase II Evaluation in order to identify and evaluate properties that may be eligible for listing in the National Register of Historic Places (National Register) and to facilitate compliance with Section 106 review.

1.2 Project description

The projects entail the resurfacing of TH 149 between W. 7th Street (TH 5) in St. Paul and I-494 in Mendota Heights. Additional project work includes: improving drainage, sidewalks, and pedestrian accessibility; constructing an additional left turn lane to provide access from westbound I-494 to southbound TH 149/Dodd Road; removing ash trees within the project limits; and replacing signals at the intersections of George Street, Annapolis Street, Dodd Road, and the I-494 north ramp terminal. Additional improvements at Annapolis Street and the High Bridge were reviewed by the MnDOT Cultural Resources Unit (CRU) and are not included in this report.

THIS PAGE INTENTIONALLY LEFT BLANK

2.0 Methods and Research Design

2.1 Objectives

The objectives of the Phase I Survey and Phase II Evaluation were to identify historic-age architecture/history resources located within the Area of Potential Effects (APE) and determine if those resources are eligible for listing in the National Register.

2.2 Survey methodology

Historic-age properties were identified as those being at least 45 years of age. This age was selected so the survey will remain relevant in the event the project letting date is delayed. New or updated *Minnesota Architecture/History Inventory Forms* were prepared for the surveyed properties and submitted to the Minnesota State Historic Preservation Office (MnHPO). Project fieldwork and documentation were completed according to MnDOT CRU's Project Requirements (August 2015). Photographs of Phase I and Phase II properties were taken at different times of the year, which accounts for the varying visibility within the photographs included in the report and on the inventory forms.

Historic-age properties were reviewed to assess integrity and significance within the context of important historical themes in Saint Paul, West Saint Paul, and Mendota Heights. Properties that appear to possess significance were evaluated based on the *National Register Criteria for Evaluation*. Important historic themes within the APE include settlement, education, and recreation. These themes are discussed in Section 3.3.

2.3 Area of Potential Effects

The APE was delineated by MnDOT to encompass the first tier of properties adjacent to roadway improvements. Resources in the APE include residences, commercial buildings, schools, and recreational areas. Appendix A presents maps of the surveyed properties within the APE. See Figure 1 on page 8 for an overview map.

THIS PAGE INTENTIONALLY LEFT BLANK

3.0 Literature Search

3.1 Research

Primary and secondary sources were reviewed to gain an understanding of the historic context for properties within the APE. These sources provided information about the area's settlement and development patterns and historical information on the 17 properties within the APE identified for further study. Repositories consulted to obtain historical information include:

- Minnesota Historical Society Library
- Dakota County Historical Society
- MnHPO
- MnDOT
- University of Minnesota Libraries
- City of Mendota Heights

Primary and secondary sources include:

- MnHPO inventory forms and survey reports
- Plat maps, atlases, and aerial images
- Previously prepared contexts, community surveys, and nominations
- County and city histories
- Dakota County subject files:
 - Schools
 - Parks and recreation
 - Dodd Road
- Minnesota Federal Relief Context
- Online resources

3.2 Previously surveyed or previously evaluated properties within the APE

Mead & Hunt reviewed the MnHPO inventory files and identified 23 previously inventoried properties and one district within the APE (see Table 1). The Uppertown Historic District (District) was initially identified in 1983 and subsequently evaluated in 1992 with a period of significance spanning from 1849 to 1893. MnHPO concurred with the 1992 recommendation and now deems the District a considered eligible finding (CEF). Properties fronting Smith Avenue North in the APE were included in the initial district boundary. Most recently, the District was revisited in 2011 by Mead & Hunt as part of a St. Paul community survey. At that time a recommendation was made to expand the District boundary. Although the period of significance was not formally defined as a result of the 2011 study, it includes residences constructed through the 1910s, which were identified as contributing.³

³ Jim Sazevich, *Uppertown Survey* (Saint Paul, Minn., 1992); Mead & Hunt, Inc., *Historic Resources Inventory: Historic Resources in Portions of the Payne-Phalen, Thomas-Dale, and West 7th Street Neighborhoods* (prepared for Historic Saint Paul, the Saint Paul Heritage Preservation Commission, and the Ramsey County Historical Society, July 2011), 156–157.

Due to the CEF, the District was not reevaluated as part of this project and did not receive an inventory form. Contributing properties in the District located adjacent to Smith Avenue North and within the project APE did receive an individual Phase II evaluation and updated inventory forms as part of this project. However, the contributing status within the District was not reevaluated as part of this project. Updated inventory forms were also prepared for noncontributing properties in the District.

During fieldwork, three previously inventoried properties were identified as nonextant: RA-SPC-3408, RA-SPC-5609, and RA-SPC-5611. One additional property, RA-SPC-5610, was recently relocated outside the project corridor.

Table 1. Previously Inventoried Architecture/History Properties

Inventory No.	Property Name	Address	Previous Eligibility Evaluation
DK-MHC-00001	Staples House	1160 Dodd Road	Not Previously Evaluated
DK-MHC-00005	Somerset School	1355 Dodd Road	Not Previously Evaluated
RA-SPC-1527	Phillips House	218 W. Goodrich Avenue	Contributing to an Eligible Historic District
RA-SPC-3405	Snelling House Hotel	425 Smith Avenue North	Contributing to an Eligible Historic District
RA-SPC-3406	Anthony Waldman House	445 Smith Avenue North	Contributing to an Eligible Historic District
RA-SPC-3407	Avery Ward Adams House	454 Smith Avenue North	Contributing to an Eligible Historic District
RA-SPC-3408	House	476 Smith Avenue North	Not Previously Evaluated
RA-SPC-3409	House	479 Smith Avenue North	Not Eligible
RA-SPC-3410	William P. Hagg House	489 Smith Avenue North	Non-contributing to an Eligible Historic District
RA-SPC-3411	Mohawk Theatre	627 Smith Avenue South	Not Previously Evaluated
RA-SPC-3412	House	671 Smith Avenue South	Not Previously Evaluated
RA-SPC-3413	Mona Condon House	677 Smith Avenue South	Not Previously Evaluated
RA-SPC-5304	Gem Theater/Salvation Army	401 W. 7 th Street	Not Previously Evaluated
RA-SPC-5588	Uppertown Residential Historic District	Vicinity of Forbes Avenue, Wilkin Avenue, Goodrich Avenue, and W. 7 th Street	Considered Eligible Finding
RA-SPC-5604	Theodore Johnson Apartment Building	424-430 Smith Avenue North	Contributing to an Eligible Historic District
RA-SPC-5605	House	431 Smith Avenue North	Contributing to an Eligible Historic District
RA-SPC-5606	Charles H. Miller House	433 Smith Avenue North	Noncontributing to an Eligible Historic District

Table 1. Previously Inventoried Architecture/History Properties

Inventory No.	Property Name	Address	Previous Eligibility Evaluation
RA-SPC-5607	Smith Avenue Garage	436 Smith Avenue North	Potentially Eligible; Noncontributing to an Eligible Historic District
RA-SPC-5608	William Heusler House	444 Smith Avenue North	Contributing to an Eligible Historic District
RA-SPC-5609	Palmer House	447 Smith Avenue North	Noncontributing to an Eligible Historic District
RA-SPC-5610	Anton Waldman Duplex	449-451 Smith Avenue North	Contributing to an Eligible Historic District (now relocated)
RA-SPC-5611	Anton Waldman House	457 Smith Avenue North	Noncontributing to an Eligible Historic District
RA-SPC-5612	Benjamin J. Haag House	458 Smith Avenue North	Contributing to an Eligible Historic District
RA-SPC-5613	Emil F. Henskl House	463 Smith Avenue North	Contributing to an Eligible Historic District
RA-SPC-5614	House	469 Smith Avenue North	Noncontributing to an Eligible Historic District

3.3 Historic context

Three important themes, which are listed below, were identified for inclusion in the historic context because they relate to historic-age properties within the APE.

3.3.1 Settlement

The TH 149 project corridor extends through both urban and suburban areas in cities in Ramsey and Dakota Counties, including portions of Saint Paul, West Saint Paul, and Mendota Heights (see Figure 1). The corridor is concurrent with two major roads in the area, Smith Avenue and Dodd Road, which comprised a primary transportation route from Dakota County to Saint Paul. Originating in downtown Saint Paul, Smith Avenue served as an arterial road spanning the Mississippi River after the construction of the High Bridge in 1889. As a result of this connection, the road became a major commercial thoroughfare south of the river in both Saint Paul's West Side Neighborhood and West Saint Paul.⁴ Similarly, the intersection of Smith Avenue and Dodd Road, in West Saint Paul, became an important commercial node in northern Dakota County. Dodd Road was constructed from Mendota to Saint Peter, Minnesota, beginning in 1853, making it one of the earliest roads in the state.

⁴ Mead & Hunt, Inc., *Saint Paul Historic Context Study: Neighborhoods at the Edge of the Walking City*, 2011, 14.

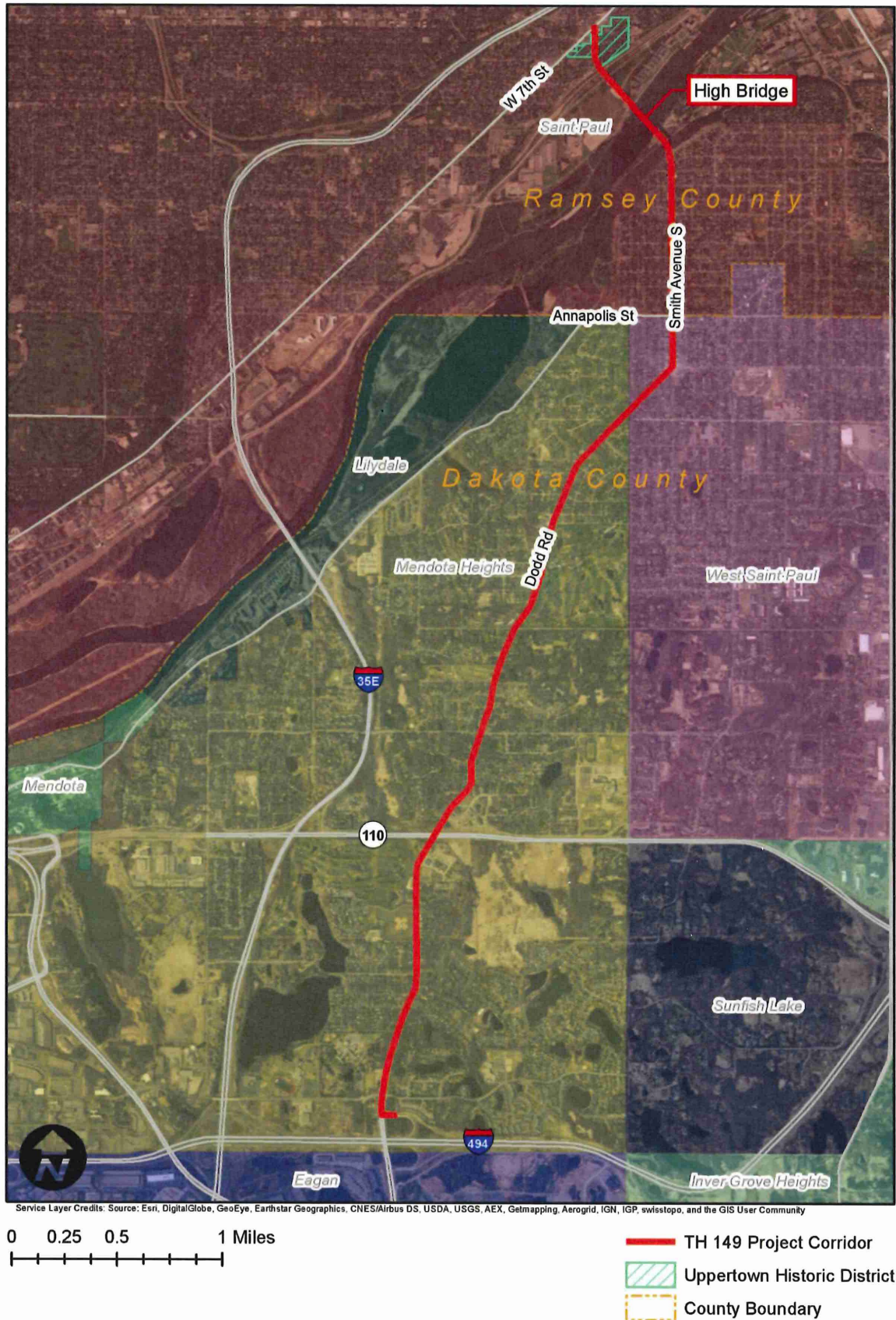


Figure 1. TH 149 overview map.

Saint Paul

The earliest development along the corridor is located near the northern terminus in the W. 7th neighborhood of Saint Paul, with properties dating to the 1850s and 1860s. Saint Paul was first settled in 1838 when three former soldiers from Fort Snelling—Edward Phelan, John Hays, and William Evens—claimed land along Dayton's Bluff in present-day downtown Saint Paul, between Eagle and Minnesota Streets. Other settlers followed and two steamboat landings were established approximately 1 mile apart on the northern shore of the Mississippi River. The landings were referred to as the Lower Landing, at the foot of present day Jackson Street, and the Upper Landing, at the foot of present day Chestnut Street (see Figure 2). As the city grew out from these points, the topography of the hills and bluffs lining the river defined settlement patterns.⁵

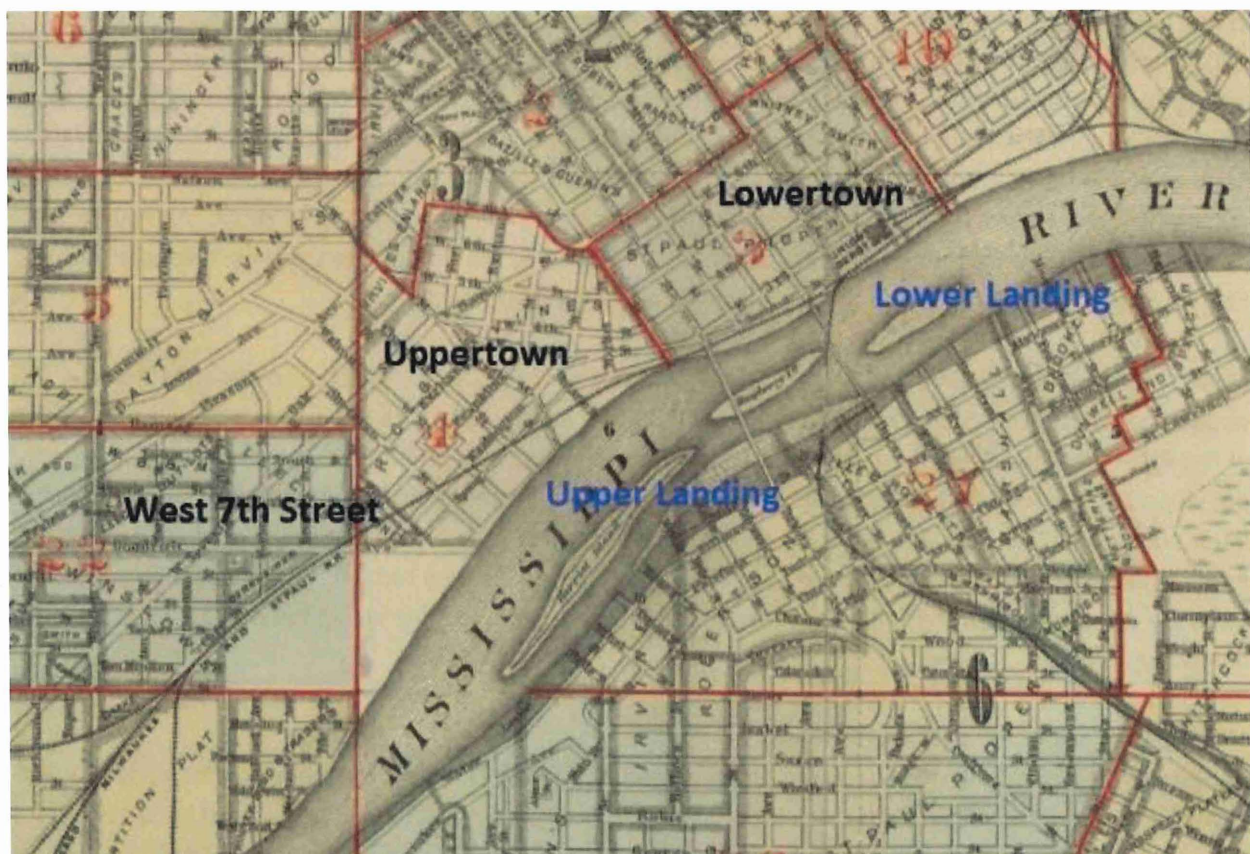


Figure 2. 1884 map of Saint Paul showing relation of early neighborhood (note: the red lines on this map were used for indexing and were not intended to represent neighborhood boundaries).⁶

As Saint Paul grew steadily in the 1840s the distance between the two landings led to the separate development of agricultural-based settlements around each site. First-generation log and limestone

⁵ Mead & Hunt, Inc., *Saint Paul Historic Context Study: Neighborhoods at the Edge of the Walking City*, 6.

⁶ G.M. Hopkins Co., "C.L. Real Estate Atlas of the City of Saint Paul, Minnesota" (Philadelphia: G.M. Hopkins Co., 1884).

residences gave way to frame residences in the 1840s as sawmills were constructed.⁷ By the end of the 1840s two distinct residential districts began to develop: Irvine Park in Uppertown, as the area around the Upper Landing came to be known, and Dayton's Bluff east of Lowertown, as the area around the Lower Landing came to be known.⁸ As development occurred, Lowertown emerged as the main commercial center while Uppertown became predominantly residential.⁹ The current project corridor is located within Uppertown, north of the Mississippi River.

Saint Paul was officially surveyed in 1847 and the initial plat covered the Lowertown area. In 1849 Henry Rice and John Irving platted Rice and Irving's Addition, which covered Uppertown. Saint Paul incorporated as a town in 1849 and was named capital of the newly designated Minnesota Territory. In 1854 Saint Paul was incorporated as a city and had a population of nearly 1,300 residents. As growth increased, the city transitioned away from an agricultural-based economy. With the arrival of the railroads in the 1850s and 1860s Saint Paul became a major shipping and transportation hub. First chartered in 1857, the Minnesota and Pacific Railroad, later renamed the Saint Paul and Pacific, was completed in the late 1860s. Other railroads soon followed and numerous rail lines were constructed across the city. Saint Paul also experienced a population explosion during this time, with as many as 500 immigrants arriving per day by the fall of 1854. Prior to the Civil War, residences, stores, schools, and public buildings were commonly one- and two-story, Greek Revival-style buildings with low-pitched, side-gable roofs and pedimented gables. By the early 1860s European-inspired architectural styles such as Italianate and French Empire gained favor in Saint Paul, as well as the Federal style.¹⁰

During the last three decades of the nineteenth century Saint Paul experienced another substantial population boom. By 1875 the population rose to 30,000 and the city doubled in area with the annexation of the West Side, the area across the Mississippi from downtown. The horse-car and streetcar lines developed in the 1870s and 1880s and opened suburban areas, such as the West Side, beyond the city's inner ring to development. Subsequent annexations in the 1880s extended the city's boundaries several times, establishing the geographical limits of Saint Paul largely as they remain today. Between 1880 and 1890 the population grew tenfold, which resulted in few undeveloped lots within the earliest residential neighborhoods.¹¹

W. 7th Street neighborhood

As Saint Paul grew in the mid-to-late-nineteenth century, the W. 7th Street neighborhood developed west from Uppertown along the road for which the neighborhood is named. The neighborhood includes the historic Uppertown settlement and is presently bounded by the Mississippi River on the South, downtown Saint Paul on the east, and Interstate Highway (I-) 35E on the north and west. Located near the

⁷ Thomas Schroeder and Bob Frame, "Limestone Properties of Saint Paul's West Seventh Neighborhood Thematic Nomination" (Saint Paul Minnesota, August 13, 2015), 3.

⁸ Mead & Hunt, Inc., *Saint Paul Historic Context Study: Neighborhoods at the Edge of the Walking City*, 7, 9.

⁹ Jeffrey A. Hess and Paul Clifford Larson, *St. Paul's Architecture: A History* (Minneapolis, Minn.: University of Minnesota Press in cooperation with the City of St. Paul Heritage Preservation Commission, 2006), 6.

¹⁰ Mead & Hunt, Inc., *Saint Paul Historic Context Study: Neighborhoods at the Edge of the Walking City*, 7–10.

¹¹ Mead & Hunt, Inc., *Saint Paul Historic Context Study: Neighborhoods at the Edge of the Walking City*, 16.

northeast end of the neighborhood, Smith Avenue extends roughly north-south from W. 7th Street over the High Bridge into Saint Paul's West Side neighborhood.

Fort Road, the primary route between Saint Paul and Fort Snelling, ran along the bluff line, veering north at Forbes Avenue (present-day Smith Avenue North) until 1858, when it was straightened to follow present-day W. 7th Street. This thoroughfare became the transportation and commercial spine of the neighborhood. Commercial development began along this route after the horse-car line was established in the 1870s. Construction of the High Bridge in 1889 along Smith Avenue directly connected the W. 7th Street neighborhood with the West Side neighborhood south of the river. Lots within the neighborhood were improved upon over time and include both residential and commercial buildings. The neighborhood was home to Saint Paul newcomers attracted to the area's large industries, including breweries, foundries, factories, and railroad shops.¹²

As one of Saint Paul's earliest neighborhoods, the W. 7th Street area contains some of the city's oldest buildings.¹³ The first homes were wood-frame, brick, or limestone dwellings influenced by popular Federal and Greek Revival architectural styles. Homes of the 1850s often displayed modest detailing and simple forms. From the 1870s through the 1890s larger frame or brick houses were constructed in the popular styles of the times, including Italianate, Queen Anne, and Colonial Revival. Multi-family dwellings were also constructed throughout the neighborhood in the late nineteenth and early twentieth centuries due to the high demand for housing.¹⁴ In addition, several existing homes threatened by development in other areas of Saint Paul, such as Lowertown, were moved to the neighborhood in the late 1890s to address the need for more housing.¹⁵ This practice occurred during other periods as well. Throughout the neighborhood many of the residences have now been converted to rentals and some have been subdivided into minimal living units.

West Side neighborhood

As the city of Saint Paul gained a foothold on the east side of the river in the 1840s, a few properties dotted the west bank of the Mississippi River. After the 1851 Treaty of Mendota, settlement on the west side of the river increased and developed as the independent city of West Saint Paul, which was eventually annexed by the City of Saint Paul.¹⁶ Now referred to as the West Side Neighborhood, it is bounded by the Mississippi River on the west, north, and east, and Annapolis Street on the south, which marks the border between Ramsey and Dakota Counties. Increased development occurred in the neighborhood during the 1880s and 1890s as a result of the construction of the High Bridge and full development of Saint Paul's earliest neighborhoods on the east bank of the Mississippi River.

¹² Mead & Hunt, Inc., *Saint Paul Historic Context Study: Neighborhoods at the Edge of the Walking City*, 14, 21.

¹³ Patricia Murphy and Susan Granger, *Final Report: Historic Sites Inventory of Saint Paul and Ramsey County 1980-1983* (Ramsey County Historical Society and St. Paul Heritage Preservation Commission, 1983), 92.

¹⁴ Mead & Hunt, Inc., *Saint Paul Historic Context Study: Neighborhoods at the Edge of the Walking City*, 21.

¹⁵ Review of Ramsey County Historical Society Historic Sites Surveys of 425 and 431 Smith Avenue North. Both buildings were moved to their present locations in 1899.

¹⁶ Robert Kuehn, "A History of West St. Paul" (West St. Paul State Bank, c 1962), 6–7.

The Upper West Side, or the area located atop the river bluff, developed as the home of the neighborhood's elite and middle classes. Prominent citizens who settled in this area tended to build their houses along the bluff overlooking the Mississippi River. The houses were typically large and designed in the styles popular in the period, such as Queen Anne, Italianate, and Second Empire. As the residential development expanded south and away from the bluff, houses tended to be smaller and exhibit less formal stylistic influences. This development continued into the first decades of the twentieth century. The mix of one- to two-story, vernacular, single- and multi-family dwellings were predominantly wood-frame buildings, with those constructed of stone and brick interspersed throughout the neighborhood. Although largely residential, commercial development occurred along the main thoroughfares, such as Smith Avenue South (originally Mohawk Avenue). The commercial properties consisted of primarily one- and two-story commercial buildings, such as grocery and drug stores. Entertainment venues, like the Mohawk Theater, were also present. The Cherokee Heights streetcar line, operating from 1890 through 1952, ran along Smith Avenue to the Ramsey/Dakota County border and contributed to the importance of the avenue as a commercial corridor. Although the West Side was largely developed by the early twentieth century, some infill mid-twentieth-century and modern buildings have been constructed.

West Saint Paul

The current city of West Saint Paul developed south of the West Side neighborhood (only the northwest corner is included within the project area). In 1858 both the initial city of West Saint Paul (now the West Side) and the township of West Saint Paul were established on the west bank of Mississippi River, south of downtown Saint Paul. The western section of the township became the current city of West Saint Paul in 1889, which is roughly bordered by Delaware Avenue on the west, Mendota Road/TH 110 on the south, TH 52 on the east, and Annapolis Street on the north. At the time of incorporation the city primarily consisted of small farms with scattered residences along major thoroughfares, particularly Dodd Road. The few commercial properties present at that time were also along this thoroughfare.¹⁷ The northern portion of the city developed in the early twentieth century following patterns similar to Saint Paul's West Side Neighborhood due to its proximity to that part of the city. As a result, this area of West Saint Paul developed earlier and gained a higher population than other areas of the city. The building stock is similar to that of the West Side neighborhood and consists of one- to two-story, vernacular, single- and multi-family, wood-frame dwellings dating to the 1920s and 1930s, with scattered residences dating to earlier and later decades. Most houses exhibit little stylistic influences, but some have Craftsman or Period Revival characteristics. Southern West Saint Paul exhibits more post-World War II (postwar)-era development, similar to the adjacent city of Mendota Heights.

Mendota Heights

Mendota Township, the predecessor to Mendota Heights, was established by Dakota County commissioners in 1858 and developed as an agricultural community. Many of the earliest pioneers first settled in the town of Mendota, an early trading post located on the Mississippi River across from Fort Snelling in the northwest corner of the township. Early settlers began clearing land for farming within the greater area after the 1851 Treaty of Mendota opened more land for settlement.¹⁸ The earliest farms and

¹⁷ Kuehn, "A History of West St. Paul," 11.

¹⁸ *History of Dakota County and the City of Hastings* (N.p.: North Star Publishing Company, 1881), 516.

residences were located along Dodd Road, as it was the major transportation route within the township at that time. The houses were mostly vernacular dwellings with a few large houses designed in the popular styles of the late nineteenth and early twentieth centuries, including Queen Anne and Colonial Revival. By 1900 Mendota Township was a pastoral getaway for urban residents with draws such as parks and country clubs.

Mendota Township remained agricultural well into the twentieth century.¹⁹ The township remained predominately rural even after World War II as other surrounding suburbs, such as Burnsville and Eagan, grew more rapidly. As suburban postwar development reached Mendota Township, farmers sold their land for the development of residential subdivisions and construction of scattered individual homes on subdivided lots. The township became the village of Mendota Heights in 1956 and a city in 1974. Along Dodd Road/TH 149 mid-century houses reflect the popular Ranch and Minimal Traditional styles of the era. Residential development continued into the late twentieth century, with additional subdivisions dating to the 1970s and later.²⁰ In more recent years, modern commercial development has occurred along Dodd Road, specifically at the major intersection with TH 110.

3.3.2 Education

As early as 1837 missionaries established the first schools in the area south of the Mississippi River, which eventually became parts of Ramsey and Dakota Counties. The earliest lessons were conducted in homes until log schoolhouses could be constructed. These buildings were replaced by frame structures, which also served as a gathering space for public meetings and social functions.²¹ In 1853 Dakota County commissioners divided the county into three initial school districts. In later years additional districts were added and by 1874 there were 91 school districts within Dakota County, with 3,977 students in 90 schoolhouses, most of which were wood-frame structures.²² Starting in the late nineteenth century school buildings were increasingly constructed of brick and stone as districts became more populated. The school consolidation movement of the early 1900s aimed to improve the quality of education for rural students.²³ At that time there were 111 school districts in Dakota County, the vast majority of which were rural.²⁴

As the twentieth century progressed student populations continued to steadily increase, with more drastic growth in enrollment numbers during the mid-century. These increased numbers, however, were more common in urban and suburban areas, such as Saint Paul, West Saint Paul, and Mendota Heights, while

¹⁹ David M. Schreier, *Picturing the Past: Events That Shaped Dakota County in the Twentieth Century* (N.p.: Dakota County Historical Society, 2003).

²⁰ Schreier, *Picturing the Past: Events That Shaped Dakota County in the Twentieth Century*, 334, 337; Dakota County, "Dakota County GIS," *Dakota County*, 2016, <http://gis.co.dakota.mn.us/DCGIS/>; "Historical Aerial Photograph, Dakota County," 1970, available in the Borchert Map Library, University of Minnesota; "Historical Aerial Photograph, Dakota County," 1957, available in the Borchert Map Library, University of Minnesota; "Historical Aerial Photograph, Dakota County," 1953, available in the Borchert Map Library, University of Minnesota.

²¹ Kuehn, "A History of West St. Paul," 46.

²² *History of Dakota County and the City of Hastings*, 211.

²³ Schreier, *Picturing the Past: Events That Shaped Dakota County in the Twentieth Century*, 98, 101.

²⁴ Schreier, *Picturing the Past: Events That Shaped Dakota County in the Twentieth Century*, 98.

rural areas saw a continual decrease in the student population. Between 1945 and 1955, 3,000 students were added to the Dakota County school system, with the West Saint Paul School District experiencing by far the greatest student increase due to increased suburban development in the postwar era. In contrast, by 1955 only 506 rural students remained.²⁵

The postwar era also saw school consolidation, which resulted in reorganization of districts, particularly those in rural areas. Several schools in northern Mendota Heights and West Saint Paul, including the Somerset Elementary School, became the Dakota County Consolidated School District No. 2 in 1949. In 1957 the district reorganized as Independent School District No. 197.²⁶ This district continues to serve students in northern Dakota County and encompasses Mendota Heights, West Saint Paul, Lilydale, Sun Fish, and portions of Eagan and Inver Grove Heights.²⁷ Several parochial and private schools, such as Convent of the Visitation School, which is located along the project corridor, also contribute to education with the county.

3.3.3 Recreation

The natural landscape of northern Dakota County was utilized for recreation during the late nineteenth and early twentieth centuries. Pleasure seekers flocked to the lakes for picnics and, prior to intense urban development, hills for sledding.²⁸ Euraka Park is one such example. It was located on the current Somerset Country Club site and served as a pleasure retreat for local residents as well as Saint Paul citizens who travelled south to rural Dakota County to recreate, using major thoroughfares and streetcar lines.²⁹

At that time, organized sports also gained prominence.³⁰ Golf debuted in the 1870s and became an increasingly popular sport in Minnesota and throughout the country into the twentieth century.³¹ Farmland provided an excellent foundation for early golf courses, which eventually became closely associated with country clubs.³² The 1910s and 1920s marked the national "Golden Age of Golf," when numerous country clubs were established with golf courses designed by well-known architects. During that time several clubs, including the Somerset and Mendakota Country Clubs, were created within northern

²⁵ Schreier, *Picturing the Past: Events That Shaped Dakota County in the Twentieth Century*, 126–127.

²⁶ "Somerset School Story Brought Up To Date," *Over the Years*, October 1978; Kuehn, "A History of West St. Paul," 44; Minnesota Independent School District No. 197 (West Saint Paul), "Agency History Record," n.d., Minnesota Historical Society.

²⁷ School District 197, "District Map," *School District 197*, 2016, <http://www.isd197.org/cms/one.aspx?pagelId=14920542>.

²⁸ Lois A. Glewwe, *West St. Paul Centennial 1889-1989* (West St. Paul Centennial Book Committee, 1989), 274–277.

²⁹ Glewwe, *West St. Paul Centennial 1889-1989*, 274.

³⁰ Bertha L. Heilbron, "Minnesotans at Play," *Minnesota History* 36, no. 3 (September 1958): 89.

³¹ Heilbron, "Minnesotans at Play," 89.

³² Richard J. Moss, *Golf and the American Country Club* (Urbana, Ill.: University of Illinois Press, 2001), 85; Heilbron, "Minnesotans at Play," 89.

Dakota County, in proximity to Saint Paul.³³ Due to the availability of rural land coupled with road accessibility, these courses were sited specifically on former farmland along Dodd Road.³⁴ A smaller par 3 golf course was also developed along Dodd Road, between these two country clubs, in 1961.

In the mid-twentieth century recreation activities became more formalized through the creation of parks departments, which began managing park land and organizing recreational activities. Recreational areas were retained as open land or developed as more formal city parks. One such example of a formal city park is High Bridge Park on Smith Avenue North, located at the northeast quadrant of the High Bridge. Additional green spaces, such as Albert Park at the intersection of Dodd Road and Smith Avenue South, also dot the landscape.³⁵

³³ Glewwe, *West St. Paul Centennial 1889-1989*, 274–275.

³⁴ Janice Olson Gawtry, "Dodd Road: The Story of a Frontier Highway" (Minnesota State University, 2012), 148, Dakota County Historical Society.

³⁵ Glewwe, *West St. Paul Centennial 1889-1989*, 274–279.

THIS PAGE INTENTIONALLY LEFT BLANK

4.0 Results

4.1 Key project personnel and survey date

Mead & Hunt's Principal Investigator for this project was Emily Pettis. The project team consisted of architectural historians Katherine Haun Schuring, Kathryn Ohland, Shannon Dolan, Liz Boyer, and Jenna Rempfert. Fieldwork and research were completed between February and September 2016.

4.2 Summary of historic-age properties within the APE

During the Phase I Survey 307 historic-age properties were identified and documented within the APE. The results of the Phase I Survey recommended 290 of these properties as not eligible for listing in the National Register because they do not appear to possess a significant association with a significant historic theme or person, and they do not possess architectural significance. Therefore, no further work is recommended for these properties.

Phase II evaluations were conducted for 17 properties to determine eligibility for listing in the National Register. As a result of the evaluations, two properties are recommended eligible for listing in the National Register:

- The Avery Ward Adams House is recommended eligible under *Criterion A: History* as a representative example of a settlement-era home in Saint Paul.
- The Norman B. Mears House is recommended eligible under *Criterion B: Significant Person* for his contributions to the United States military during World War II as well as his contributions to technological advancements in television. The house is also recommended as eligible under *Criterion C: Architecture* as a good example of a large-scale, 1930s, Colonial Revival house in Mendota Heights.

The remaining 15 properties were recommended not eligible for listing in the National Register.

4.3 Phase I survey results

The Phase I survey results begin on the next page. They are ordered by inventory number, beginning with properties in Dakota County followed by properties in Ramsey County. Property locations are identified on the maps of surveyed properties in Appendix A.

THIS PAGE INTENTIONALLY LEFT BLANK

Address 571 Mears Avenue

Common Name: House

SHPO Inventory No.: DK-MHC-022

City/Township Mendota Heights

Description

This two-story, side-gable house with a rectangular footprint was constructed in 1955. The house rests on a concrete block foundation, is clad with wide-lap aluminum siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a concrete stoop at the recessed entrance. An interior stone chimney is located at the roof ridge and an exterior brick chimney on the southwest elevation. A three-stall garage is attached to the northeast by a one-story addition. A large gabled-addition is located on the south roof slope of the garage and a one-story sun room addition is located on the northwest elevation. The second story of the house is a large addition. Windows consist of the original two-over-two, double-hung sash; replacement one-over-one and four-over-one, double-hung sash; and a fixed sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2270 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-023

City/Township Mendota Heights

Description

This two-and-one-half-story, L-shaped American Foursquare house was constructed in 1905. The house rests on a rock-faced, concrete block foundation, is clad in vinyl siding, and has a bellcast hip roof that is covered with asphalt shingles. It features a porch with a hip roof supported by Doric columns that extends across the north-facing facade. A historic one-story wing is located on the rear (east) elevation and a two-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a hipped dormer is located on the north, south, and west roof slopes. A one-story garage addition is located on the south elevation. Windows consist of replacement one-over-one, double-hung sash and two picture windows with transoms.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 1112 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-024

City/Township Mendota Heights

Description

This one-story Bungalow with a rectangular footprint was constructed in 1920. The house is clad with vinyl siding and has hip roof that is covered with asphalt shingles. The house features a projected bay and deck on the facade. A large addition is located on the south elevation. Windows consist of replacement one-over-one, double-hung sash; sliding sash; and single-light fixed. A one-story garage is located southeast of the house.

Historical Narrative

N/A

Significance

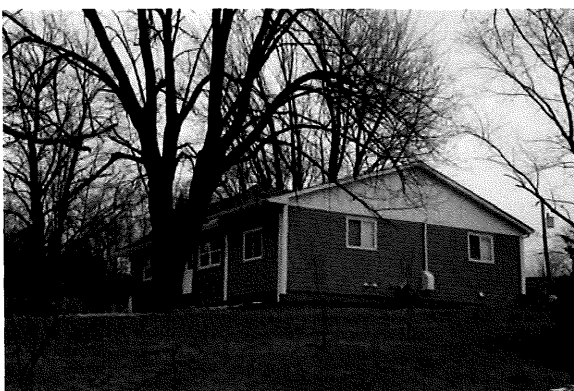
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2221 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-025

City/Township Mendota Heights

Description

This two-story American Foursquare house with a rectangular footprint was constructed in 1930. The house is clad in wood siding and has a hip roof that is covered with asphalt shingles. It features an enclosed, partial-width porch with a hip roof and an exterior brick chimney on the east-facing facade. A sunroom addition is located on the side (south) elevation. Windows consist of three-over-one, double-hung sash with simple wood surrounds and a picture window. The picture window appears to be an alteration.

Historical Narrative

N/A

Significance

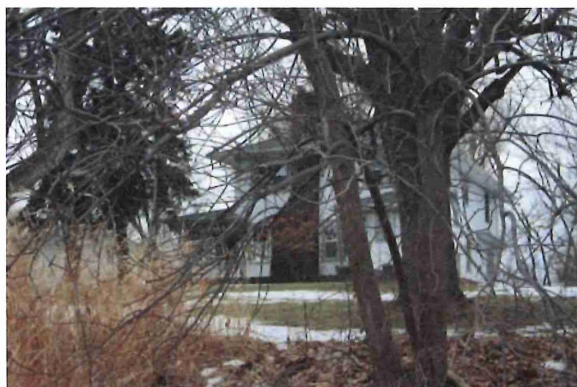
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2227 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-026

City/Township Mendota Heights

Description

This two-story Dutch Colonial Revival house with a rectangular footprint was constructed in 1931. The house is clad in vinyl siding and has a gambrel roof that is covered with asphalt shingles. It features an entrance vestibule with a gable roof and concrete stoop on the east-facing facade. A shed dormer is located on both the east and west slopes of the roof and a one-story, flat-roof addition is located on the rear (west) elevation. An exterior chimney is located on the side (south) elevation. Windows consist of replacement three-over-one and one-over-one, double-hung sash; casements; and a picture window. The picture window appears to be an alteration. A one-story garage is located to the northwest of the house.

Historical Narrative

N/A

Significance

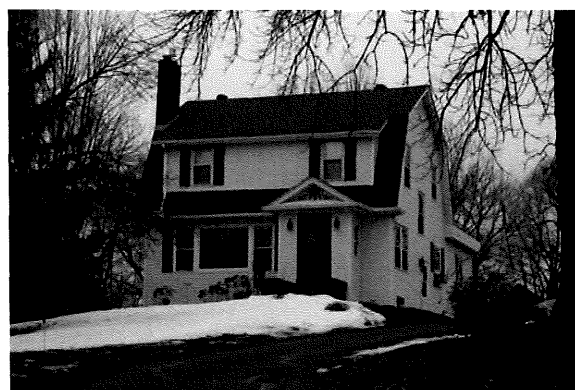
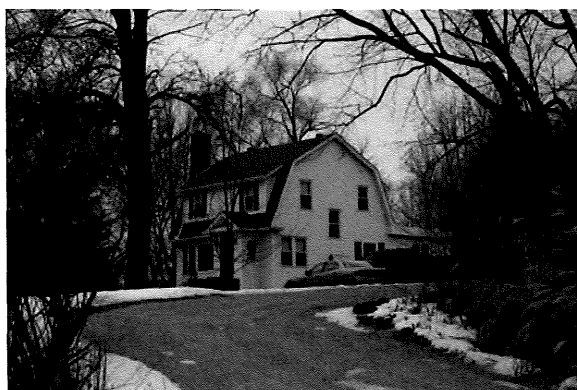
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2251 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-027

City/Township Mendota Heights

Description

This two-story American Foursquare house with a rectangular footprint was constructed in 1922. The house rests on a brick-faced foundation, is clad in brown, stretcher-bond brick, and has a hip roof that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. A historic one-story bay is located on the side (north) elevation. An interior brick chimney is located on the west roof slope. Windows consist of three-over-one, double-hung sash with stone sills and concrete lintels and nine-light fixed. Sections of replacement vinyl siding are located on the porch and one-story bay. A one-story, three-stall garage is located north of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 810 Wagon Wheel Trail

Common Name: House

SHPO Inventory No.: DK-MHC-028

City/Township Mendota Heights

Description

This one-and-a-half-story vernacular house with a rectangular footprint was constructed in 1898. The house rests on a non-visible foundation, is clad in replacement wide-lap wood siding, and has a front-gable roof with cornice returns that is covered in asphalt shingles. It features a one-story enclosed porch with one-over-one windows on the facade. A gable wall dormer is located on both the east and west elevations. A one-story projected bay is located on the west elevation and a one-story addition on the rear (south elevation). Window types consists of a diamond pane casements in the half-story and three-over-one, double-hung sash. A modern garage is located south of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person, and is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1770 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-029

City/Township Mendota Heights

Description

This one-and-one-half-story, T-shaped Minimal Traditional house was constructed in 1941. The house rests on a concrete foundation, is clad in stucco, and has a cross gable roof with cornice returns that is covered with asphalt shingles. It features a central entrance vestibule with a concrete stoop and a stone surround on the facade. A one-story wing with an exterior brick chimney is located on the side (north) elevation. A second chimney is located on the rear elevation. A basement level garage addition is located on the south elevation. Windows consist of one-over-one, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 1780 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-030

City/Township Mendota Heights

Description

This building is only partially visible from the public right-of-way due to dense vegetation. This one-story Ranch house with a rectangular footprint was constructed in 1953. The house is clad with wide-lap siding and stretcher-bond brick, and has a gable-on-hip roof with a wide eave overhang that is covered with asphalt shingles. The facade features a recessed bay. The front door is located within this bay. An interior brick chimney is located on the west roof slope. Windows consist of the one-over-one, double-hung sash and a fixed picture window.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not eligible



Address 2215 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-031

City/Township Mendota Heights

Description

This one-and-one-half-story vernacular house with an irregular footprint was constructed in 1941. The house rests on a poured concrete foundation, is clad in vinyl and stone siding, and has a side-gable roof that is covered with asphalt shingles. It features a front-gabled bay with a front-gabled addition and an exterior stone chimney on the east-facing facade. An arched wood door with a stone surround is located on the front-gabled bay. A historic one-story wing is located on the side (south) elevation and a garage addition is located on the side (north) elevation. Windows consist of single and multi-light casements; six-over-nine, double-hung sash with simple wood surrounds; and a skylight. The skylight is an alteration

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1119 Delaware Avenue

Common Name: House

SHPO Inventory No.: DK-MHC-032

City/Township Mendota Heights

Description

This one-and-one-half-story Tudor Revival house with a rectangular footprint was constructed in 1920. The house is clad in stucco and has a side-gable roof that is covered with asphalt shingles. The facade features a front-gabled, projected bay and a small entrance porch that is covered by an eyebrow dormer on the southeast corner. Half-timbering is located in all gable ends. A historic one-story wing is located on the south elevation and an exterior brick chimney is located on the north. An interior brick chimney is located at the roof ridgeline and a shed dormer is located on the east roof slope. Windows consist of replacement six-over-six, double-hung sash. A one-story garage is located west of the house.

Historical Narrative

N/A

Significance

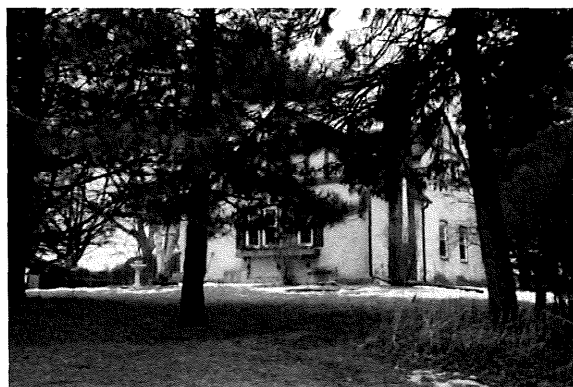
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1241 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-033

City/Township Mendota Heights

Description

This one-and-one-half-story Minimal Traditional house with a rectangular footprint was constructed in 1953. The house rests on a concrete block foundation, is clad with stretcher-bond brick and metal siding, and has side-gable roof that is covered with asphalt shingles. The facade features a concrete stoop with a metal railing and a brick knee wall iron rail and the original wood door. A slightly projected, single-car garage with an overhead door is located at the south end. An interior brick chimney is located on the east roof slope. Windows consist of one-over-one, double-hung sash; and a fixed picture window flanked by one-over-one, double-hung sash windows .

Historical Narrative

N/A

Significance

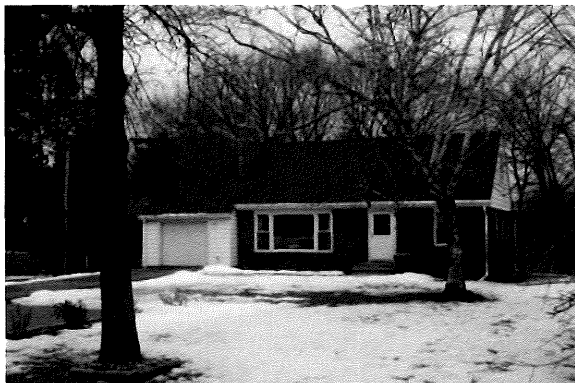
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1131 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-034

City/Township Mendota Heights

Description

This one-and-one-half-story T-plan Minimal Traditional house was constructed in 1952. The house rests on a concrete block foundation, is clad in metal siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a concrete stoop and the original wood door. A side entrance with a concrete stoop and an exterior brick chimney are located on the side (north) elevation. A one-story addition is located on the rear (west) elevation. Windows consists of one-over-one, double-hung sash and a multi-light picture window flanked by one-over-one, double-hung sash windows. Metal awnings are located above the facade windows. A one-stall garage is located northwest of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 572 Mears Avenue

Common Name: House

SHPO Inventory No.: DK-MHC-036

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1955. The house rests on a concrete block foundation, is clad with wood siding and stretcher-bond brick, and has a side-gable roof that is covered with asphalt shingles. The facade features a concrete stoop and a front-gabled bay. A n interior brick chimney is located at the roof ridgeline and a slightly projected two-car garage with an overhead door is located on the east end of the facade. Windows consist of casements, fixed, and a sliding sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 2371 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-037

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1956. The house rests on a concrete block foundation, is clad in vinyl siding, and has a side-gable roof that is covered in asphalt shingles. It features a slightly projected, two-stall garage with the original door on the north end of the house. An interior brick chimney is located on the east roof sloop. Windows types consists of replacement casements and a replacement picture window.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person, and is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2361 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-038

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1956. The house rests on a concrete block foundation, is clad in clapboard siding and brick, and has a side-gable roof that is covered in asphalt shingles. The house features a slightly projected, two-stall garage on the north end. An interior brick chimney is located at the roof ridgeline. Window types consists of the original two-over-two, double-hung sash and a four-over-four, double-hung vinyl window.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person, and is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2349 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-039

City/Township Mendota Heights

Description

This one-story Raised Ranch house with a rectangular footprint was constructed in 1956. The house rests on a concrete block foundation, is clad in vinyl, wood and brick, and has a hip roof with wide eaves that is covered in asphalt shingles. The facade is clad in both brick and vertical wood while the secondary elevations are clad in vinyl. It features a concrete stoop at the central entrance and a slightly recessed, two-stall garage on the north end. An interior brick chimney is located on the east roof slope. Window types consists of the replacement one-over-one, double-hung sash and a replacement picture window.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person, and is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2341 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-040

City/Township Mendota Heights

Description

This one-story, L-shaped Ranch house was constructed in 1953. The house is clad in stretcher-bond brick and has a hip roof with wide eaves that is covered with asphalt shingles. It features a concrete stoop at the entrance and a projected bay on the facade. A two-stall garage is located on the north end and a interior brick chimney the roof ridgeline. Window types consists of one-over-one, double-hung windows and a picture window.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person, and is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2075 Mendakota Drive

Common Name: Mendakota Country Club

SHPO Inventory No.: DK-MHC-041

City/Township Mendota Heights

Description

This 18-hole L-shaped golf course is bordered by 35E on the West, Highway 110 on the north, Dodd Road on the east, and housing development to the east and south. The holes are lined with deciduous trees and feature water features and bunkers. A modern, one-story clubhouse is located at the corner of the L-shaped course. The building is clad in stucco, wood, and stone, and has a side-gable roof. It features a central entrance with a gabled portico. Windows consist of fixed metal.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The course also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1105 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-042

City/Township Mendota Heights

Description

This property is only partially visible from the public right-of-way. This one-story house was constructed in 1940. The house is clad in split log veneer, cedar shingles, and stretcher-bond brick, and has a side-gable roof that is covered with asphalt shingles. The facade features a central entrance that is covered by a small front-gable roof. A one-story wing is located on the northeast elevation and a front-gabled projected bay is located on the rear (northwest) elevation. An exterior brick chimney is located on the southwest elevation. Windows consist of eight-over-eight and six-over-six, double-hung sash and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1111 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-043

City/Township Mendota Heights

Description

This one-and-one-half-story Tudor Revival house with a rectangular footprint was constructed in 1937. The house rests on a rock-faced concrete block foundation, is clad in stucco, and has a side-gable roof that is covered with asphalt shingles. The facade features a front-gabled projected bay and entrance vestibule, exterior stone clad chimney, and a gabled dormer with stone detailing at the projected bay and entrance. Multiple additions are located on the rear (northwest) elevation. A basement level screen porch is located on the northeast elevation and a large deck and projected bay are located on the southwest elevation. Windows consists of replacement casements. A modern garage with lean-to additions is located north of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1230 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-044

City/Township Mendota Heights

Description

This two-story side-gable house with a rectangular footprint was constructed in 1969. The house rests on a concrete foundation, is clad in vinyl siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a one-story porch with a colonnade and an attached garage on the north end. A one-story wing is located on the side (south) elevation and an exterior brick chimney is located on the north elevation. Windows consist of ribbons of casements and single casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 1240 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-045

City/Township Mendota Heights

Description

This two-story side-gable house with a rectangular footprint was constructed in 1964. The house rests on a concrete block foundation, is clad in wide-lap siding, and has a side-gable roof that is covered in asphalt shingles. It features two central doors and two-story covered walkway that is supported by square posts on the facade. An attached two-stall car is located on the north end and two interior brick chimneys are located at the roof ridge. Windows consists of original and replacement casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1129 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-046

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1955. The house rests on a concrete block foundation, is clad with stretcher-bond brick and wood siding, and has a hip roof with a wide eave overhang that is covered with asphalt shingles. The facade features a projected bay and a concrete stoop with a metal rail and the original wood door. An interior brick chimney located at the roof ridge line. Windows consist of the original two-over-two, double-hung sash; a one-over-one, double-hung sash; and a picture window flanked by two-over-two, double-hung sash windows.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1167 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-047

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1953. The house rests on a concrete block foundation, is clad in vinyl siding, and has a side-gable roof that is covered with asphalt shingles. The east-facing facade features a large, one-story, front-gabled addition with a wood deck at the entrance. The addition is predominately covered on the facade by a large, two-stall garage addition. An exterior brick and stone chimney is located on the south elevation. Windows consist of replacement one-over-one, double-hung sash and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2511 Condon Lane

Common Name: House

SHPO Inventory No.:DK-MHC-048

City/Township Mendota Heights

Description

This one-and-a-half-story Cape Cod house with a rectangular footprint was constructed in 1940. The house rests on a concrete block foundation, is clad in vinyl siding, and has a side-gable roof that is covered in asphalt shingles. The symmetrical facade features a central, one-story, front-gabled entrance bay with a concrete stoop and two gabled dormers. An exterior brick chimney is located on the north elevation. Windows consist of original six-over-six and eight-over-eight, double-hung sash. A modern garage is located to the south of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person, and is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1091 Delaware Avenue

Common Name: House

SHPO Inventory No.: DK-MHC-049

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1953. The house rests on a concrete block foundation, is clad in vinyl siding and stretcher-bond brick, and has a hip roof with a wide eave overhang that is covered with asphalt shingles. The east-facing facade features a slightly projected bay with a concrete stoop with a metal rail at the entrance and a single-stall garage with an overhead door on the south end. An interior brick chimney is located at the roof ridge line and a side entrance is located on the south elevation. Windows consist of the original two-over-two, double-hung sash; sliding sash; and picture.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1101 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-050

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1952. The house rests on a concrete block foundation, is clad with wide-lap siding and stretcher-bond brick, and has a hip roof with a wide eave overhang that is covered with asphalt shingles. The facade features a concrete stoop with a brick knee wall and planter and the original three-light door. An interior brick chimney is located near the roof ridge line. Windows consist of replacement one-over-one, double-hung sash; sliding sash; a fixed picture window flanked by one-over-one, double-hung sash; and a bowed window with four casements. A one-story modern garage is located southwest of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1883 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-051

City/Township Mendota Heights

Description

This one-and-one-half-story Minimal Traditional house with a rectangular footprint was constructed in 1950. The house rests on a concrete block foundation, is clad with metal siding, and features a side-gable roof that is covered with asphalt shingles. The symmetrical facade features a central, front-gabled, one-story entrance vestibule with a concrete stoop with a metal railing. A recessed, two-stall garage with an overhead door and cupola at the roof ridge line is located on the north elevation while a one-story wing topped with a balustrade is located on south elevation. An exterior brick chimney is located on the south elevation of this wing. An interior brick chimney is located at the roof ridge line. Windows consist of the original multi-light, double-hung sash.

Historical Narrative

N/A

Significance

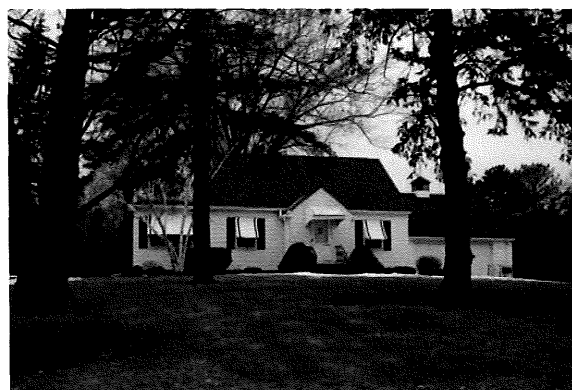
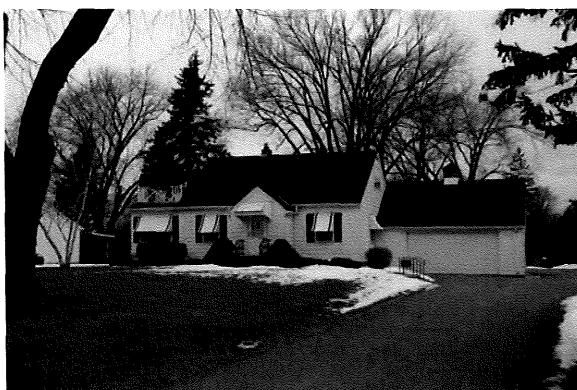
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1887 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-052

City/Township Mendota Heights

Description

This one-story, L-Shaped Ranch house was constructed in 1949. The house rests on a concrete block, is clad in wide-lap siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a front-gable projected bay with a side entrance and a concrete stoop with a metal railing. A two-stall, slightly recessed garage is located on the side (north) elevation and an exterior brick is located on the south elevation. A one-story addition is located on the rear (west) elevation. Windows consist of replacement one-over-one, double-hung sash; casements; and a picture window.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1899 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-053

City/Township Mendota Heights

Description

This one-story, T-Shaped Ranch house was constructed in 1950. The house rests on a concrete block foundation, is clad with asbestos siding, and has a side-gable roof that is covered with asphalt shingles. Vertical wood siding is located in the gable ends. The facade features a recessed porch that is supported by wood post. It has a concrete stoop with a stone knee wall and the original door on the south end. An interior stone chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash and a picture window. A one-story garage is located north of the house

Historical Narrative

N/A

Significance

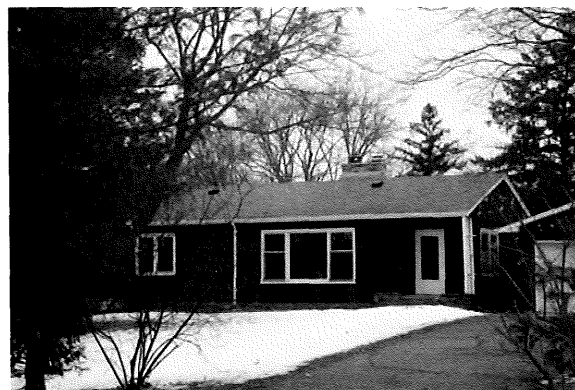
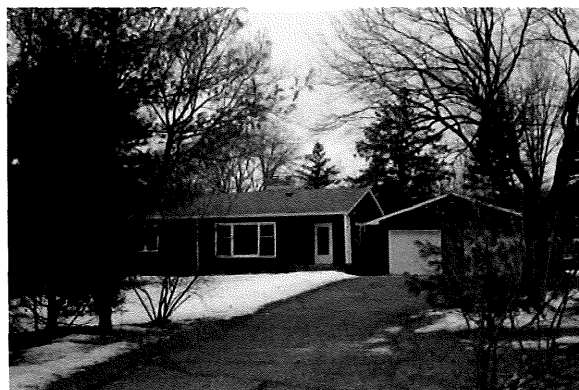
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2335 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-054

City/Township Mendota Heights

Description

This two-story, L-shaped Split Level house was constructed in 1970. The house is clad in vinyl siding and stretcher-bond brick, and has a hip roof with wide eaves that is covered with asphalt shingles. It features a partially raised basements that is faced in brick and a one-story garage wing that is connected to the south elevation of the house by a small, slightly recessed hyphen. The garage has a side-gable roof and a interior brick chimney at the roof ridgeline of the hyphen. A second interior brick chimney is located at on the north slope of the roof of the main block. Window types consist of paired and single casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person, and is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 772 Ridge Place

Common Name: House

SHPO Inventory No.: DK-MHC-055

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1953. The house is clad in brick and cedar siding, and has a side-gable roof with a wide eave overhang that is covered with asphalt shingles. Vertical wood siding is located in the gable ends. The facade features a concrete stoop at the recessed, original three-light door. A slightly projected, two-stall garage is located on the east end of the facade and is connected to the main block of the house by a one-story hyphen. The garage and hyphen have a slightly lower side-gable roof. An interior brick chimney is located at the roof ridge line. Windows consist of the original two-over-two, double-hung sash and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 765 Ridge Place

Common Name: House

SHPO Inventory No.: DK-MHC-056

City/Township Mendota Heights

Description

This one-story Raised Ranch house with a rectangular footprint was constructed in 1953. The house rests on a concrete block foundation, is clad with wide-lap siding and brick, and has a hip roof with a wide eave overhang that is covered with asphalt shingles. The facade features a concrete stoop and the original three-light door. A one-story wing is located on the east elevation and a tuck under garage is accessed on the west elevation. An interior brick chimney is located at the roof ridge line. Windows consist of the original two-over-two, double-hung sash; casements; and a picture window.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 33 Somerset Road

Common Name: House

SHPO Inventory No.: DK-MHC-057

City/Township Mendota Heights

Description

This one-story, L-shaped Raised Ranch house with a rectangular footprint was constructed in 1965. The house is clad with vinyl siding and stretcher-bond brick, and has a side-gable roof that is covered with asphalt shingles. The facade features a projected attached garage. A single-car garage with an overhead door is located on the east elevation. An exterior brick chimney is located on both the side (north and south) elevations. Windows consist of a ribbon of fixed. A one-story shed is located in the front yard, east of the house. The shed is clad in vertical wood siding and has a pyramidal hip roof that is covered with asphalt shingles.

Historical Narrative

N/A

Significance

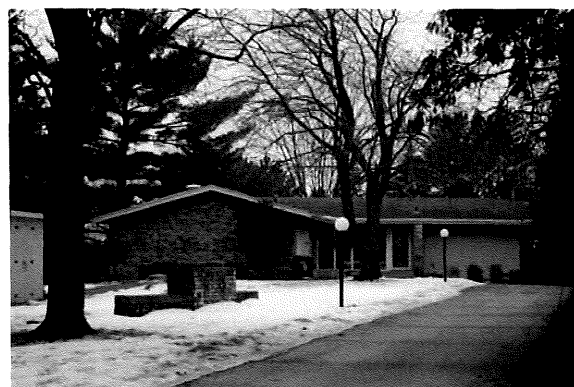
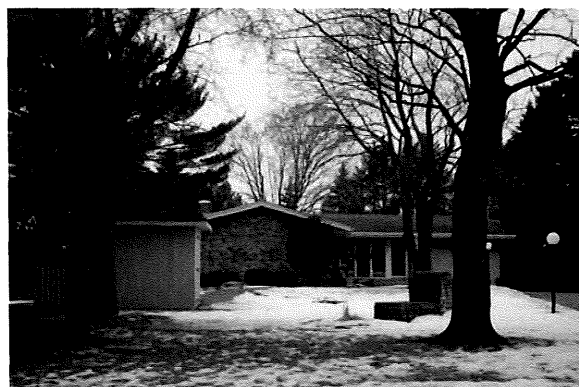
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1941 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-058

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1953. The house rests on a concrete block foundation, is clad with wide-lap siding and stone, and has a gable-on-hip roof with a wide eave overhang that is covered with asphalt shingles. The facade features a concrete stoop and the original three-light door. An interior brick chimney is located on the east roof slope and an exterior stone chimney is located on the side (south) elevation. Windows consist of the original two-over-two, double-hung sash and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2455 Visitation Drive

Common Name: Visitation Monastery and Sch

SHPO Inventory No.: DK-MHC-059

City/Township Mendota Heights

Description

This two-story Mid-Century Modern building with a partially raised basement and an irregular footprint was constructed c.1965. The building is clad in stretcher-bond brick and has a side-gable roof that is covered with asphalt shingles. It features a central entrance with a gable portico. Multiple modern additions are located on the rear (north) elevation. Windows consist of single and paired casements with concrete spandrels and one-over-one, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1117 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-060

City/Township Mendota Heights

Description

This one-story Bungalow with a rectangular footprint was constructed in 1927. The house rests on a rock-faced concrete block foundation, is clad in vinyl siding; and has a hip roof with a wide eave overhang that is covered with asphalt shingles. An enclosed hip-roofed porch stretches across a portion of the southeast-facing facade. A projected bay is located on both the northeast and rear (northwest) elevations. An exterior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash. A one-story garage is located northwest of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2525 Condon Lane

Common Name: House

SHPO Inventory No.: DK-MHC-061

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular foot print was constructed in 1948. The house rests on a concrete block foundation, is clad in stucco, and has a side-gable roof that is covered with asphalt shingles. The house features a recessed, one-story wing on the south elevation. The wing has a lower side-gable roof and a walk-out entrance at the basement level. An exterior brick chimney is located on the north elevation and a concrete stoop is located on the facade. Windows consist of replacement one-over-one, double-hung sash and replacement picture. A one-story garage is located to the south of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person, and is recommended not eligible for the National Register. No further work is recommended.

Integrity

The property retains good integrity of location and setting. The integrity of design, materials, and workmanship has been slightly compromised by the replacement windows. The property retains good integrity of feeling and association.

National Register eligibility recommendation

Not Eligible



Address 1119 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-062

City/Township Mendota Heights

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1925. The house is clad in stucco and stretcher-bond brick and has a front-gable roof with a pent eave enclosure that is covered with asphalt shingles. It features an enclosed porch with a gable roof that extends across the southeast-facing facade. A historic one-story wing is located on the rear (west) elevation and a gable wall dormer on the side (north, south) elevations. An interior brick chimney is located at the roof ridge line. Windows consist of three-over-one and one-over-one, double-hung sash with simple wood surrounds; a sliding window; and glass block windows at the basement. A modern two-stall garage is located west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2425 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-063

City/Township Mendota Heights

Description

This one-and-a-half-story Dutch Colonial Revival house with a rectangular footprint was constructed in 1927. The house rests on a rock-faced, concrete block foundation, is clad in clapboard siding, and has a gambrel roof that is covered in asphalt shingles. The symmetrical facade features a shed dormer and an arched portico at the central door. An exterior brick chimney is located on the south elevation. A deck and second shed dormer are located on the west elevation. Window types consist of the original six-over-one, double-hung wood windows with simple wood surrounds. A garage and two outbuildings are located to the west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person, and is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1630 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-064

City/Township Mendota Heights

Description

This one-and-one-half-story Minimal Traditional house with a rectangular footprint was constructed in 1940. The house is clad in stucco and has a side-gable roof that is covered with asphalt shingles. The facade features a central entrance vestibule with a concrete stoop with a metal rail. A single-stall garage with an overhead door is located on the side (north) elevation and a one-story wing is located on the south elevation. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash and a fixed picture window flanked by one-over-one, double-hung sash windows. A one-story outbuilding is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1638 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-065

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1960. The house is rests on a concrete block foundation, is clad with wide-lap siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a central door with a concrete stoop, metal rail, and a large exterior brick chimney. A one-story wing is located on the side (north) elevation. Windows consist of one-over-one, double-hung sash; casements; fixed with an awning below; and picture with awnings below.

Historical Narrative

N/A

Significance

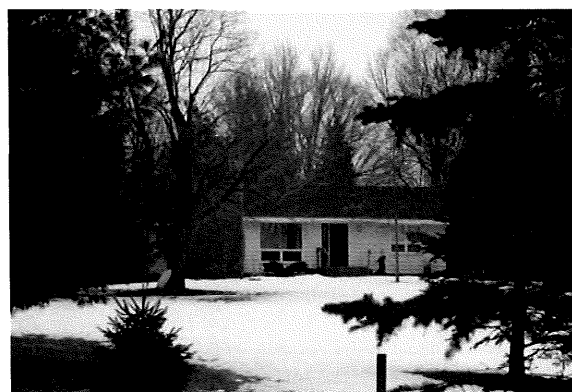
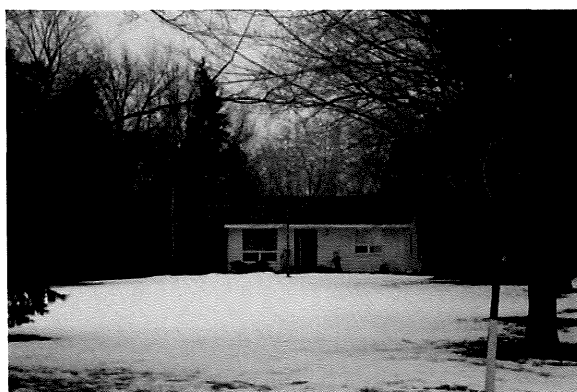
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1834 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-066

City/Township Mendota Heights

Description

This one-story vernacular house with a rectangular footprint was constructed in 1953. The house rests on a concrete block foundation, is clad with vinyl siding, and has a side-gable roof that is covered with asphalt shingles. It features a two-stall, basement level, front-gabled garage on the north end. Windows consist of sliding sash, casement, and a picture window. A detached, two-stall garage is located south of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not eligible



Address 1844 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-067

City/Township Mendota Heights

Description

This one-and-one-half-story Cape Cod house with a rectangular footprint was constructed in 1937. The house is clad with wide-lap siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a central door with a fluted pilaster surround and two gabled dormers. A projected bay is located on the north end. A lower one-and-a-half story wing with a gabled dormer is located on the north elevation and a interior brick chimney is located at the roof ridge line. A second one-and-a-half-story wing is located on the south elevation. A three-stall, side-gabled garage is attached to the house by a large rear addition. Windows consist of one-over-one and six-over-six, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1116 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-068

City/Township Mendota Heights

Description

This one-story Ranch house with an irregular footprint was constructed in 1954. The house rests on a poured concrete foundation, is clad with asbestos siding, and has a hip roof that is covered with asphalt shingles. The facade features a concrete stoop with an integral planter and the original three-light door. An exterior brick chimney and a one-story wing are located on the side (southwest) elevation. The wing may originally have been a single-car garage that has since been converted into living space. Windows consist of one-over-one, double-hung sash; casements; and a fixed picture window flanked by one-over-one, double-hung sash windows. A one-story garage is located southeast of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 521 Ashley Lane

Common Name: House

SHPO Inventory No.: DK-MHC-069

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1955. The house rests on a concrete block foundation, is clad with asbestos siding, and features a hip roof with a wide eave overhang that is covered with asphalt shingles. The facade, a portion of which is clad in vertical wood siding, features a concrete stoop with a metal rail and the original three-light door. A one-story wing is located on the side (southeast) elevation and an interior brick chimney is located near the roof ridgeline. Windows consists of replacement multi-light casements; a single-light fixed; and six-over-one, double-hung sash. A one-story garage is located southeast of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1212 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-070

City/Township Mendota Heights

Description

This one-and-one-half-story Minimal Traditional house with a rectangular footprint was constructed in 1950. The house rests on a poured concrete foundation, is clad with vinyl siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a central entrance with a concrete stoop with a metal rail that is covered by a shed roof. An exterior brick chimney is located on the side (southwest) elevation and two-car garage with an overhead door is located on the northeast corner. Windows consist of the original two-over-two, double-hung sash and a picture window flanked by two-over-two, double-hung sash windows. Two skylights have been added to the west roof slope.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1220 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-071

City/Township Mendota Heights

Description

This one-story Ranch house with a raised basement and with a rectangular footprint was constructed in 1965. The house rests on a concrete block foundation, is clad with wide-lap siding, and has a hip roof with a wide eave overhang that is covered with asphalt shingles. The facade features central door with a concrete stoop that is covered by a shed roof and a two-story garage addition on the southwest end. A one-story porch addition is located on the rear (southeast) elevation. Windows consist of replacement sliding sash and a single-light fixed window. The original, one-story garage is located in the rear yard, slightly southeast of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1656 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-072

City/Township Mendota Heights

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1910. The house rests on a concrete block foundation, is clad in clapboard siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. An interior brick chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash with simple wood surrounds and casements. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1760 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-073

City/Township Mendota Heights

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1940. The house rests on a poured concrete foundation, is clad in stucco, and has a t-shaped gable roof with cornice returns that is covered with asphalt shingles. It features front-gabled bay and a front-gabled entrance vestibule with a concrete stoop and a stone surround on the facade. An exterior brick chimney is located on the side (north) elevation and a tuck-under garage is located on the south elevation. Windows consist of the original six-over-six, double-hung sash and a bay window with six-over-nine double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1147 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-074

City/Township Mendota Heights

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1938. The house rests on a concrete block foundation, is clad in stucco, and has front-gable roof that is covered with asphalt shingles. The symmetrical facade features a concrete stoop with a metal railing and a gable with brackets over the central entrance. An interior brick chimney is located at the roof ridgeline and a shed dormer is located on north roof slope. A one-story addition is located on the rear (west) elevation. Windows consist of one-over-one and three-over-one, double-hung sash. A one-story, two-stall garage is located southwest of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1925 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-075

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1953. The house rests on a concrete block foundation, is clad with replacement metal siding and stone, and has a side-gable roof with a wide eave overhang that is covered with asphalt shingles. Wood shingles are located in the gable ends. The facade features a concrete stoop with a metal railing and the original three-light door. A slightly recessed bay is located on the south end. An interior stone chimney is located on the east roof slope. A one-story garage is attached to the side (north) elevation by a recessed one-story. A garage addition on the north elevation of the original garage has been incorporated into the massing of the house. Windows consist of replacement one-over-one, double-hung sash; picture; and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1133 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-076

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1952. The house rests on a concrete block foundation, is clad with wide-lap siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a concrete stoop with a metal rail. A single-car garage with an overhead door is located on the south elevation and a one-story addition with a brick chimney is located on the rear (west) elevation. An interior brick chimney is located on the west roof slope the roof ridge line. Windows consist of one-over-one, double-hung sash; sliding; and casements.

Historical Narrative

N/A

Significance

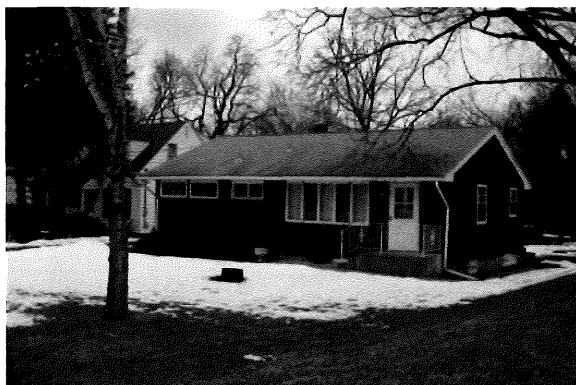
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1441 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-077

City/Township Mendota Heights

Description

This one-story Raised Ranch house with a rectangular footprint was constructed in 1968. The house rests on a concrete block foundation, is clad with stretcher-bond brick and board-n-batten siding, and has a side-gable roof with a wide eave overhang that is covered with asphalt shingles. The facade features a recessed portico with a concrete stoop and the original wood door. A two-stall garage with an overhead door is located on the south end and an interior brick chimney is located at the roof ridge line. Windows consist of the original diamond pane and single pane casements.

Historical Narrative

N/A

Significance

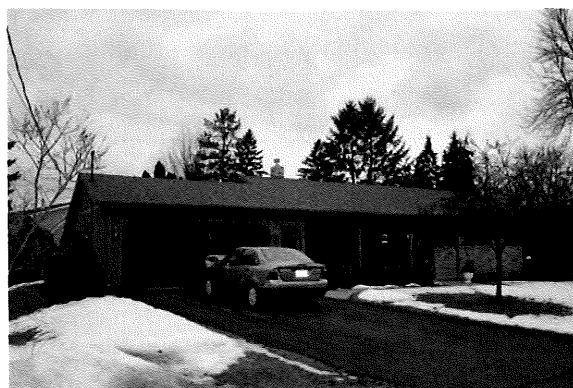
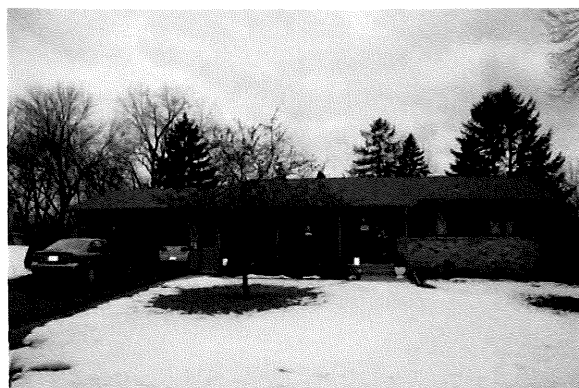
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2150-56 Dodd Road

Common Name: Commercial Building

SHPO Inventory No.: DK-MHC-078

City/Township Mendota Heights

Description

There are two, one-story, rectangular, commercial buildings on this property. Both buildings were constructed in 1966. The southern building has a larger set-back than the northern building in which a parking lot is located. The southern concrete block building has a stretcher-bond, brick-faced facade and a flat roof with metal coping. The facade features three overhead doors and a single-leaf door on the north end. A course of soldier bricks are located above the overhead doors and at the cornice on the facade. No windows are visible. The northern rusticated-concrete block building has a stretcher-bond, brick-faced facade and a flat roof with a stepped parapet and metal coping. The facade features a central door with transom and grouped fixed windows with awnings. A course of soldier brick is located above the facade windows and at the cornice on the facade with diamond inlaid terra cotta panels in between. A side entrance is located on the south elevation and a one-story addition is located on the rear. Windows consist of one-over-one, double-hung sash and fixed sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 1251 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-079

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1958. The house rests on a concrete block foundation, is clad in vinyl siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a front-gabled projected bay and a concrete stoop at the central entrance. A recessed single-car garage with an overhead door is located at the south end. An interior brick chimney is located at the roof ridge line. Windows consist of replacement sliding sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2140 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-080

City/Township Mendota Heights

Description

This one-story, L-shaped side-gable house was constructed in 1950. The house rests on a concrete block foundation, is clad with vinyl siding and stretcher-bond brick, and has a side-gable roof that is covered with asphalt shingles. The facade features a front-gabled projected bay with a side door and concrete stoop. An attached garage addition is located on the rear (east) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash; three-light and single-light fixed; and a bay window.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2126 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-081

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1956. The house rests on a concrete block foundation, is clad in cedar siding and stone, and has a side-gable roof that is covered with asphalt shingles. The facade features a front-gabled projected bay with a recessed side entrance and a concrete stoop on the south end. A two-stall garage is located on the north end. An interior stone chimney is located at the roof ridge line. Windows consist of the original two-over-two and one-over-one, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 796 Creek Avenue

Common Name: House

SHPO Inventory No.:DK-MHC-082

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1957. The house is clad with cedar and vertical wood siding, and has a side-gable roof with a wide eave overhang that is covered with asphalt shingles. The facade features a large exterior brick chimney and a two-stall garage on the east end. A front-gabled projected bay is located on the west end. Windows consist of replacement six-over-one, double-hung sash and a fixed picture window flanked by one-over-one, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 795 Creek Avenue

Common Name: House

SHPO Inventory No.: DK-MHC-083

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1956. The house rests on a concrete foundation, is clad with vinyl siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a large exterior brick chimney and a slightly lower two-stall garage on the east end. The west end of the facade is slightly projected. Windows consist of one-over-one, double-hung sash and a bay window.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2030 Dodd Road

Common Name: Mendota Heights Auto Servic

SHPO Inventory No.: DK-MHC-084

City/Township Mendota Heights

Description

This one-story service station with a rectangular footprint was constructed in 1966. The building rests on a poured concrete foundation, is clad in board-n-batten siding and stretcher-bond brick, and has a front-gable roof that is covered with asphalt shingles. It features two service stalls on the facade. A covered walkway and storage room are located on the north elevation. Windows consists of replacement fixed sash. Signage in the gable end as well as the windows and doors have been replaced. Gas pumps covered by a new canopy are located west of the building.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 625 Emerson Avenue

Common Name: House

SHPO Inventory No.: DK-MHC-086

City/Township Mendota Heights

Description

This one-story Raised Ranch house with a rectangular footprint was constructed in 1958. The house rests on a concrete block foundation, is clad in vinyl siding and stretcher-bond brick, and has a side-gable roof that is covered with asphalt shingles. It features a slightly lower wing with a two-stall tuck-under garage on the west elevation. An interior brick chimney is located at the roof ridge line. A partial width covered walkway and a rear entrance are located on the rear (north) elevation. Windows consist of replacement one-over-one, double-hung sash; casements; and sliding sash.

Historical Narrative

N/A

Significance

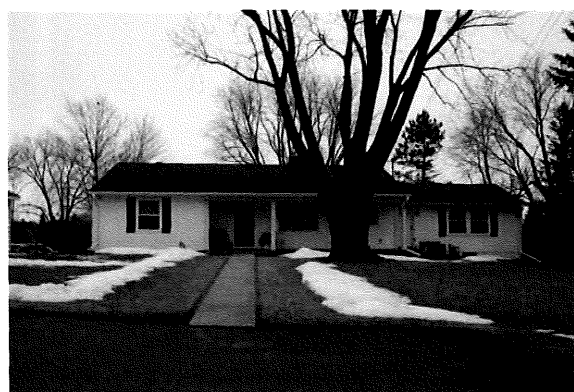
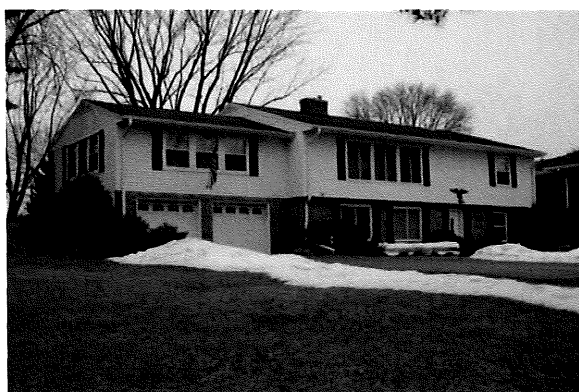
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1312 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-087

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1956. The house is clad with stretcher-bond brick and has a hip roof with a wide eave overhang that is covered with asphalt shingles. The facade features a concrete stoop with a metal rail and the original three-light door. The southern end of the facade is slightly projected. A two-stall garage with an overhead door is located on the south elevation. A large interior brick chimney is located on the west roof slope. Windows consist of the original picture and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1483 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-088

City/Township Mendota Heights

Description

This one-and-one-half-story Minimal Traditional house with a rectangular footprint was constructed in 1945. The house rests on a concrete block foundation, is clad in vinyl siding and stretcher-bond brick, and has a side-gable roof that is covered with asphalt shingles. The east-facing facade features a concrete stoop at the central entrance. A two-stall garage with an overhead door and a brick chimney are located on the south elevation. Two gabled dormers are located on the west roof slope. Windows consist of the one-over-one, double-hung sash and sliding sash.

Historical Narrative

N/A

Significance

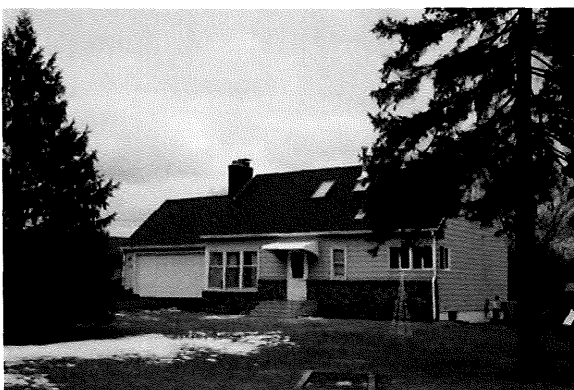
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1415 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-089

City/Township Mendota Heights

Description

This one-story, L-shaped Ranch house was constructed in 1958. The house is only partially visible from the public-right-of-way. It rests on a concrete block foundation, is clad in wood siding, and has a hip roof that is covered in asphalt shingles. The east-facing facade features a slightly projected bay on the north end. An interior brick chimney is located at the roof ridgeline and a two-stall garage is located on the rear (west) elevation. Windows consist of picture and sliding sash.

Historical Narrative

N/A

Significance

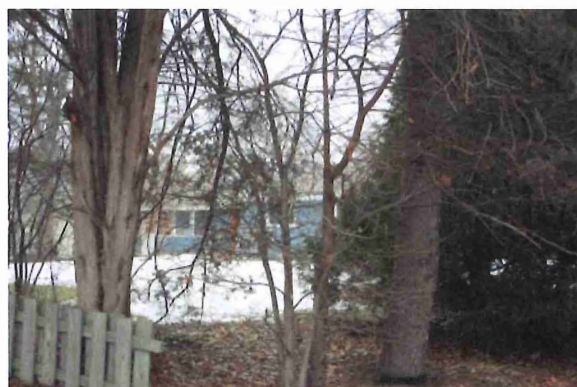
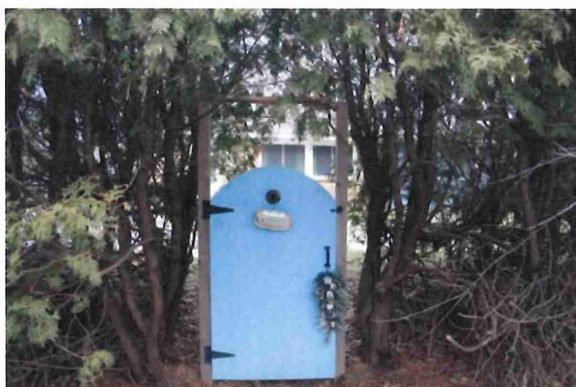
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 795 Hokah Avenue

Common Name: House

SHPO Inventory No.: DK-MHC-090

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1957. The house rests on a concrete block foundation, is clad with wide-lap siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a large concrete stoop with balustrade and large exterior brick chimney. A front-gabled projected bay is located on the east of the facade and a two-stall garage is located on the west end. The windows on the front-gabled bay are slightly projected and covered by a pent eave. Windows consist of the original one-over-one, double-hung sash and a fixed picture window flanked by a one-over-one, double-hung sash window. A one-story shed is located in the rear yard north of the house. The shed is clad in vertical wood siding and has a side-gable roof.

Historical Narrative

N/A

Significance

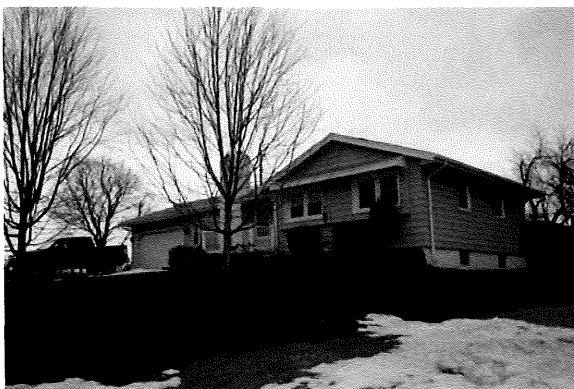
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1135 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-091

City/Township Mendota Heights

Description

This one-and-a-half-story Cape Cod house with a rectangular footprint was constructed in 1940. The house rests on a concrete block foundation, is clad in metal siding, and has a side-gable roof that is covered in asphalt shingles. The facade features a small concrete porch. Two gabled dormers are located on east roof slope and a shed dormer on a shed dormer on the west slope. A large addition with a tuck-under garage and a brick chimney is located on the side (south) elevation. Windows consist of a the original eight-over-eight and six-over-six, double-hung sash; casements; and a picture window.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1245 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-092

City/Township Mendota Heights

Description

This one-story side-gable house was constructed in 1959. The house rests on a concrete block foundation, is clad in vinyl siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a front-gabled projected bay and a concrete stoop and the entrance. A one-stall garage is located on the south elevation. A large addition with an interior brick chimney is located on the north end. Windows consist one-over-one, double-hung sash; casements; sliding sash; and a picture window.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1399 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-093

City/Township Mendota Heights

Description

This one-story Minimal Traditional house with a irregular footprint was constructed in 1940. The house rests on a concrete foundation, is clad in wood siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a front-gabled projected bay with a concrete stoop and two bay windows. An exterior stone chimney and a one-story addition are located on the north elevation. A large, two-stall garage addition is located on the south elevation. Windows consist of octagonal fixed and casements. The window openings appear to be altered.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1260 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-094

City/Township Mendota Heights

Description

This L-Shaped, Split Level house was constructed in 1965. The house rests on a concrete block foundation, is clad with wide-lap siding and stretcher-bond brick, and a front-gable roof that is covered with asphalt shingles. It features a front-gable attached, two-stall garage on the south elevation. The front door and a covered walkway supported by square posts are located on the west elevation of the attached garage. A large brick chimney is located at the roof ridge line. Windows consist of the original casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1395 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-095

City/Township Mendota Heights

Description

This two-story vernacular house with a rectangular footprint was constructed in 1936. The house rests on a poured concrete foundation, is clad in vinyl siding, and has a gambrel roof that is covered with asphalt shingles. A two-story addition is located on the rear (west) elevation. Windows consist of pictures and casements. The window openings appear to be altered. A one-story garage is located south of the house.

Historical Narrative

N/A

Significance

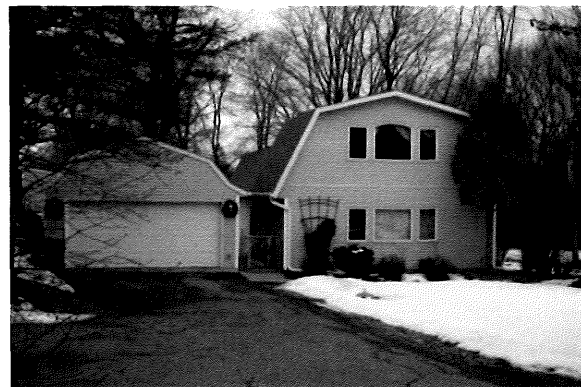
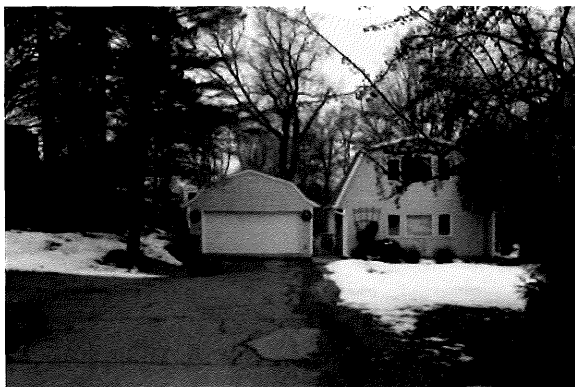
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1183 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-096

City/Township Mendota Heights

Description

This one-and-one-half-story Cape Cod house with a rectangular footprint was constructed in 1941. The house rests on a concrete block foundation, is clad in stretcher-bond brick, and has a side-gable roof that is covered with asphalt shingles. The symmetrical facade features a central, one-story, front-gable entrance vestibule with a concrete stoop. Two vinyl clad, gabled dormers are located on the east roof slope and an interior brick chimney is located at the roof ridgeline. A side entrance with a concrete stoop is located on the south elevation. Windows consist of one-over-one and six-over-six, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1305 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-097

City/Township Mendota Heights

Description

This one-story Raised Ranch house with a rectangular footprint was constructed in 1960. The house rests on a poured concrete foundation, is clad in stucco, and has a hip roof with a wide eave overhang that is covered with asphalt shingles. The facade features a concrete stoop with a metal railing. An interior brick chimney is located on east roof of the slope and a second chimney is located on the north elevation. Windows consist of the original one-over-one, double-hung sash; a picture window flanked by diamond pane casements; and glass blocks. A one-story garage is located west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1295 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-098

City/Township Mendota Heights

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1904. The house is clad in stucco and stone and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features a partial-width, enclosed porch with a gable roof on the east-facing facade. A gable wall dormer and a c.1960 addition with a large stone chimney are located on the side (south) elevation. A second addition is located on the rear (west) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash; a fixed window flanked by one-over-one, double-hung sash; and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1281 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-099

City/Township Mendota Heights

Description

This one-story, T-shaped Ranch house was constructed in 1954. The house is clad in stretcher-bond brick and wide-lap siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a concrete stoop and a slightly recessed, two-stall garage on the south end. An interior brick chimney is located on the west roof slope and a rear wing is located on the west elevation. Windows consist of eight-over-eight and one-over-one, double-hung sash; fixed; sliding; and a picture window with an eight light transom.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 630 Sunset Lane

Common Name: House

SHPO Inventory No.: DK-MHC-100

City/Township Mendota Heights

Description

This Split-Level house with a rectangular footprint was constructed in 1963. The house rests on a concrete block foundation, is clad brick and vinyl siding, and has a side-gable roof that is covered with asphalt shingles. The facade features two projected bays and a concrete stoop at the central entrance. A three-stall garage with two overhead doors is located on the east elevation and an exterior brick chimney is located on the west elevation. Windows consist of one-over-one, double-hung sash and picture windows flanked by casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1255 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-101

City/Township Mendota Heights

Description

This one-and-one-half-story Minimal Traditional house with an irregular footprint was constructed in 1949. The house rests on a poured concrete foundation, is clad in vinyl siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a front-gable projected bay, projected entrance bay, a bay window, and a porch addition. More additions are located on the south and rear (west) elevations. An exterior brick chimney is located on the south elevation. Windows consist of replacement one-over-one, double-hung sash; casements; and sliding sash. Some window openings appear to be altered.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 1435 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-102

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1955. The house rests on a concrete block foundation, is clad with stretcher-bond brick and wood siding, and has a side-gable roof that is covered with asphalt shingles. The facade features two front-gable projected bays and a bay window. A two-stall garage is located on the north end. A one-story wing is located on the south elevation. Windows consist of one-over-one, double-hung sash; multi-light casements; fixed; and sliding sash. The bay window on the facade appears to be an alteration.

Historical Narrative

N/A

Significance

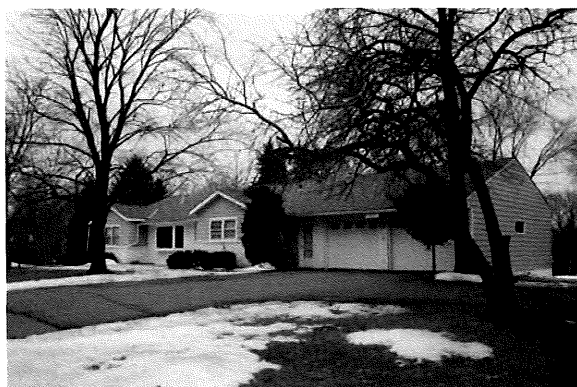
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

N/A



Address 1620 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-103

City/Township Mendota Heights

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1877. The house is only partially visible due to heavy vegetation. The house is clad in asbestos siding, and has a hip roof that is covered with asphalt shingles. It features a porch with a hip roof and replacement supports that extends across the west-facing facade. A one-story addition is located on the rear (east) elevation. An interior brick chimney is located at the roof ridge line and a hipped dormer is located on the west roof slope. Windows consist of one-over-one, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 698 Bachelor Avenue

Common Name: House

SHPO Inventory No.: DK-MHC-104

City/Township Mendota Heights

Description

This two-story, tri-level house with a rectangular footprint was constructed in 1960. The house rests on a concrete block foundation, is clad in wood siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a concrete stoop and a covered walkway that is supported by square wood posts. A two-stall garage with two overhead doors is located on the east end. An interior brick chimney is located at the roof ridge. Windows consist of replacement one-over-one, double-hung sash; casements; and picture.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1288 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-105

City/Township Mendota Heights

Description

This L-shaped, Split-Level house with a tuck under garage was constructed in 1956. The house is clad with aluminum siding and stretcher-bond brick, and has a hipped roof with a wide eave overhang that is covered with asphalt shingles. The facade features a concrete stoop and an integral planter. A large brick chimney is adjacent to the door. Windows consist of casements, sliding sash, and a picture window.

Historical Narrative

N/A

Significance

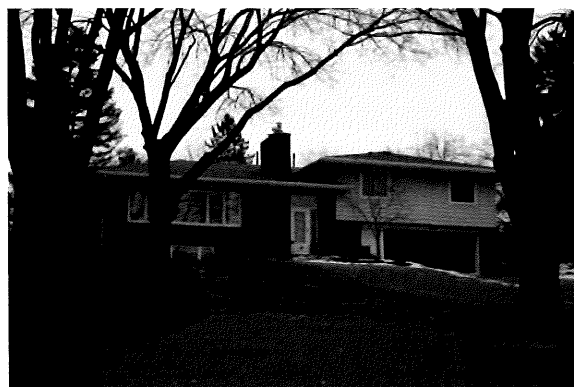
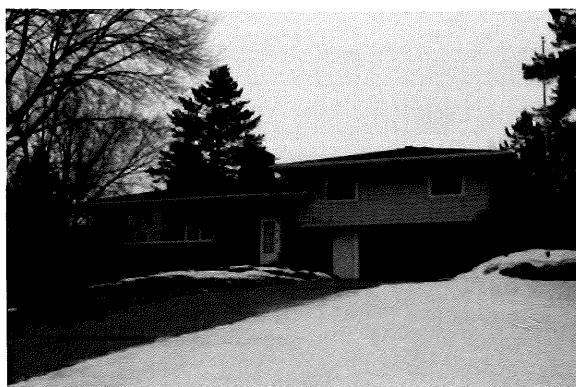
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 796 Hokah Avenue

Common Name: House

SHPO Inventory No.:DK-MHC-106

City/Township Mendota Heights

Description

This one-story, L-shaped Raised Ranch house with a tuck-under garage was constructed in 1957. The house rests on a concrete block foundation, is clad with wide-lap and board-and-batten siding, and has a multi-level, gable-on-hip roof with a wide eave overhang that is covered with asphalt shingles. The facade features a concrete stoop and a projected bay on the west end. The windows on the facade are slightly projected and surrounded by vertical wood siding and shutters. An exterior brick chimney and projected bay are located on the rear (south) elevation. Windows consist of the original one-over-one, double-hung sash and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1254 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-107

City/Township Mendota Heights

Description

This Split-Level house with a rectangular footprint was constructed in 1964. The house is clad in board-n-batten siding and stretcher-bond brick, and has a side-gable roof that is covered with asphalt shingles. It features a one-story, two-stall garage on the north end. Two interior brick chimneys are located near the roof ridge line. Windows consist of one-over-one, double-hung sash; sliding sash; and a picture window flanked by casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1865 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-108

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1950. The house rests on a concrete block foundation, is clad with stucco and stretcher-bond brick, and has a hip roof with a wide eave overhang that is covered with asphalt shingles. The facade features a projected bay with an exterior brick chimney and a concrete stoop. A two-stall garage is located on the north end. Windows consist of casements and a picture window flanked by casements.

Historical Narrative

N/A

Significance

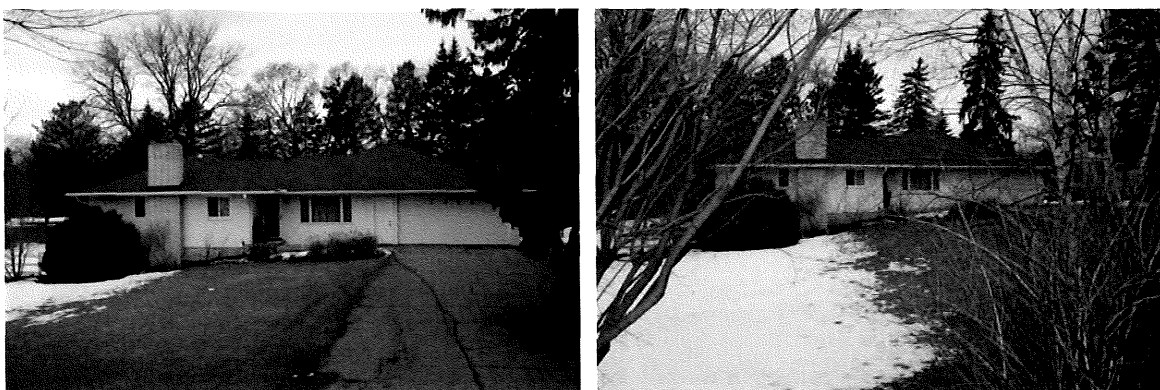
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1769 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-109

City/Township Mendota Heights

Description

This two-story, T-shaped vernacular house was constructed in 1870. The house rests on a stone foundation, is clad in vinyl siding, and has a T-shaped gable roof that is covered with standing seam metal. It features two-story, front-gabled projected bays on both the side (north and south) elevations. A one-story addition is located on the rear (west) elevation. Windows consist of two-over-two, double-hung sash with simple wood surrounds and pediment crowns and multi-light casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1250 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-110

City/Township Mendota Heights

Description

This one-story, L-shaped Ranch house was constructed in 1946. The house rests on a poured concrete foundation, is clad with wide-lap siding, and has a hip roof that is covered with asphalt shingles. The facade features a large, front-gabled, Craftsman addition. A two-stall garage with an overhead door is located on the south end and a large interior brick chimney is located at the roof ridge line. Windows consist of the one-over-one, double-hung sash; casement; fixed, and a picture window flanked by one-over-one, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1635 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-111

City/Township Mendota Heights

Description

This one-and-one-half-story Cape Cod house with a rectangular footprint was constructed in 1940. The house rests on a rock-faced, concrete block foundation, is clad in vinyl siding and stretcher-bond brick, and has a side-gable roof that is covered with asphalt shingles. The symmetrical facade features a central, one-story, front-gabled entrance vestibule with a concrete stoop and metal railing. Two gabled-dormers are located on the east roof slope and a vinyl clad exterior chimney is located on the side (north) elevation. A large addition and deck have been constructed on the rear (west) elevation. Windows consist of replacement six-over-one, eight-over-one, and one-over-one, double-hung sash and casements. A modern garage is located south of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1695 Dodd Road

Common Name: Mendota Heights Golf Course

SHPO Inventory No.:DK-MHC-112

City/Township Mendota Heights

Description

This rectangular nine-hole golf course was constructed in 1961. The course is spotted with a water feature, bunkers, and deciduous trees. A one-story building centrally located in the center of the course. A second building and a parking lot are located on the east end of the course near Dodd Road. This building rests on a poured concrete foundation, is clad in replacement wide lap siding, and has a side-gable roof with exposed rafters that is covered with asphalt shingles. A slightly lower one-story wing is located on the north end. A covered walkway is located on the rear (west) elevation. Windows consist of sliding sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1623 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-113

City/Township Mendota Heights

Description

This one-story Bungalow with a rectangular footprint was constructed in 1925. The house rests on a rock faced concrete block foundation, is clad in wood, and has a clipped front-gable roof that is covered with asphalt shingles. It features a symmetrical facade with a clipped gable with brackets over the central entrance. A one-story wing is located on the side (south) elevation and an interior brick chimney is located at the roof ridge. Windows consist of three-over-one and one-over-one, double-hung sash. Two one-story garages are located to the west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1663 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-114

City/Township Mendota Heights

Description

This two-story vernacular house with a irregular footprint was constructed in 1895. The house rests on a concrete foundation, is clad in vinyl siding, and has a side-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch on the east-facing facade. A shed dormer is located on the east roof slope and an interior brick chimney is located at the roof ridge line. A one-and-one-half-story addition is located on the rear (west) elevation. Windows consist of replacement casement and sliding sash. The window openings appear to be altered. A one-story garage is located to the west of the house.

Historical Narrative

N/A

Significance

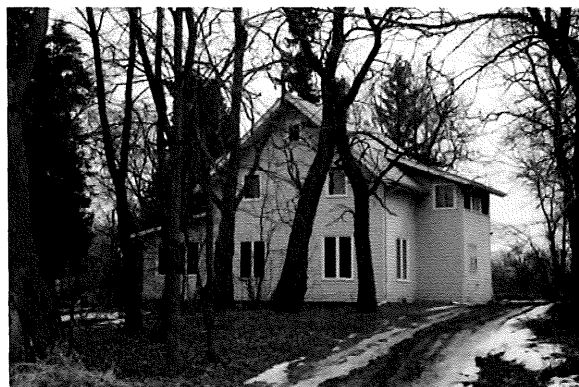
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1603 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-115

City/Township Mendota Heights

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1880. The house rests on a non-visible foundation, is clad in wood siding, and has a front-gable roof that is covered with asphalt shingles. It features a modern wrap-around porch. A front-gabled projected bay is located on the side (north) elevation and a one-story wing is located on the rear (west) elevation. Windows consist of the original two-over-two and replacement one-over-one, double-hung sash with simple pediment crowns; and sliding sash. A one-story shed and a one-story garage are located west of the house.

Historical Narrative

N/A

Significance

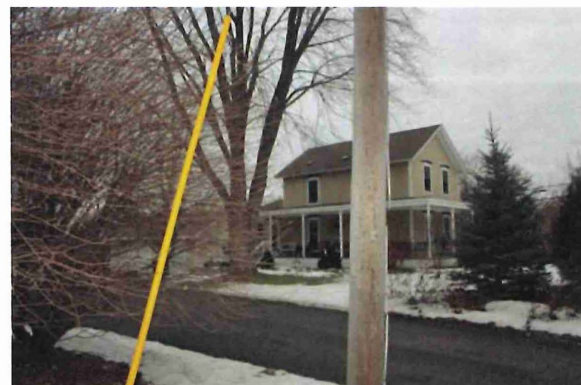
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2222 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-116

City/Township Mendota Heights

Description

This one-story, L-shaped Raised Ranch house was constructed in 1955. The house rests on a concrete block foundation, is clad wood siding and stone, and has a hip roof with a wide eave overhang that is covered with asphalt shingles. The facade features a concrete stoop and a projected bay on the south end. A one-story wing with an interior brick chimney is located on the north elevation and a basement level garage addition is located on the rear (east) elevation. Windows consist of one-over-one, double-hung sash and a bay window.

Historical Narrative

N/A

Significance

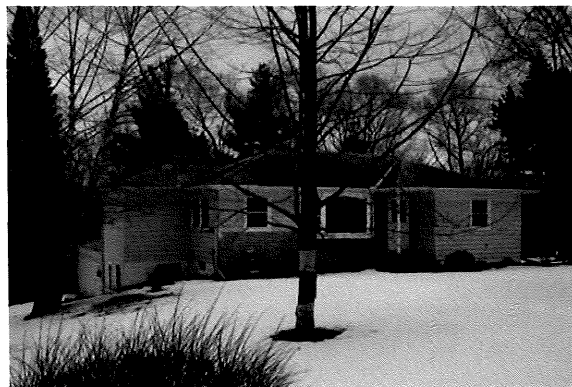
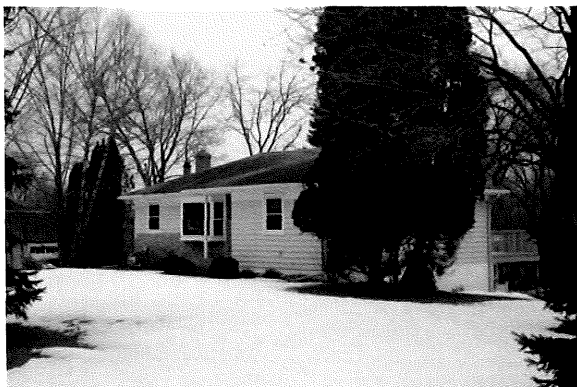
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2220 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-117

City/Township Mendota Heights

Description

This one-story Raised Ranch house with a rectangular footprint was constructed in 1952. The house rests on a concrete block foundation, is clad in stucco, and has a hip roof with a wide eave overhang that is covered with asphalt shingles. The facade features a concrete stoop and the original three-light door with stone detailing at the foundation. A one-story wing is located off the northeast corner of the house. A side door is located on the north elevation and an interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash; a fixed picture window flanked by one-over-one, double-hung sash; and sliding sash.

Historical Narrative

N/A

Significance

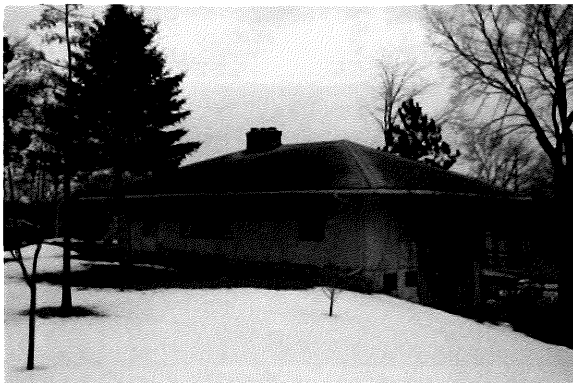
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1565 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-118

City/Township Mendota Heights

Description

This one-story, L-shaped vernacular house was constructed in 1944. The house rests on a poured concrete foundation, is clad in stucco, and has a side-gable roof that is covered with asphalt shingles. It features a one-story, front-gabled projected bay with the entrance on the facade. An interior brick chimney is located on the east roof slope. Windows consists of original six-over-six, double-hung sash and original sliding sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1857 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-119

City/Township Mendota Heights

Description

This one-story Minimal Traditional house with an irregular footprint was constructed in 1950. The house rests on a concrete block foundation, is clad with stucco and vinyl siding, and has a front-gable roof that is covered with asphalt shingles. The east-facing facade features a concrete stoop with a metal railing and bay windows. Multiple projected bays and additions are located on the north elevation and a stucco clad, exterior chimney is located on the south elevation. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash; casements; and bay windows. The window openings have been altered. A garage is located northwest of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1280 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-120

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1950. The house is clad in stone and stucco, and has a hipped roof that is covered with asphalt shingles. The facade features a central, recessed door with a concrete stoop. A single-car garage with an overhead door is attached to the rear (east) elevation by a breezeway. An interior stone chimney is located at the roof ridge line. Windows consist of the original casements; one-over-one, double-hung sash; and a picture window.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 2196 Dodd Road

Common Name: House

SHPO Inventory No.: DK-MHC-121

City/Township Mendota Heights

Description

This one-story Ranch house with a rectangular footprint was constructed in 1957. The house rests on a concrete block foundation, is clad with vinyl siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a concrete stoop that is covered by a projection of the gable roof and a two-stall garage on the south end. A front-gabled projected bay is located on the north end. The projected bay is partially clad in stretcher-bond brick and has a pent eave over the facade windows. An exterior brick chimney is located on the rear (east) elevation. Windows consist of one-over-one, double-hung sash and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1629 Dodd Road

Common Name: House

SHPO Inventory No.:DK-MHC-123

City/Township Mendota Heights

Description

This one-story vernacular house with an irregular footprint was constructed in 1940. The house rests on a concrete block foundation, is clad in wide-lap siding and stone, and has a cross gable roof that is covered with asphalt shingles. It features a projected bay with side entrance and a covered walkway on the facade. A stone chimney is located at the roof ridge line. A flat roofed garage addition is located on the rear (west) elevation and a second addition is located on the south elevation. Windows consists six-over-one, double-hung sash; fixed; and casements. Some window openings have been altered.

Historical Narrative

N/A

Significance

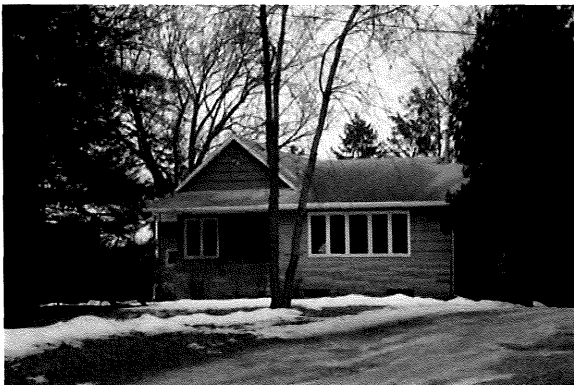
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1072 Cherokee Avenue

Common Name: House

SHPO Inventory No.:DK-WPC-015

City/Township West St. Paul

Description

This two-story American Foursquare house with a rectangular footprint was constructed in 1924. The house rests on a poured concrete foundation, is clad in stucco, and has a hip roof with exposed rafter tails that is covered with asphalt shingles. The symmetrical facade features a central, one-story entrance vestibule with a concrete stoop. A one-story wing is located on the rear (east) elevation and an interior brick chimney is located at the roof ridge. Windows consist of one-over-one, double-hung sash and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1040 Ottawa Avenue

Common Name: House

SHPO Inventory No.: DK-WPC-016

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1929. The house rests on a rock-faced concrete block foundation, is clad in stucco and replacement wood siding, and has a side-gable roof with brackets that is covered with asphalt shingles. It features a partial-width porch with a side entrance and brick stoop on the west-facing facade. An interior brick chimney and a gabled dormer are located on the west roof slope. Windows consist of replacement the original three-over-one, double-hung sash; casements; replacement glass block; and multi-light. A one-story garage is located east of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1010 Dodd Road

Common Name: A & J's Garage

SHPO Inventory No.: DK-WPC-017

City/Township West St. Paul

Description

This one-story, concrete block commercial building with a rectangular footprint was constructed in 1930. The building is clad in stretcher-bond brick and has a flat roof with metal coping. The facade features two overhead doors and an altered storefront. Windows consist of metal fixed and window openings without glass.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 995 Dodd Road

Common Name: Doddway Auto Body

SHPO Inventory No.:DK-WPC-018

City/Township West St. Paul

Description

This one-story, concrete block, commercial building with a rectangular footprint was constructed in 1923. The building is clad board-n-batten siding on the facade and has a flat roof. The facade features a new mansard awning and three large overhead doors. The building storefront appears to have been replaced. There is a central interior brick chimney. Windows consist of two fixed picture.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 922 Smith Avenue South

Common Name: Duplex

SHPO Inventory No.: DK-WPC-019

City/Township West St. Paul

Description

This two-story vernacular duplex with a rectangular footprint was constructed in 1925. The building rests on a concrete block foundation, is clad in vinyl siding, and has a hip roof that is covered with asphalt shingles. It features a one-story porch and two-story projected bay on the west-facing facade. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash. A one-story garage is located in the rear yard, east of the building.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1055 Cherokee Avenue

Common Name: House

SHPO Inventory No.: DK-WPC-020

City/Township West St. Paul

Description

This one-and-one-half story Minimal Traditional house with a rectangular footprint was constructed in 1948. The house rests on a poured concrete foundation, is clad in stucco, and has side-gable roof that is covered with asphalt shingles. The symmetrical facade features a central, projected, front-gabled entrance vestibule with a concrete stoop with metal rail. A one-story sun porch is located on the southeast elevation and a one-stall garage with an overhead door is attached to the northwest elevation by a small one-story hyphen. An interior brick chimney is located at the roof ridge line. Windows consists of the original two-over-two and one-over-one, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1019 Smith Avenue South

Common Name: House

SHPO Inventory No.:DK-WPC-021

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1932. The house rests on a rock-faced concrete block foundation, is clad with replacement vertical wood siding, and has a clipped side-gable roof with exposed rafters that is covered with asphalt shingles. A one-story porch with a clipped gable roof stretches across the east-facing facade. A one-story bay is located on the south elevation and a clipped gable dormer is located on the east roof slope. Windows consist of six-over-six, double-hung sash; single and multi-light sliding sash; and fixed. All windows are replacement and some openings appear to have been altered. Alterations have also been made to the porch. A one-story garage is located to the west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 913 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-022

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1922. The house rests on a rock-faced, concrete block foundation, is clad with vinyl siding, and has a side-gable roof with brackets that is covered with asphalt shingles. An enclosed porch stretches across the east-facing facade. A hipped-dormer is located on the east roof slope above the porch. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash; sliding sash, and casements. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 923 Smith Avenue South

Common Name: House

SHPO Inventory No.:DK-WPC-023

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1927. The house rests on a rock-faced, concrete block foundation, is clad in asbestos siding, and has a side-gable roof that is covered with asphalt shingles. It features a front-gabled porch with a side entrance on the east-facing facade. A one-story addition is located on the rear (west) elevation and an interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash and a three-light casement window. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 917 Smith Avenue South

Common Name: Duplex

SHPO Inventory No.: DK-WPC-024

City/Township West St. Paul

Description

This two-story vernacular duplex with a rectangular footprint was constructed in 1928. The building rests on a rock-faced concrete block foundation, is clad in stucco and wood shakes, and has a hip roof that is covered with asphalt shingles. It features a two-story, partial-width porch with a side entrance and a second entrance covered by a gable roof on the east-facing facade. A gabled dormer is located on the east roof slope and an interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash and three-light fixed. A one-story garage is located west of the building in the rear yard.

Historical Narrative

N/A

Significance

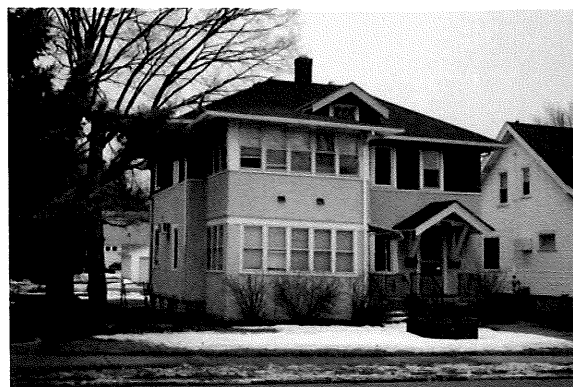
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1068 Cherokee Avenue

Common Name: House

SHPO Inventory No.: DK-WPC-025

City/Township West St. Paul

Description

This one-story Bungalow with an irregular footprint was constructed in 1927. The house is clad in vinyl siding and has a hip roof with a wide eave overhang that is covered with asphalt shingles. The facade features a projected bay with concrete stoop. There are multiple additions including an attached garage are located on the rear (east) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of the vinyl one-over-one, double-hung sash and sliding sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 907 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-026

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1920. The house rests on a rock-faced, concrete block foundation, is clad with vinyl siding, and has a side-gable roof with brackets that is covered with asphalt shingles. An enclosed front-gabled porch stretches across the east facing facade. A gabled-dormer is located on the east roof slope above the porch. Windows consist of one-over-one, double-hung sash; sliding sash, and casements. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1051 Ottawa Avenue

Common Name: House

SHPO Inventory No.:DK-WPC-027

City/Township West St. Paul

Description

The one-and-one-half-story Tudor Revival house with a rectangular footprint was constructed in 1925. The house is clad in vinyl siding and has a front-gable roof that is covered with asphalt shingles. The east-facing facade features an exterior brick chimney and a one-story, front-gabled entrance vestibule with a concrete stoop and metal rail. A lower one-and-a-half story wing is located on the south elevation. Windows consist of replacement one-over-one, double-hung sash; a three-over-one, double-hung sash; fixed; and two sliding sash windows. Some window openings appear to be have been altered. A garage is located west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1089 Cherokee Avenue

Common Name: House

SHPO Inventory No.: DK-WPC-028

City/Township West St. Paul

Description

This one-and-one-half-story Minimal Traditional house with a rectangular footprint was constructed in 1935. The house rests on a poured concrete foundation, is clad in stucco, and has a front-gable roof that is covered in asphalt shingles. The north-facing facade features a slightly projected entrance bay with a small wood deck and a slightly recessed arched entrance. A one-story wing is located on the west elevation and a interior brick chimney is located on the west roof slope. Windows consist of replacement one-over-one, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 940 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-029

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1925. The house rests on a concrete block foundation, is clad in vinyl siding, and has a side-gable roof that is covered with asphalt shingles. It features a central front-gabled entrance vestibule on the west-facing facade. A side entrance and box bay are located on the north elevation. An interior brick chimney and two eye-brow dormers are located on the west roof slope. Windows consist of six-over-six, double-hung sash. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

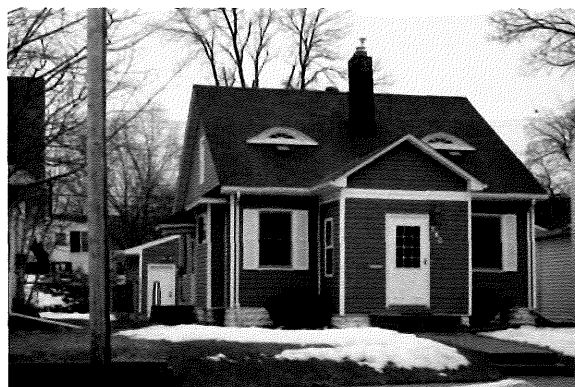
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 973-975 Smith Avenue South

Common Name: Deckci Décor/ Metro PCS

SHPO Inventory No.: DK-WPC-030

City/Township West St. Paul

Description

This one-story, one-part, concrete block commercial building with a rectangular footprint was constructed in 1948. The building has a flat roof with a stepped parapet wall and a terra cotta drip cap. The symmetrical, brick-faced facade features a dentiled brick column on both ends and two recessed storefronts. The altered storefronts consist of fixed metal windows with glassblock windows below and recessed doors.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 984 Smith Avenue South

Common Name: Camelot Cleaners

SHPO Inventory No.: DK-WPC-031

City/Township West St. Paul

Description

This one-story commercial building with a rectangular footprint was constructed in 1950. The building is clad in stucco with half-timbering and has a Mansard roof that is covered with wood shakes. It features a storefront and a projected drive-thru window covered by a flat roof on the west-facing facade. A recessed bay with an overhead door is located on the north end. Windows consist of awning and fixed sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1085 Cherokee Avenue

Common Name: House

SHPO Inventory No.: DK-WPC-032

City/Township West St. Paul

Description

This one-story Ranch house with a rectangular footprint was constructed in 1958. The house is clad in stucco and has a hip roof with a wide eave overhang that is covered with asphalt shingles. The facade features a projected bay with a concrete stoop and an integral planter. The projected bay is clad with vertical wood and stretcher-bond brick. An interior brick chimney is located at the roof ridgeline and a entrance is located on the side (north) elevation. Windows consists of the original two-over-two, double-hung sash; a sliding sash; and a picture window flanked by two-over-two, double-hung sash. A one-story garage is located west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 966 Smith Avenue South

Common Name: Apartment Building

SHPO Inventory No.: DK-WPC-033

City/Township West St. Paul

Description

This two-story Art Deco apartment building with a partially raised basement was constructed in 1931. The building rests on a brick-faced foundation, is clad in stucco, and has a flat roof with a parapet wall and metal coping. The symmetrical facade has three-bays separated by brick columns. The larger center bay is slightly recessed. It features a central door with a basketweave-pattern brick surround that extends to the second-story. Windows consist of paired and ribbon one-over-one, double-hung sash and replacement sliding sash. A one-story garage is located to the east of the building.

Historical Narrative

N/A

Significance

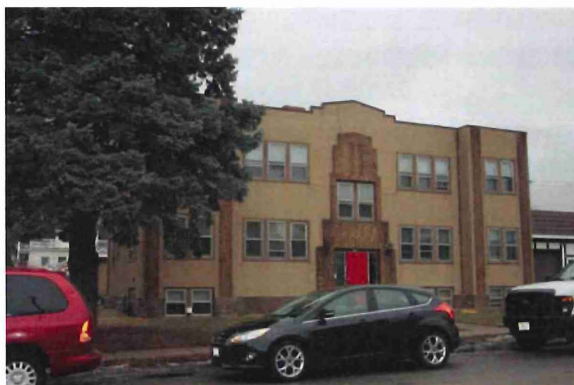
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 969 Smith Avenue South

Common Name: Apartment Building

SHPO Inventory No.: DK-WPC-034

City/Township West St. Paul

Description

This two-story apartment building with a raised basement was constructed in 1947. The building is clad in brick and has a flat roof with a stepped parapet wall. The symmetrical facade has five-bays separated by brick columns with stone caps. The central bay is slightly recessed and features the front door and a large, glass block window. An additional bay like those found on the facade wraps around to both the side (north and south) elevations. The facade and first bays on the side elevations are clad in tan, stretcher-bond brick while the remainder of the side elevations are clad in red, common-bond brick. Windows consist of paired and single one-over-one, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 961 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-035

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1922. The house rests on a rock-faced, concrete block foundation, is clad with aluminum siding, and has a front-gable roof that is covered with asphalt shingles. It features a front-gabled, partial-width porch on the east-facing facade. An interior brick chimney is located at the roof ridge line. Windows consist of three-over-one, double-hung sash and casements. A one-story garage is located west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 965 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-036

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1927. The house rests on a rock-faced, concrete block foundation, is clad in wide-lap siding, and has a side-gable roof with vinyl brackets that is covered with asphalt shingles. The facade features a recessed porch with a concrete stoop. A gabled dormer is located on the east roof slope and an interior brick chimney is located on the west slope. Windows consist of three-over-one, and one-over-one, double-hung sash and sliding sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 932 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-037

City/Township West St. Paul

Description

This one-story Bungalow with a rectangular footprint was constructed in 1924. The house rests on a rock-faced concrete block foundation, is clad in stucco and has hip roof that is covered with asphalt shingles. A clipped cross gable roof with exposed rafters that is covered with asphalt shingles. It features a central door with a concrete stoop and an integral porch on the west-facing facade. Windows consist of three-over-one, double-hung sash and one-over-one, double-hung sash. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 934 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-038

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1925. The house rests on a rock-faced, concrete-block foundation, is clad in stucco, and has a side-gable roof that is covered with asphalt shingles. It features a partial-width porch with a front-gable roof on the west-facing facade. A side door and a box bay are located on the north elevation. An interior brick chimney is located on the west roof slope. Windows consist of one-over-one, double-hung sash. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 943 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-039

City/Township West St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1922. The house rests on a rock-faced concrete block foundation, is clad in vinyl siding and stretcher-bond brick, and has a front-gable roof with a pent eave enclosure that is covered with asphalt shingles. An enclosed porch with a front-gable roof and a pent eave stretches across the east-facing facade. A gabled-wall dormer is located on the side (north and south) elevations. An interior brick chimney is located on the west roof slope. Windows consist of one-over-one, double-hung sash. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 939 Smith Avenue South

Common Name: House

SHPO Inventory No.:DK-WPC-040

City/Township West St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1922. The house rests on a rock-faced concrete block foundation, is clad in wide-lap siding, and has a side-gable roof that is covered with asphalt shingles. It features an enclosed porch covered by an extension of the side-gable roof that extends across the east-facing facade. A hipped-dormer is located on the east roof slope above the porch. A shallow box bay and an exterior brick chimney are located on the south elevation. An interior brick chimney is located at the roof ridge line and one-and-one-half-story wing is located on the rear (west) elevation. Windows consist of six-over-one, double-hung sash; three-over-one, double-hung sash with simple wood surrounds; and multi-light casements. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 931-933 Smith Avenue South

Common Name: Apartment Building

SHPO Inventory No.: DK-WPC-041

City/Township West St. Paul

Description

This two-story vernacular apartment building with a rectangular footprint was constructed 1880. The building rests on a rock-faced, concrete block foundation, is clad in stucco, and has a flat roof with a vinyl-faced parapet wall. It features an enclosed bay with a deck above and a double entrance covered by a pent eave with knee brace on the east-facing facade. A historic one-story wing is located on the rear (west) elevation. Windows consist of replacement one-over-one, double-hung sash with simple wood surrounds.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 977-981 Smith Avenue South

Common Name: Liquor Store

SHPO Inventory No.: DK-WPC-042

City/Township West St. Paul

Description

This one-story, one-part, concrete block building with a rectangular footprint was constructed in 1965. The building has a flat roof with a parapet wall and terra cotta drip cap. The altered, brick-faced facade features three store-fronts that are separated by brick columns. A metal awning extends the length of the facade above the storefronts. A large brick column is located on the north end of the facade, at the partial with the adjacent commercial building to the north. Windows consist of fixed sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address N/A NE Corn. of Dodd Rd/Smith

Common Name: Albert Park

SHPO Inventory No.: DK-WPC-043

City/Township West St. Paul

Description

This triangular-shaped park was established in 1931 and dedicated to Albert LeFevre. Surrounded by sidewalks, the park is slightly raised and lined by a concrete knee-wall. It features an obelisk in a central planter that is accessed by concrete steps and sidewalks. Smaller planters are located in the south and northeast corners of the park and a flagpole is located in the north corner.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 962-964 Smith Avenue South

Common Name: Apartment Building

SHPO Inventory No.: DK-WPC-044

City/Township West St. Paul

Description

This two-and-one-half-story vernacular apartment building with a rectangular footprint was constructed 1941. The building rests on a concrete block foundation, is clad in stucco, and has a side-gable roof that is covered with asphalt shingles. The symmetrical facade has two front-gabled entrance vestibules each with a concrete stoop and a stone door surround on either end. It features tile inlay above each entrance vestibule and two central ribbons of windows covered by a metal awning. A gabled wall dormer with half-timbering is located on the west roof slope above the facade and an interior brick chimney is located at the roof ridge. Windows consist of the original six-over-six, double-hung sash.

Historical Narrative

N/A

Significance

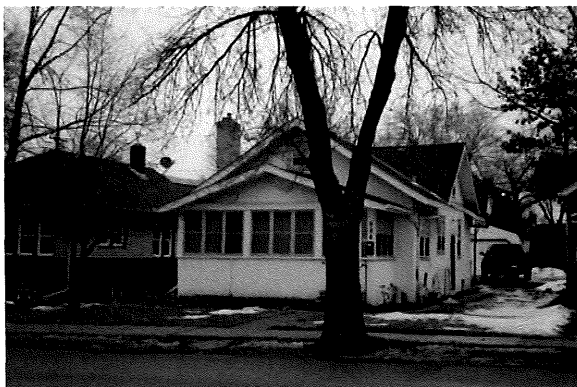
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 985 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-045

City/Township West St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1917. The house is clad in stucco and permastone and has a side-gable roof that is covered with asphalt shingles. It features a one-story, side-gabled addition on the facade. The addition has a stone-faced facade and an interior brick chimney at the roof ridge line. The door and windows on the addition facade are covered by a metal awning. A one-story addition is located on the south elevation of the house and a shed dormer is located on the east roof slope. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash and two picture windows flanked by one-over-one, double-hung sash windows. A one-story garage is located west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1069 Dodd Road

Common Name: House

SHPO Inventory No.: DK-WPC-046

City/Township West St. Paul

Description

This one-story Ranch house with a rectangular footprint was constructed in 1952. The house is clad in stucco and has a hip roof with a wide eave overhang that is covered with asphalt shingles. It features a projected two-stall garage with a side entrance on the southeast-facing facade. A side entrance is located on the south elevation and projected interior brick chimney is located at the roof ridgeline. Windows consist of the original one-over-one, double-hung sash; replacement one-over-one, double-hung sash; a three-light sliding; and a fixed round window.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1080-1085 Delaware Avenue

Common Name: Apartment Building

SHPO Inventory No.: DK-WPC-047

City/Township West St. Paul

Description

This two-story apartment building with a rectangular footprint was constructed in 1963. The building is clad with stucco and stretcher-bond brick and has a hip roof covered with asphalt shingles. The facade features concrete stoops with metal rails and a tuck under garage. The main entrance on the front (west) facade has a brick surround and is covered by a flat metal roof with metal brackets. An additional entrance with a concrete stoop is located on the rear (east) elevation. An interior brick chimney is located on the east roof slope. Windows consist of glass block and sliding sash. A one-story shed is located north of the building.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 947 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-048

City/Township West St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed 1924. The house rests on a rock-faced concrete block foundation, is clad in vinyl siding, and has a side-gable roof with brackets that is covered with asphalt shingles. It features an enclosed porch with a front-gable roof that extends across the east-facing facade. A large gabled wall dormer is located on the east roof slope above the porch. A one-story addition is located on the rear (west) elevation and a one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of replacement six-over-six, double-hung sash and casements.

Historical Narrative

N/A

Significance

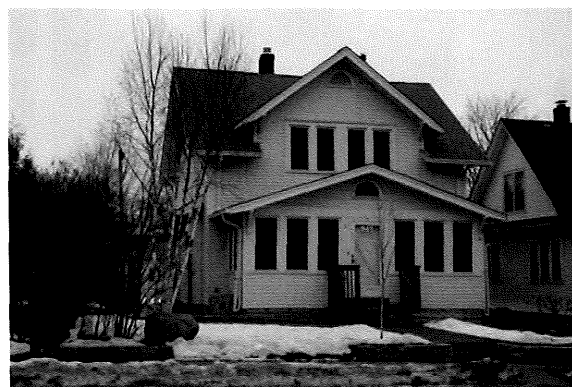
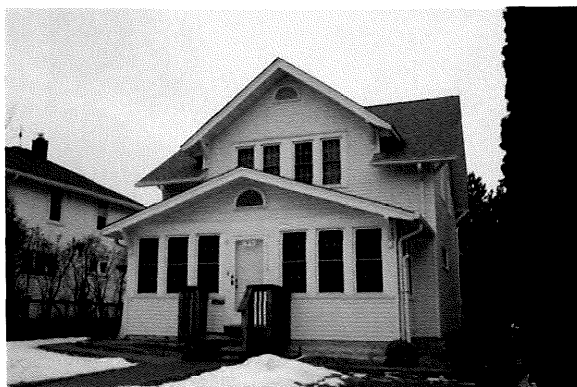
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 944 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-049

City/Township West St. Paul

Description

This two-story Colonial Revival house with a rectangular footprint was constructed 1928. The house rests on a concrete foundation, is clad in vinyl siding, and has a side-gable roof that is covered with asphalt shingles. The symmetrical facade features central door with a Colonial Revival surround. A one-story addition is located on the rear (east) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of six-over-six, double-hung sash. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

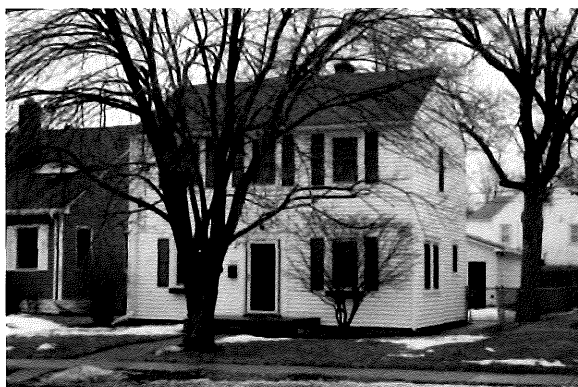
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 935 Smith Avenue South

Common Name: The Hair Shoppe

SHPO Inventory No.:DK-WPC-050

City/Township West St. Paul

Description

This one-story commercial building with a rectangular footprint was constructed in 1924. The concrete block building has a flat roof with a terra cotta drip clap. The symmetrical brick-faced facade features a central door flanked by a wood picture window on either side that are covered by a flat metal awning. A higher one-story wing is located on the west end. Two overhead doors are located on the south elevation of this wing. Windows consist of glassblock. The window openings on the south elevation has been partially infilled with concrete blocks.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 957 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-051

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1927. The house rests on a rock-faced concrete block foundation, is clad in stucco, and has a front-gable roof that is covered with asphalt shingles. An enclosed front-gabled porch stretches across the east-facing facade. An interior brick chimney is located at the roof ridge line. Windows consist of three-over-one, double-hung sash; one-over-one, double-hung sash; and casements. A one-story garage is located west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 954 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-052

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1924. The house is clad in stucco and has a side-gable roof that is covered with asphalt shingles. An enclosed front-gabled porch stretches across the west-facing facade. An exterior chimney is located on the north elevation and a gabled dormer is located on the south roof slope. Windows consist of replacement one-over-one, double-hung sash and a sliding sash. A one-story garage is located east of the house.

Historical Narrative

N/A

Significance

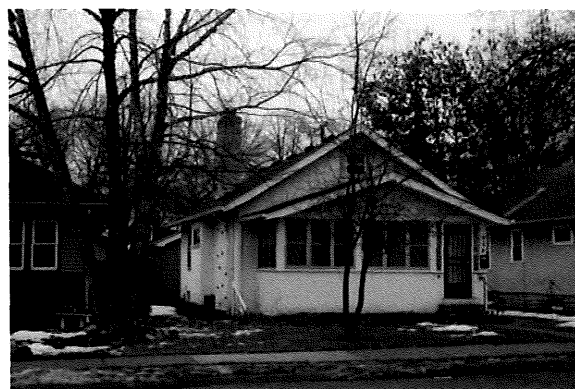
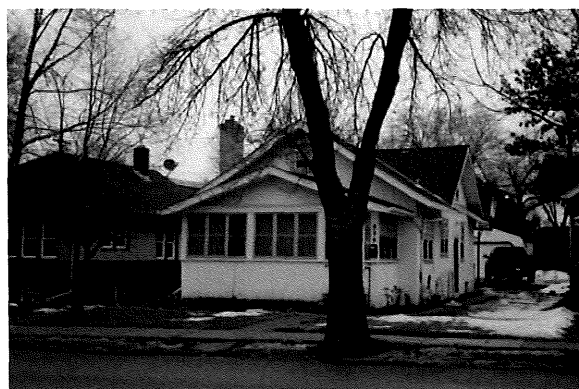
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 950 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-053

City/Township West St. Paul

Description

This one-story Bungalow with a rectangular footprint was constructed in 1929. The house is clad with vinyl siding and stretcher-bond brick and has a hip roof that is covered with asphalt shingles. It features an enclosed, partial-width, hipped-roof porch with a side entrance on the west-facing facade. A one-story addition is located on the rear (east) elevation and an interior brick chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash and a casement. A one-story garage is located east of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 999 Smith Avenue South

Common Name: Computer Fixx

SHPO Inventory No.: DK-WPC-054

City/Township West St. Paul

Description

This two-story commercial building with an irregular footprint was constructed in 1948. The building is clad in stretcher-bond brick, permastone, and stucco, and has a flat roof with metal coping. The angled storefront features two doors on the north end and a metal awning above the first story. Windows consist of the original two-over-two, double-hung sash; picture windows flanked by one-over-one, double hung sash; and fixed. The storefront has been replaced.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 991 Smith Avenue South

Common Name: Laurel Music Studio

SHPO Inventory No.: DK-WPC-055

City/Township West St. Paul

Description

This one-story, one-part commercial building with a rectangular footprint was constructed in 1927. The building is clad stretcher-bond brick and stucco, and has multi-height flat roof terra cotta drip cap. The brick-faced facade features a recessed door with a concrete stoop and fixed windows that are covered with an awning. It has a central brick chimney and a one-story wing on the rear (west) elevation. Windows consist of paired one-over-one, double-hung sash and fixed windows.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 958 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-056

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1928. The house rests on a rock-faced, concrete block foundation, is clad in stucco, and has a front-gable roof with brackets that is covered with asphalt shingles. It features an enclosed, partial-width, front-gabled porch with a side entrance on the west-facing facade. Half-timbering is located in the gable ends. An interior brick chimney is located on the south roof slope. Windows consist of replacement one-over-one, double-hung sash and multi-light casements. A one-story garage is located east of the house.

Historical Narrative

N/A

Significance

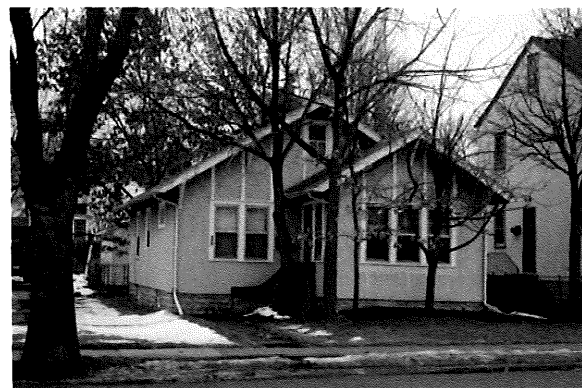
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 953 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-057

City/Township West St. Paul

Description

This two-story American Foursquare house with a rectangular footprint was constructed in 1922. The house rests on a rock-faced concrete block foundation, is clad in vinyl siding, and has a pyramidal hip roof that is covered with asphalt shingles. It features an enclosed porch with a front-gable roof that extends across the east-facing facade. A historic one-story wing with a deck above is located on the rear (west) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of original three-over-one, double-hung sash; replacement one-over-one, double-hung sash; three-light casement windows; and single-light casements. A one-story garage is located west of the house in the rear yard .

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 1096 Dodd Road

Common Name: House

SHPO Inventory No.: DK-WPC-058

City/Township West St. Paul

Description

This one-story Minimal Traditional house with a rectangular footprint was constructed in 1942. The house rests on a concrete block foundation, is clad in vinyl siding, and has a side-gable roof that is covered with asphalt shingles. The facade features a central entrance with a concrete stoop. A one-story garage is attached to the southwest elevation by a one-story, enclosed breezeway. A one-story addition is located on the southwest elevation of the garage. An interior brick chimney is located at the roof ridgeline. Windows consist of one-over-one, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 946 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-059

City/Township West St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1924. The house rests on a rock-faced concrete block foundation, is clad in stucco, and has a side-gable roof with cornice returns that is covered with asphalt shingles. It features a partial-width enclosed porch with a front-gable roof and a side entrance on the west-facing facade. A belt-course wraps around the house below the second story windows. An interior brick chimney is located on the east-roof slope. Windows consist of replacement one-over-one, double-hung sash with simple wood surrounds and a ribbon of casements. A one-story garage is located east of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 879 Smith Avenue South

Common Name: Amore Coffee

SHPO Inventory No.: DK-WPC-060

City/Township West St. Paul

Description

This two-story commercial building a rectangular footprint was constructed in 1916. The building is clad in stretcher-bond brick and has a flat roof with metal coping. The building features three altered storefronts, one at the northeast corner, the second on the north elevation, and the third on the east elevation. The corner storefront has a canted corner entrance that is supported by a Doric column. A belt course of rusticated stone extends above the first story. Rusticated stone and brick details are located at the cornice. Windows consist of one-over-one, double-hung sash; casements; and metal fixed.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 906 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-061

City/Township West St. Paul

Description

This one-and-one-half-story Tudor Revival house with a rectangular footprint was constructed 1919. The house is clad in stucco and has a front-gable roof that is covered with asphalt shingles. The facade features a front-gabled entrance vestibule with a stone surround and an exterior chimney. An arched wall is located on the north end. A one-and-half-story wing is located on the south elevation. Windows consist of one-over-one, double-hung sash; six-over-one, double-hung sash with simple wood surrounds; and diamond paned fixed. A one-story garage is located east of the house in the rear yard .

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 900 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-062

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1925. The house is clad in stretcher-bond brick and stucco, and has a front-gable roof with a pent eave that is covered with asphalt shingles. The facade features a one-story projected bay with a hip roof and a side door. A hipped dormer is located on both the north and south roof slopes. An interior brick chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash and sliding sash. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 898 Smith Avenue South

Common Name: Picture Perfect Art & Frame

SHPO Inventory No.:DK-WPC-063

City/Township West St. Paul

Description

This one-story Bungalow with an exposed basement and a rectangular footprint was constructed in 1936. The house rests on a concrete block foundation, is clad in stretcher-bond brick, and has a hip roof that is covered in asphalt shingles. The facade features a projected bay on the south end. An exterior brick chimney is located on the south elevation and an entrance addition has been constructed on the basement level of the facade. Windows consist of multi-light casements with transoms.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 897 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-064

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1915. The house rests on rock-faced, concrete block foundation, is clad in aluminum siding, and has a side-gable roof that is covered with asphalt shingles. It features an enclosed shed-roof porch stretches across the east-facing facade. A shed dormer is located on the east roof slope above the porch and an exterior brick chimney is located on the south elevation. An interior brick chimney is located near the roof ridge line. Windows consist of the original six-over-one, double-hung sash, four-over-one, double-hung sash; and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 891 Smith Avenue South

Common Name: House

SHPO Inventory No.:DK-WPC-065

City/Township West St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1917. The house rests on a rock-faced, concrete block foundation, is clad with asbestos shingles, and has a side-gable roof with exposed rafters that is covered with asphalt shingles. It features an enclosed, partial-width porch with a side-gable roof and a shed wall dormer on the east-facing facade. An interior brick chimney is located near the roof ridge line. Windows consist of one-over-one, double-hung sash and a glassblock window. A one-story garage is located in the rear yard, west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1102 Delaware Avenue

Common Name: House

SHPO Inventory No.: DK-WPC-066

City/Township West St. Paul

Description

This one-and-one-half-story Minimal Traditional house with a rectangular footprint was constructed in 1939. The house rests on a concrete block foundation, is clad with wide-lap siding, and has a side-gable roof that is covered with asphalt shingles. The facade features projected front-gable bay with a recessed entrance. An interior brick chimney is located at the roof ridge. Windows consist of replacement one-over-one, double-hung sash and a fixed picture window.

Historical Narrative

N/A

Significance

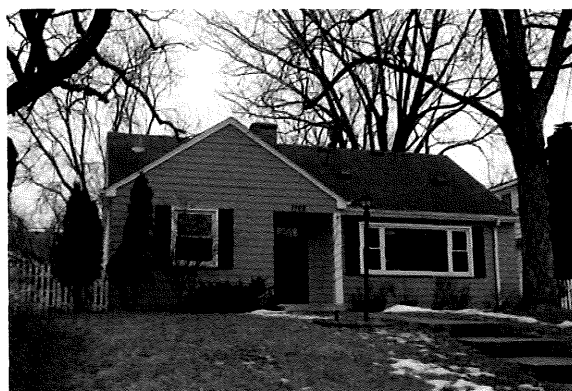
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 883-885 Smith Avenue South

Common Name: Simply Vintage/ Bubbles & Ec

SHPO Inventory No.: DK-WPC-067

City/Township West St. Paul

Description

This one-story, one-part commercial building with a rectangular footprint was constructed in 1920. The building is clad in stretcher-bond brick and has a flat roof with a parapet wall. The facade features two storefronts with two central recessed doors and a single-leaf door on the north end. Vertical wood siding is located above the storefront windows and rusticated stone is located at the cornice. Windows consist of fixed metal.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 989 Smith Avenue South

Common Name: Home Health Care Agency

SHPO Inventory No.: DK-WPC-068

City/Township West St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1890. The house is clad in stretcher-bond brick and wide-lap siding, and has a clipped side-gable roof that is covered with asphalt shingles. It features a one-story, commercial addition with Mansard roof on the facade. The symmetrical addition facade has a central recessed door and storefront windows. An interior brick chimney is located at the roof ridge line of the house and an exterior chimney on the north elevation. Windows consist of one-over-one, double-hung sash and storefront windows. A one-story garage is located west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 880 Smith Avenue South

Common Name: Antique Mall

SHPO Inventory No.: DK-WPC-069

City/Township West St. Paul

Description

This two-story commercial building with a rectangular footprint was constructed in 1924. The building is clad in stretcher-bond brick and has a flat roof with a stepped parapet wall. The building features an altered storefront on the west elevation. A single bay of the storefront wraps around to the north elevation. A one-story wing is located on the east elevation. Windows consist of glassblock; replacement one-over-one, double-hung sash; sliding sash; and fixed. Awnings are located above the windows and storefront.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 1062 Dodd Road

Common Name: BT Design Signs

SHPO Inventory No.: DK-WPC-070

City/Township West St. Paul

Description

This one-story, concrete block commercial building with a rectangular footprint was constructed in 1940. The building is clad in stucco and has a flat roof. A mansard awning extends along the length of the facade which has seven bays separated by columns. An overhead door is located on the west elevation. Windows consists of replacement fixed.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1045 Ottawa Avenue

Common Name: House

SHPO Inventory No.: DK-WPC-071

City/Township West St. Paul

Description

This two-story Colonial Revival house with a rectangular footprint was constructed in 1935. The house rests on a brick-faced foundation, is clad in asbestos shingles, and has a side-gable roof that is covered with asphalt shingles. The symmetrical facade features a central, one-story entrance vestibule with a balustrade and a concrete stoop on the east-facing facade. A one-story wing is located on the south elevation and an exterior brick chimney is located on the north elevation. Windows consist of one-over-one, six-over-one, and eight-over-one, double-hung sash; and a fan-shaped fixed. Some windows are replacement. A one-story garage is located west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1035 Ottawa Avenue

Common Name: House

SHPO Inventory No.: DK-WPC-072

City/Township West St. Paul

Description

This one-and-one-half-story Minimal Traditional house with a rectangular footprint was constructed in 1952. The house rests on a concrete block foundation, is clad in stucco, and has a front-gable roof that is covered with asphalt shingles. The east-facing facade features a front-gabled, entrance vestibule with a concrete stoop. A gabled wing is located on the south elevation. An enclosed porch is located on the rear (west) elevation and interior brick chimney is located at the roof ridge line. Windows consist of the original six-over-six and eight-over-twelve, double-hung sash and a sliding window. A modern garage is located west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 1037 Dodd Road

Common Name: The Pizza Shop

SHPO Inventory No.: DK-WPC-073

City/Township West St. Paul

Description

This 1960 one-story, concrete building with a rectangular footprint has a flat roof with a wide eave overhang. The symmetrical facade is partially clad in stretcher-bond brick and features a slightly recessed central entrance that is flanked by two picture windows. A side entrance is located on the northeast elevation. Windows consist of a two-over-two, double-hung sash on the rear and wood picture windows.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 912 Smith Avenue South

Common Name: House

SHPO Inventory No.: DK-WPC-074

City/Township West St. Paul

Description

This one-and-one-half story Craftsman Bungalow with a rectangular footprint was constructed in 1924. The house is clad in stucco and stretcher-bond brick and has a clipped front-gable roof that is covered with asphalt shingles. Half-timbering is located in the gable ends. An enclosed hipped-roof porch stretches across the west-facing facade. A shed dormer is located on the north and south roof slopes. An interior concrete-faced chimney is located at the roof ridge line. Windows consist of three-over-one, double-hung sash; one-over-one, double-hung sash; sliding sash; and casements. A one-story shed and one-story garage are located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 887 Smith Avenue South

Common Name: Eclectic

SHPO Inventory No.:DK-WPC-075

City/Township West St. Paul

Description

This one-story, one-part, concrete block commercial building with a rectangular footprint was constructed in 1925. The building is clad in stretcher-bond brick and has flat roof with a parapet wall and metal coping. The storefront features a central recessed door. A sign that reads " Eclectic 887" is located above the door. Windows consist of replacement metal fixed and sliding sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 479 Smith Avenue North

Common Name: House

SHPO Inventory No.: RA-SPC-03409

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1915. The house rests on a stone foundation, is clad in stucco, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. A historic one-story wing is located on the rear (south) elevation. An interior stuccoed chimney is located near the roof ridge line and a gabled dormer is located on the south roof slope. Windows consist of one-over-one, double-hung sash with simple wood surrounds and three-over-one, double-hung sash on the porch.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significance to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 489 Smith Avenue North

Common Name: William Haag House

SHPO Inventory No.: RA-SPC-03410

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1906. The house rests on a stone foundation, is clad in asbestos siding, and has a front-gable roof with a pent eave enclosure that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. A gable dormer is located on the north and south roof slopes. Windows consist of one-over-one, double-hung sash with simple wood surrounds; sliding sash; and a Palladian window. A one-story garage is located west of the house.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significance to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 671 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-03412

City/Township St. Paul

Description

This two-story vernacular house with a rectangular footprint was constructed c.1885. The house is clad in asbestos siding and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features a porch with a hip roof that extends across the east-facing facade. A one-story addition is located on the rear (west) elevation. Windows consist of replacement one-over-one, double-hung sash with simple wood surrounds. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 677 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-03413

City/Township St. Paul

Description

This one-and-one-half-story Craftsman Bungalow with a rectangular footprint was constructed in 1918. The house is clad with stucco and brick, and has a clipped side-gable roof with exposed rafter tails that is covered with asphalt shingles. Half-timbering is located in the gable ends. An extended enclosed cutaway porch is located on the east-facing facade. An exterior brick chimney and a small entrance porch with a shed roof are located on the north elevation. A one-story bay is located on the south elevation and a gable dormer is located on the west roof slope. Windows consist of multi-light-over-one, double-hung sash; eight-over-one, double-hung sash; six-over-one, double-hung sash; and multi-light casements. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 397 W. 7th Street

Common Name: Salvation Army

SHPO Inventory No.: RA-SPC-05304

City/Township St. Paul

Description

This two-story building with an irregular footprint was constructed in 1960. The building is clad with concrete panels and has an irregular roof. A main entrance addition is located at the southwest corner and features concrete columns and double-leaf metal doors. Multiple additions are located on the building. Windows consists of multi-light and single-light fixed.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 433 Smith Avenue North

Common Name: Miller House

SHPO Inventory No.: RA-SPC-05606

City/Township St. Paul

Description

This two-and-one-half-story American Foursquare house with a rectangular footprint was constructed in 1908. The house rests on a stone foundation, is clad in asbestos siding, and has a hip roof that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. A one-story bay is located on the side (south) elevation and an interior brick chimney is located at the roof ridge line. A gable dormer is located on the north, east, and south roof slopes. Windows consist of one-over-one, double-hung sash with simple wood surrounds. A one-story garage is located south of the house.

Historical Narrative

N/A

Significance

This property is a noncontributing building within the National Register-eligible Uppertown Historic District in Saint Paul. The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 457 Smith Avenue North

Common Name:

SHPO Inventory No.: RA-SPC-05611

City/Township St. Paul

Description

This two-story vernacular house with a rectangular footprint was constructed in 1900. The house rests on a poured concrete foundation, is clad in vinyl siding, and has a hip roof that is covered with asphalt shingles. It features a partially enclosed porch with a hip roof that extends across the east-facing facade. A one-story wing is located on the rear (west) elevation. An interior stuccoed chimney is located at the roof ridge line. Windows consist of replaced one-over-one, double-hung sash with simple wood surrounds.

Historical Narrative

N/A

Significance

This property is a noncontributing building within the National Register-eligible Uppertown Historic District in Saint Paul. The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 469 Smith Avenue North

Common Name: House

SHPO Inventory No.: RA-SPC-05614

City/Township St. Paul

Description

This two-story vernacular house with a rectangular footprint was constructed in 1860. The house rests on a stone foundation, is clad in wood siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed two-story porch with a front-gable roof that extends across the east-facing facade. A two-story addition is located on the rear (west) elevation and one-story bay are located on the side (south and north) elevations. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash and circular fixed.

Historical Narrative

N/A

Significance

This property is a noncontributing building within the National Register-eligible Uppertown Historic District in Saint Paul. The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 590 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9801

City/Township St. Paul

Description

This one-and-one-half-story Dutch Colonial Revival house with a rectangular footprint was constructed in 1909. The house rests on a concrete foundation, is clad in aluminum siding, and has a gambrel roof with cornice returns that is covered with asphalt shingles. It features a partial-width enclosed porch with a front-gable roof on the west-facing facade. A one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a gabled dormer is located on the east roof slope above the porch. Windows consist of one-over-one, double-hung sash with simple wood surrounds; casements; and picture with a transom. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

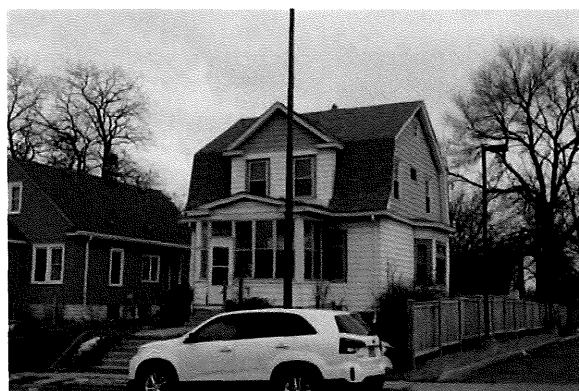
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 811 Smith Avenue South

Common Name: Apartment Building

SHPO Inventory No.: RA-SPC-9802

City/Township St. Paul

Description

This two-story apartment building with a rectangular footprint was constructed in 1911. The building rests on a concrete foundation, is clad in vinyl siding, and has a front-gable roof that is covered with asphalt shingles. It features an altered recessed entrance on the east-facing facade. A two-story addition is located on the south elevation. Windows consist of replacement one-over-one, double-hung sash; sliding sash; and a picture window. The window openings appear to have been altered. A one-story garage is located west of the building in the rear yard.

Historical Narrative

N/A

Significance

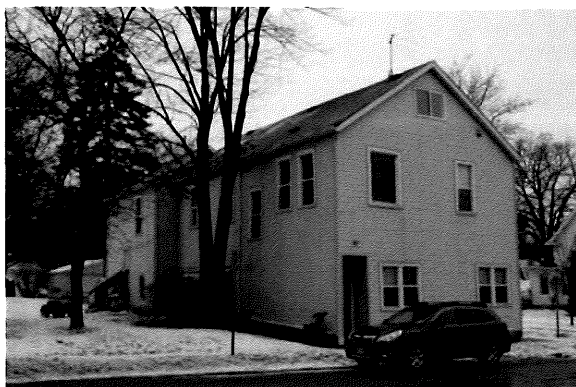
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 795 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9803

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1909. The house rests on a rock-faced, concrete block foundation, is clad in asbestos siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. A one-story addition is located on the rear (west) elevation and a one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a gabled wall dormer is located on the south roof slope. Windows consist of one-over-one, double-hung sash with simple wood surrounds and three-over-one, double-hung sash on the porch. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 805 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9804

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1912. The house rests on a rock-faced, concrete block foundation, is clad in aluminum siding, and has a side-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. A historic one-story wing is located on the rear (west) elevation and a one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and gabled wall dormer is located on east roof slope above the porch. Windows consist of one-over-one, double-hung sash with simple wood surrounds; three-over-one, double-hung sash on the porch; and diamond-paned fixed. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 565 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9805

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1904. The house is clad in vinyl siding and has a front-gable roof that is covered with asphalt shingles. It features a partially enclosed wrap-around porch with a hip and gable roof that extends across the east-facing facade. A one-story addition is located on the rear (west) elevation and a one-story bay is located on the side (north) elevation. Two interior brick chimneys are located at the roof ridge line and a hip dormer is located on the north roof slope. Windows consist of replacement one-over-one, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 808 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9806

City/Township St. Paul

Description

This two-and-one-half story vernacular house with a rectangular footprint was constructed in 1910. The house is clad in wood clapboard siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features a porch with a hip roof and the original square supports that extends across the west-facing facade. A one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash with simple wood surrounds; casements; and a picture window with a transom. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 799 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9807

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1910. The house rests on a rock-faced, concrete block foundation, is clad in asbestos siding, and has a side-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a front-gable roof that extends across the east-facing facade. The porch has a recessed entrance. A historic one-story wing is located on the rear (west) elevation and a one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a gabled wall dormer spans the facade. Windows consist of one-over-one, double-hung sash with simple wood surrounds; three-over-one, double-hung sash on the porch; and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 598 Smith Avenue South

Common Name: ABC Auto Body/GG's Salon

SHPO Inventory No.: RA-SPC-9808

City/Township St. Paul

Description

This one-story, L-shaped commercial building was constructed in 1906. The building is clad stretcher-bond brick and wood, and has a flat roof with a stepped parapet. It features two altered storefronts on the west-facing facade. The northern storefront has an overhead door and recessed entrance. The southern storefront is covered by an awning and has a recessed entrance. The building has a interior brick chimney and brick details at the cornice. Windows consist of replacement fixed and glassblock.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 551 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9809

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1910. The house rests on a stone foundation, is clad in vinyl siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. A historic one-story wing is located on the rear (west) elevation and a one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash; a six-over-six, double-hung sash; and three-over-one, double-hung sash on the porch. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations, including the enclosed porch, garage addition, replacement siding, and replacement windows. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 550 Smith Avenue South

Common Name: Metric Auto Parts

SHPO Inventory No.: RA-SPC-9810

City/Township St. Paul

Description

This one-story commercial building with a irregular footprint was constructed in 1965. The concrete block building rests on a poured concrete foundation, is partially clad in metal and has a flat roof with metal coping. It features a storefront on the west-facing facade. A one-story wing is located on the south elevation and a large two-story addition is located on the east elevation. Windows consist of replacement metal fixed.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations, including the enclosed porch, garage addition, replacement siding, and replacement windows. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 559 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9811

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1900. The house is clad in vinyl siding and has a front-gable roof that is covered with asphalt shingles. It features an enclosed wrap-around porch with a hip roof that extends across the east-facing facade to the north elevation. A one-story addition is located on the rear (west) elevation and a two-story gabled bay is located on the side (north) elevation. A second bay is located on the south elevation and an interior brick chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

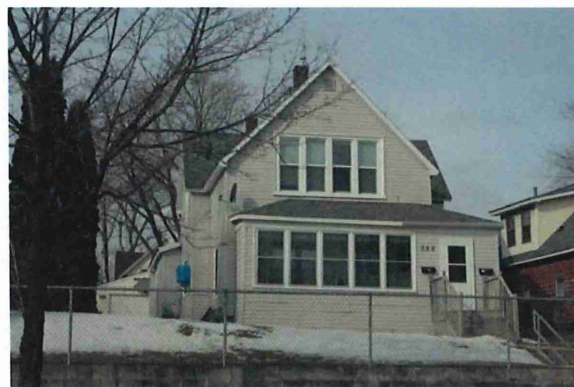
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 555 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9812

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1890. The house is clad in vinyl and wood siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed wrap-around porch with a hip roof that extends across the east-facing facade and onto the north elevation. A shed dormer is located on the south roof slope and a gabled dormer addition is located on the north roof slope. Windows consist of replacement one-over-one, double-hung sash. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

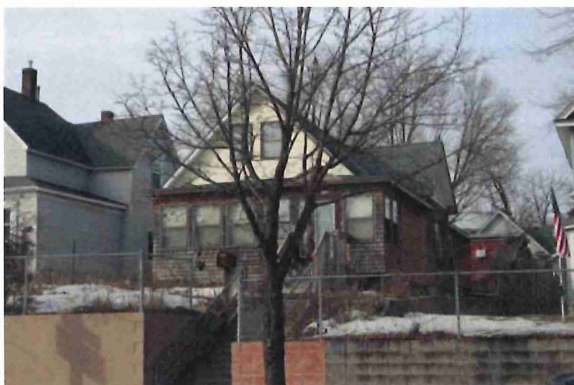
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 543 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9813

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1908. The house is clad in asbestos siding and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof on the east-facing facade. A one-story bay is located on the side (north) elevation. An interior brick chimney is located at the roof ridge line and a gabled dormer is located on the north and south roof slopes. Windows consist of one-over-one, double-hung sash with simple wood surrounds; three-over-one, double-hung sash on the porch; and casements. A one-story two car garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 529 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9814

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1880. The house rests on a stone foundation, is clad in asbestos siding, and has a front-gable roof that is covered with asphalt shingles. Wood detailing is located in the gable end. It features an enclosed porch with a hip roof and Doric columns that extends across the east-facing facade. A historic one-story wing is located on the rear (west) elevation and a one-story bay is located on the side (south) elevation. Windows consist of the original two-over-two, double-hung sash with simple wood surrounds; replacement four-over-one, double-hung sash with simple wood surrounds; and one-over-one, double-hung sash on the porch. A modern one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

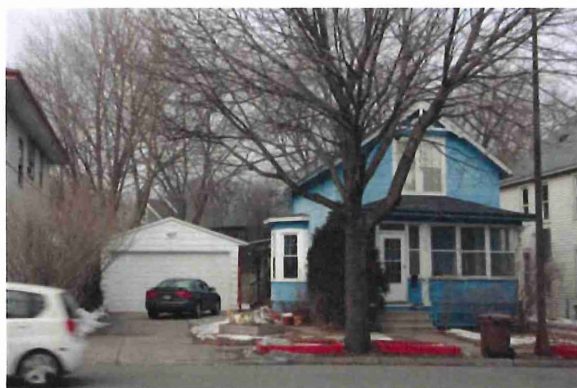
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 547 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9815

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1910. The house is clad in stucco siding and has a cross gambrel roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. A historic one-story wing is located on the rear (west) elevation and a one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash and casements. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 604 Smith Avenue South

Common Name: Commercial Building

SHPO Inventory No.: RA-SPC-9816

City/Township St. Paul

Description

This two-story commercial building with a rectangular footprint was constructed in 1908. The building is clad in stucco and has a flat roof with metal coping. It features a canted entrance at the southwest corner. The altered storefront on the west-facing facade has a central door and is covered by a modern awning. Windows consist of replacement one-over-one, double-hung sash and fixed.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 779 Smith Avenue South

Common Name: Commercial Building

SHPO Inventory No.: RA-SPC-9817

City/Township St. Paul

Description

This two-story commercial building with a rectangular footprint was constructed in 1917. The building is clad in stucco and asbestos siding, and has a flat roof with a parapet wall. It features a canted corner entrance and altered storefront on the east elevation. The storefront wraps onto one bay on the north elevation. A one-story wing with a second altered storefront is located on the south elevation. Both storefronts are covered by a pent awning addition. A one-story addition is located on the west (rear) elevation. Windows consist of one-over-one, double-hung sash; sliding sash; and fixed.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 757 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9818

City/Township St. Paul

Description

This two-story vernacular, T-shaped house was constructed in 1912. The house rests on a rock-faced, concrete block foundation, is clad in aluminum siding, and has a cross-gable roof that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. A historic two-story projected bay with a gable roof is located on the side (south and north) elevations and an interior brick chimney is located at the roof ridge line. Windows consist of original and replacement one-over-one, double-hung sash with simple wood surrounds and a picture window with a stained glass transom on the porch. A one-story two car garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 781 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9819

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1900. The house is clad in vinyl siding and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features a porch that has been incorporated into the floor plan on the east-facing facade. A historic two-story bay is located on the side (south) elevation and a gable wall dormer is located on the north roof slope. A one-story entrance addition is located on the south elevation. Windows consist of one-over-one, double-hung sash with simple wood surrounds.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 792 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9820

City/Township St. Paul

Description

This two-story American Foursquare house with a rectangular footprint was constructed in 1908. The house rests on a rock-faced, concrete block foundation, is clad in wood clapboard siding, and has a hip roof with bell cast eaves that is covered with asphalt shingles. It features a porch with a hip roof and the original supports that extends across the west-facing facade. A historic one-story wing is located on the rear (east) elevation and a one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a gable dormer is located on the west roof slope above the porch. Windows consist of one-over-one, double-hung sash with simple wood surrounds and casements. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 786 Smith Avenue South

Common Name: House & Garage/ day spay do

SHPO Inventory No.: RA-SPC-9821

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1916. The house rests on a rock-faced, concrete block foundation, is clad in vinyl siding, and has a front-gable roof that is covered with asphalt shingles. It features an enclosed porch with a front-gable roof that extends across the west-facing facade. An interior brick chimney is located at the roof ridge line and a shed dormer is located on the south roof slope. Windows consist of one-over-one, double-hung sash with simple wood surrounds; three-over-one, double-hung sash on the porch; and casements. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 774 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9822

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1908. The house is clad in stucco and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. A one-story bay is located on the side (south) elevation. A gabled dormer is located on the north and south roof slopes. An interior brick chimney is located at the roof ridge line of the north dormer. Windows consist of one-over-one, double-hung sash with simple wood surrounds; a sliding sash; and casements. A one-story pole building is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 766 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9823

City/Township St. Paul

Description

This two-story American Foursquare house with a rectangular footprint was constructed in 1906. The house rests on a rock-faced, concrete block foundation, is clad in vinyl siding, and has a hip roof with bellcast eaves that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. A historic a two-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a hipped dormer is located on the west roof slope. Windows consist of replacement one-over-one, double-hung sash and a picture window with a leaded glass transom. A one-story two car garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 526 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9824

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1921. The house rests on a rock-faced, concrete block foundation, is clad in vinyl siding, and has a hip roof that is covered with asphalt shingles. It features a concrete stoop and two-story bay on the west-facing facade. An interior corbelled brick chimney is located at the roof ridge line and a hip dormer is located on the west roof slope. Windows consist of replacement four-over-two and one-over-one, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 511 Smith Avenue South

Common Name: Commercial Building

SHPO Inventory No.: RA-SPC-9825

City/Township St. Paul

Description

This one-story, L-shaped commercial building was constructed in 1956. The building rests on a poured concrete foundation, is clad in stretcher-bond brick and wood siding, and has a front-gable roof. A Mansard roof addition covered with wood shake is located above the original roof line. The facade features a two overhead doors. A pole building addition is located on the south elevation. Windows consist of fixed replacement.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 516 Smith Avenue South

Common Name: Duplex

SHPO Inventory No.: RA-SPC-9826

City/Township St. Paul

Description

This two-and-one-half story vernacular duplex with a rectangular footprint was constructed in 1925. The building rests on a rock-faced, concrete block foundation, is clad in stucco, and has a hip roof that is covered with asphalt shingles. It features a small porch with a hip roof that on the north elevation. A wood staircase that leads to a second story entrance on the south elevation. An interior brick chimney is located at the roof ridge line. Windows consist of original three-over-one, double-hung sash and replacement one-over-one, double-hung sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 578 Smith Avenue South

Common Name: Duplex

SHPO Inventory No.: RA-SPC-9827

City/Township St. Paul

Description

This two-story vernacular building with an irregular footprint was constructed in 1888. The building is clad in stucco and has a hip roof that is covered with asphalt shingles. The symmetrical facade features two central doors and a concrete stoop. A gable dormer is located on the west roof slope above the facade. Two-story gabled projecting bays are located on the north and south elevations. An interior brick chimney is located on the east roof slope. Windows consist of replacement one-over-one, double-hung sash and sliding sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 773 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9828

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1908. The house rests on a stone foundation, is clad in wood siding, and has a gable-on-hip roof that is covered with asphalt shingles. It features an enclosed, partial-width porch with a hip roof and balustrade on the east-facing facade. A gabled wall dormer is located on the east roof slope and a one-story bay is located on the side (south) elevation. Windows consist of one-over-one, double-hung sash with simple wood surrounds; casements; and a picture window with a transom. A one-story shed is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 771 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9829

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1908. The house rests on a rock-faced, concrete block foundation, is clad in asbestos siding, and has a bellcast hip roof that is covered with asphalt shingles. It features an enclosed porch with a hip and front-gable roof and the original columns that extends across the east-facing facade. A gabled wall dormer is located on the east roof slope and a one-story bay is located on the side (south) elevation. A one-story garage addition is located on the southwest corner. Windows consist of one-over-one, double-multi-light-over-one, double-hung sash with simple wood surrounds; and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 767 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9830

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1909. The house is clad in stucco and has a side-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed, partial-width porch with a shed roof on the east-facing facade. A historic one-story ell is located on the rear (west) elevation and an interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash with simple wood surrounds; a picture window flanked by one-over-one, double-hung sash; and casements. The windows on the facade are covered by metal awnings. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 475 Smith Avenue North

Common Name: House

SHPO Inventory No.: RA-SPC-9831

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1915. The house rests on a stone foundation, is clad in aluminum siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. A one-story bay is located on the side (south) elevation and an interior brick chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash and three-over-one, double-hung sash on the porch.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significance to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 485 Smith Avenue North

Common Name: House

SHPO Inventory No.: RA-SPC-9832

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1905. The house rests on a rock-faced, concrete block foundation, is clad in wood and aluminum siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features a porch with a hip roof that extends across the east-facing facade. The first story is faced in brick on the porch. A historic one-story wing is located on the rear (west) elevation and a one-story bay is located on the side (north) elevation. An interior brick chimney is located at the roof ridge line and a gabled dormer is located on the north and south roof slopes. Windows consist of replacement one-over-one, double-hung sash; fixed; and a picture window with a leaded transom.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significance to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 473 Smith Avenue North

Common Name: House

SHPO Inventory No.: RA-SPC-9833

City/Township St. Paul

Description

This two-story vernacular house with a rectangular footprint was constructed in 1889. The house rests on a stone foundation, is clad in asbestos siding, and has a hip roof that is covered with asphalt shingles. It features a partial-width, enclosed porch with a shed roof on the east-facing facade. A historic one-story wing is located on the rear (west) elevation and a one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a gable dormer is located on the east roof slope. Windows consist of one-over-one, double-hung sash and glass block.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significance to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 525 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9834

City/Township St. Paul

Description

This two-and-one-half story vernacular house with a rectangular footprint was constructed in 1889. The house rests on a stone foundation, is clad in vinyl siding, and has a hip roof that is covered with asphalt shingles. It features a two-story enclosed porch with a flat roof that extends across the east-facing facade. An interior brick chimney is located at the roof ridge line and a hipped dormer is located on the east roof slope. Windows consist of replacement one-over-one, double-hung sash and a picture window with transom on the porch.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 528 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9835

City/Township St. Paul

Description

This two-and-one-half-story American Foursquare house with a rectangular footprint was constructed in 1907. The house rests on a stone foundation, is clad in vinyl siding, and has a hip roof with bellcast eaves that is covered with asphalt shingles. It features an altered porch with a hip roof that extends across the west-facing facade. A historic two-story bay is located on the side (south) elevation. A hip dormer is located on the west slope. Windows consist of replacement one-over-one, double-hung sash; casement; fixed; and a picture window with a leaded transom. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 522-524 Smith Avenue South

Common Name: Duplex

SHPO Inventory No.: RA-SPC-9836

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1910. The house rests on a stone foundation, is clad in aluminum siding, and has a hip roof with bellcast eaves that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. A historic one-story wing is located on the rear (east) elevation and a two-story bay is located on the side (north) elevation. A second-story addition is located above the wing. An interior brick chimney is located at the roof ridge line and a gable dormer is located on the north, west, and south roof slopes. Windows consist of one-over-one, double-hung sash and fixed. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 536 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9837

City/Township St. Paul

Description

This two-and-one-half-story American Foursquare house with a rectangular footprint was constructed in 1911. The house rests on a stone foundation, is clad in vinyl siding, and has a hip roof that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. A two-story bay is located on the side (south) elevation and an interior brick chimney is located near the roof ridge line. A hip dormer is located on the west and south roof slopes. Windows consist of replacement one-over-one, double-hung sash and fixed. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 800 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9838

City/Township St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1914. The house is clad in vinyl siding, and has a hip roof that is covered with asphalt shingles. It features an enclosed porch with a front-gable roof that extends across the west-facing facade. A one-story box bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and gable dormer is located on the west roof slope above the porch. Windows consist of one-over-one, double-hung sash; casements; and jalousie windows on the porch. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations, including the enclosed porch, garage addition, replacement siding, and replacement windows. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 796 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9839

City/Township St. Paul

Description

This one-and-one-half story Bungalow with a rectangular footprint was constructed in 1913. The house rests rock-faced, concrete block foundation, is clad in aluminum siding, and has a hip roof that is covered with asphalt shingles. It features an enclosed porch with a front-gable roof that extends across the west-facing facade. An interior brick chimney is located at the roof ridge line and gable dormer is located on the west roof slope above the porch. Windows consist of six-over-one, double-hung sash and casements. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

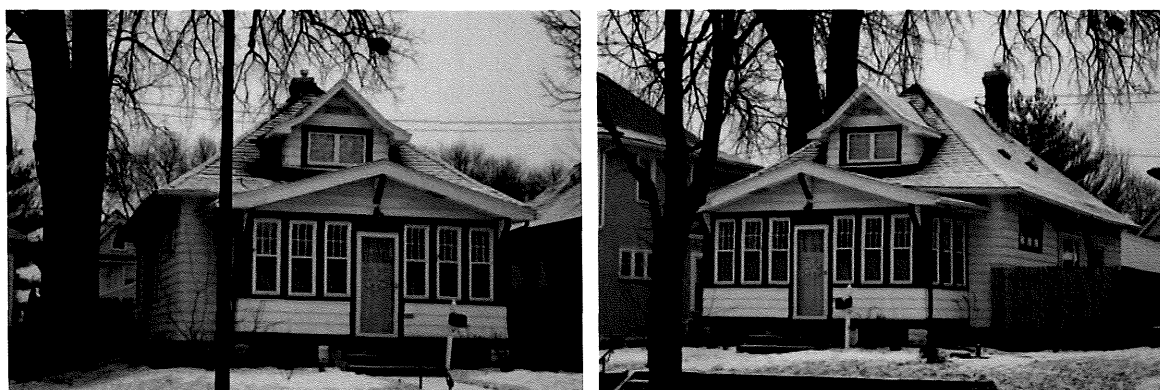
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 762 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9840

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1908. The house rests on a stone foundation, is clad in vinyl siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. An interior brick chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash with simple wood surrounds; and replacement three-over-one, double-hung sash on the porch.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 756 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9841

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1910. The house rests on a rock-faced, concrete block foundation, is clad in asbestos siding, and has a front-gable roof with a pent eave enclosure that is covered with asphalt shingles. It features an enclosed porch with a hip roof and Doric columns that extends across the west-facing facade. A historic one-story wing is located on the rear (east) elevation and a two-story bay is located on the side (south) elevation. An interior concrete chimney is located on the north roof slope ridge line. Windows consist of one-over-one, double-hung sash with simple wood surrounds.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 569 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9842

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1907. The house rests on a stone foundation, is clad in wood shakes, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features a partial-width enclosed porch with a front-gable roof on the east-facing facade. A historic one-story wing is located on the rear (west) elevation and a one-story bay is located on the side (south) elevation. An interior brick chimney is located on the north roof slope and a gable dormer is located on the south roof slope. Windows consist of four-over-one, double-hung sash; three-over-one, double-hung sash; one-over-one, double-hung sash with simple wood surrounds; and fixed.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 572 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9843

City/Township St. Paul

Description

This one-and-one-half-story Dutch Colonial Revival house with a rectangular footprint was constructed in 1907. The house rests on a stone foundation, is clad in vinyl siding, and has a side gambrel roof with cornice returns that is covered with asphalt shingles. It features a partial-width, enclosed porch with a front-gable roof on the west-facing facade. A historic one-story wing is located on the rear (east) elevation and a one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a gabled dormer is located on the west roof slope above the porch. Windows consist of replacement one-over-one, double-hung sash; three-over-one, double-hung sash; and fixed. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 568 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9844

City/Township St. Paul

Description

This one-and-one-half-story Dutch Colonial Revival house with a rectangular footprint was constructed in 1907. The house is clad in stucco and has a side gambrel roof with cornice returns that is covered with asphalt shingles. It features a partial-width, enclosed porch with a front-gable roof and wood columns on the west-facing facade. A one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a gabled dormer is located on the west roof slope above the porch. Windows consist of replacement one-over-one, double-hung sash and an ox-eye window. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 566 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9845

City/Township St. Paul

Description

This two-story American Foursquare house with a rectangular footprint was constructed in 1924. The house is clad in stucco and brick and has a hip roof that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. Windows consist of three-over-one, double-hung sash with simple wood surrounds; one-over-one, double-hung sash on the porch; and fixed.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 819 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9846

City/Township St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1900. The house rests on a rock-faced, concrete block foundation, is clad with stucco and wood siding, and has a side-gable roof with brackets that is covered with asphalt shingles. It features an integral porch that extends across the east-facing facade and has been incorporated into the massing. A box bay is located on the side (south) elevation and a shed dormer is located on the east roof slope. An interior brick chimney is located at the roof ridge line. Windows consist of original four-over-one, double-hung sash; replacement one-over-one, double-hung sash; a picture window flanked by one-over-one, double-hung sash; and glass block windows. Some windows openings have been altered.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 533-535 Smith Avenue South

Common Name: Duplex

SHPO Inventory No.: RA-SPC-9847

City/Township St. Paul

Description

This two-and-one-half-story vernacular duplex with a rectangular footprint was constructed in 1916. The duplex is clad in stucco and has a hip roof that is covered with asphalt shingles. It features a concrete stoop and a recessed entrance bay on the north end of the east-facing facade. A historic two-story wing is located on the rear (west) elevation. An interior brick chimney is located at the roof ridge line and a hip dormer is located on the east roof slope. Windows consist of six-over-one and one-over-one, double-hung sash with simple wood surrounds; an eight-light fixed; and single-light fixed. A one-story garage is located west of the duplex in the rear yard.

Historical Narrative

N/A

Significance

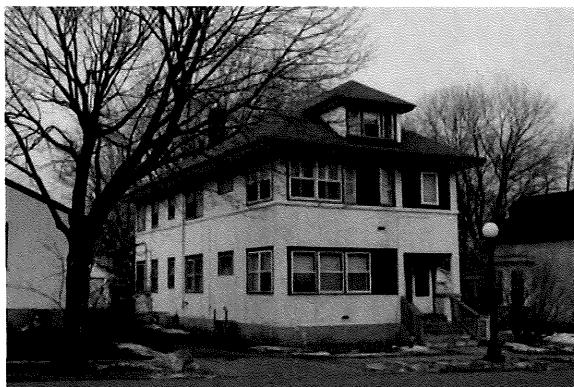
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significant under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 586 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9848

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1938. The house rests on a rock-faced, concrete block foundation, is clad in asbestos siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features a central entrance vestibule with a concrete stoop on the symmetrical west-facing facade. A tuck-under garage is accessed on the facade. An interior brick chimney is located at the roof ridge line and a gabled dormer. Windows consist of replacement six-over-one, double-hung sash and casements.

Historical Narrative

N/A

Significance

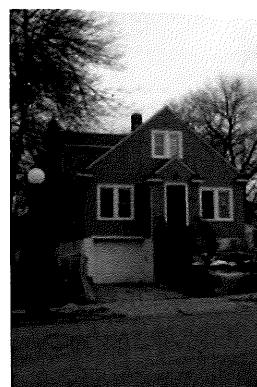
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 842 Smith Avenue South

Common Name: Commercial Building

SHPO Inventory No.: RA-SPC-9849

City/Township St. Paul

Description

This two-story commercial building with a rectangular footprint was constructed in 1922. The building is clad with stretcher-bond brick and stucco and has a flat roof with a parapet wall and metal coping. It features an altered storefront with a canted corner entrance supported by a column and an interior brick chimney. A two-and-one-story addition is located on the rear (east) elevation. The one-story portion of the addition features an overhead door that is accessed on the south elevation. Windows consist of fixed and paired, one-over-one, double-hung sash with brick sills and lintels on the second-story.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 684 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9850

City/Township St. Paul

Description

This two-and-one-half-story American Foursquare house with a rectangular footprint was constructed in 1904. The house is clad in aluminum siding and has a hip roof that is covered with asphalt shingles. It features a porch with a hip roof that extends across the west-facing facade. A historic one-story wing is located on the rear (east) elevation and a two-story bay covered is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a hipped dormer is located on the north, south, and west roof slopes. Windows consist of one-over-one, double-hung sash; fixed; and a picture window with a leaded transom. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 680 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9851

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1904. The house rests on a stone foundation, is clad in wood siding, and has a front-gable roof with a pent eave enclosure that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. A two-story bay is located on both the side (north and south) elevations. An interior brick chimney is located on the south roof slope. Windows consist of one-over-one, double-hung sash; four-over-one windows on the porch; and a Palladian window with a keystone in the gable end.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 649 Smith Avenue South

Common Name: Office Building

SHPO Inventory No.: RA-SPC-9852

City/Township St. Paul

Description

This one-story commercial building with a rectangular footprint was constructed in 1948. The building is clad in replacement stucco and has a flat roof metal coping. It features an altered storefront with a recessed door on the east-facing facade. The north elevation is separated into five bays by modern Doric columns. An overhead door is located on the north elevation. Windows consist of fixed metal replacements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 532 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9853

City/Township St. Paul

Description

This two-and-one-half-story American Foursquare house with a rectangular footprint was constructed in 1908. The house is clad in vinyl siding and has a hip roof that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. A historic one-story wing is located on the rear (east) elevation and a two-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a hip dormer is located on the west slope. Windows consist of replacement one-over-one, double-hung sash; casement; and fixed. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

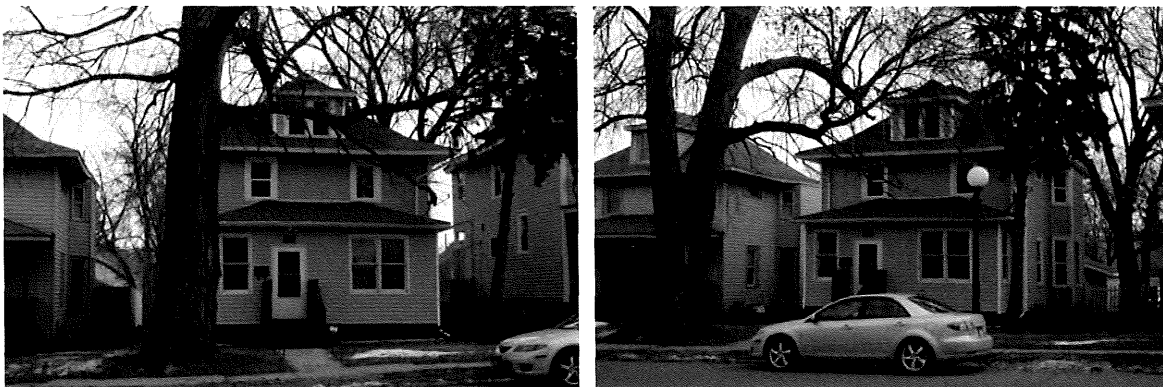
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 615-617 Smith Avenue South

Common Name: Duplex

SHPO Inventory No.: RA-SPC-9854

City/Township St. Paul

Description

This two-and-one-half-story American Foursquare duplex with a rectangular footprint was constructed in 1907. The duplex rests on a concrete foundation, is clad in vinyl siding, and has a hip roof with bellcast eaves that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. The porch has a square columns and small gable roof at the center of the hip roof. A two-story bay is located on the side (north and south) elevations. An interior brick chimney is located at the roof ridge line and a gable dormer is located on the east roof slope. Windows consist of replacement one-over-one, double-hung sash; casements; and fixed leaded glass windows. A one-story garage is located west of the duplex in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 609-611 Smith Avenue South

Common Name: Duplex & Garage

SHPO Inventory No.: RA-SPC-9855

City/Township St. Paul

Description

This two-and-one-half-story American Foursquare duplex with a rectangular footprint was constructed in 1907. The duplex is clad in vinyl siding and has a hip roof with bellcast eaves that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. The porch has a small gable roof at the center of the hip roof. A two-story bay is located on the side (north and south) elevations. An interior brick chimney is located at the roof ridge line and a gable dormer is located on the east, north, and south roof slopes. Windows consist of replacement one-over-one, double-hung sash and casements. A one-story garage is located west of the house in the rear yard

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 804 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9856

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1908. The house rests on a stone foundation, is clad in wood clapboard siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the north-facing facade. A historic one-story wing is located on the rear (south) elevation and a one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a gabled wall dormer is located on the south roof slope. Windows consist of one-over-one, double-hung sash with simple wood surrounds; three-over-one, double-hung windows on the porch; and casements. Windows in the front-gable end have an diamond paned upper sash. A one-story two-car garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 539 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9857

City/Township St. Paul

Description

This one-story Ranch house with a rectangular footprint was constructed in 1955. The house rests on a concrete block foundation, is clad in stucco, and has a side-gable roof that is covered with asphalt shingles. The facade features a recessed door with a concrete stoop on the east end. A one-story garage is attached to the west elevation by a one-story breezeway. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash and a picture window flanked by one-over-one, double-hung sash windows.

Historical Narrative

N/A

Significance

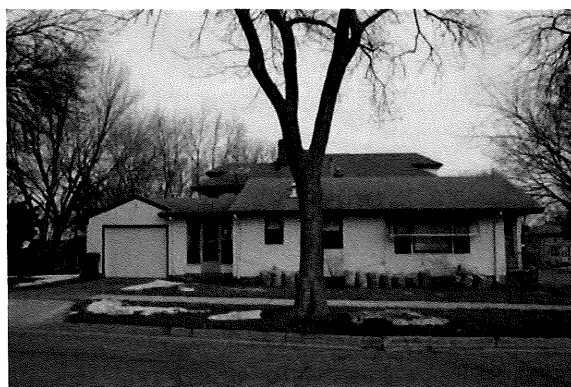
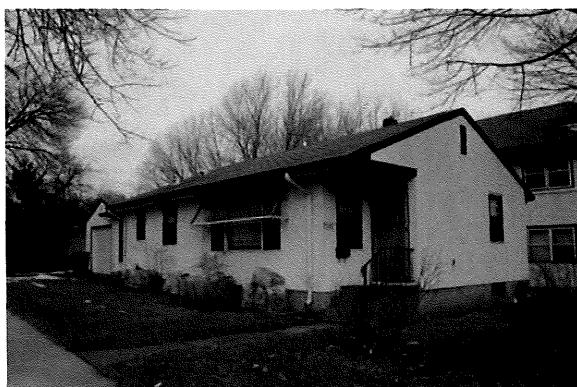
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 693 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9858

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1911. The house is clad in wood clapboard siding and replacement stucco, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features a porch with a hip roof that extends across the east-facing facade. A one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash with simple wood surrounds; a stained glass window on the south elevation; and a picture window with a transom on the facade. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 740 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9859

City/Township St. Paul

Description

This two-and-one-half-story American Foursquare house with a rectangular footprint was constructed in 1911. The house rests on a concrete foundation, is clad in aluminum siding, and has a hip roof with bellcast eaves that is covered with asphalt shingles. It features an enclosed porch with a hip roof and the original supports that extends across the west-facing facade. A historic one-story ell is located on the rear (south) elevation and a one-story bay is located on the side (south) elevation. A hipped dormer is located on the west roof slope and an interior brick chimney is located on the east roof slope. Windows consist of replacement one-over-one, double-hung sash and casements. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 734 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9860

City/Township St. Paul

Description

This two-and-one-half-story American Foursquare house with a rectangular footprint was constructed in 1911. The house rests on a rock-faced, concrete block foundation, is clad in aluminum siding, and has a hip roof with bellcast eaves that is covered with asphalt shingles. It features an enclosed porch with a hip roof and the original supports that extends across the west-facing facade. A historic one-story wing is located on the rear (south) elevation and a one-story bay is located on the side (south) elevation. A hipped dormer is located on the west roof slope and an interior brick chimney is located on the east roof slope. Windows consist of replacement one-over-one, double-hung sash; casements; and a picture window with a transom.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 728 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9861

City/Township St. Paul

Description

This two-and-one-half-story American Foursquare house with a rectangular footprint was constructed in 1913. The house rests on a rock-faced, concrete block foundation, is clad in aluminum siding, and has a hip roof with bellcast eaves that is covered with asphalt shingles. It features an enclosed porch with a hip roof and the original supports that extends across the west-facing facade. A historic one-story wing is located on the rear (south) elevation and a one-story bay is located on the side (south) elevation. A hipped dormer is located on the west roof slope and an interior brick chimney is located on the roof ridge line. Windows consist of replacement one-over-one, double-hung sash; three-over-one, double-hung sash on the porch; and a picture window with transom.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 716 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9862

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1916. The house rests on a brick-faced foundation, is clad in wood clapboard siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. A historic one-story ell is located on the rear (east) elevation and a one-story bay is located on the side (south) elevation. A box-bay is located on the north elevation and an interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash with simple wood surrounds and a picture window with a transom. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

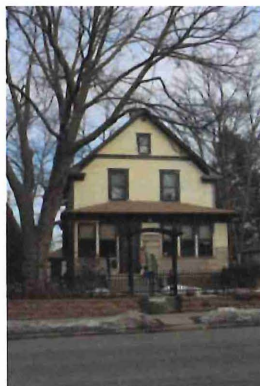
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 855 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9863

City/Township St. Paul

Description

This two-story vernacular house with a rectangular footprint was constructed in 1890. The house rests on a rock-faced concrete block foundation, is clad in asbestos and vertical wood siding, and has a front-gable roof that is covered with asphalt shingles. It features an enclosed porch with a front-gable roof that extends across the east-facing facade. A two-story projected bay and an exterior chimney are located on the side (north) elevation. A one-story bay is located on the side (south) elevation. Windows consist of one-over-one, double-hung sash; single-light fixed with awning sash below; and casements.

Historical Narrative

N/A

Significance

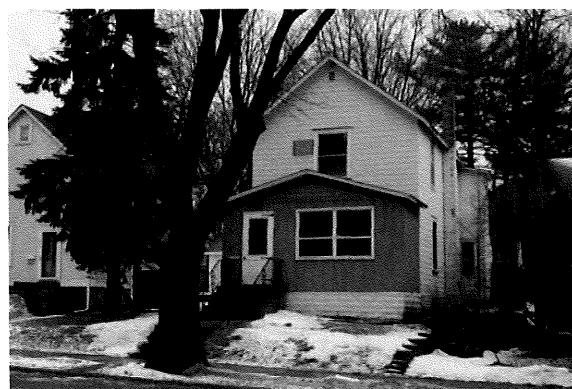
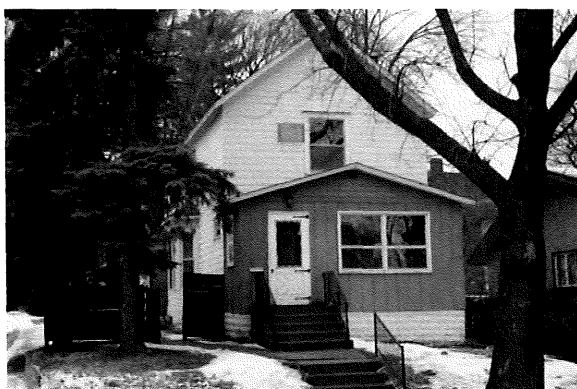
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 852 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9864

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1915. The house rests on a concrete block foundation, is clad in vinyl siding, and has a front-gable roof that is covered with asphalt shingles. It features an enclosed, altered porch with a front-gable roof that extends across the west-facing facade. A gabled wall dormer is located on both side (north and south) elevations. An interior brick chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash; casements; and a sliding sash window. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

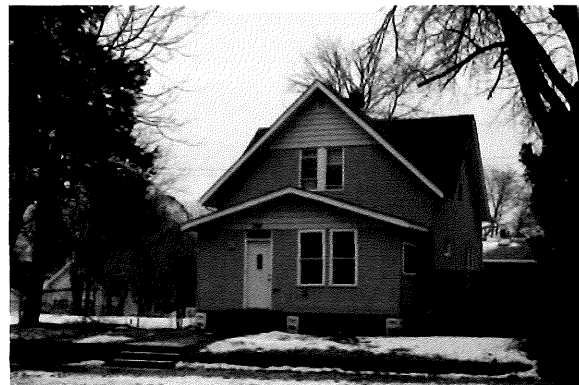
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 689 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9865

City/Township St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1914. The house is clad with stucco and wood siding, and has a hip roof that is covered with asphalt shingles. It features an enclosed porch with a front-gabled roof that extends across the east-facing facade. A gabled dormer is located on the east roof slope above the porch. A one-story ell with a hip roof is located on the north elevation. A large two-story addition with dormer crosses the ridge line is located on the north and south roof slopes. An interior brick chimney is located at the dormer ridge line. Windows consist of six-over-one, double-hung sash with simple wood surrounds; replacement one-over-one, double-hung sash; and casements. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 727 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9866

City/Township St. Paul

Description

This two-story vernacular house with a rectangular footprint was constructed in 1890. The house is clad in wood clapboard siding and has a hip roof that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. A gable wall dormer is located on the east roof slope above the facade. A two-story box bay with a gable roof is located on the side (south) elevation. Windows consist of one-over-one, double-hung sash with simple wood surrounds and original fixed on the facade. Some windows have pediments. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 699 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9867

City/Township St. Paul

Description

This one-story Bungalow with a rectangular footprint was constructed in 1911. The house is clad with stucco and has a hip roof that is covered with asphalt shingles. It features an integral porch that stretches across the east-facing facade. A gabled dormer is located on the east roof slope above the porch and a one-story bay is located on the side (south) elevation. Two interior brick chimneys are located at the roof ridge line. Windows consist of multi-light-over-one, double-hung sash; one-over-one, double-hung sash; and multi-light and single-light casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 705 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9868

City/Township St. Paul

Description

This two-and-one-half-story American Foursquare house with a rectangular footprint was constructed in 1906. The house is clad in stucco and stone veneer, and has a hip roof with bellcast eaves that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. A historic one-story ell is located on the rear (west) elevation and a two-story bay is located on the side (south) elevation. A hipped dormer is located on the south roof slope. Windows consist of three-over-one, double-hung sash; one-over-one, double-hung sash with simple wood surrounds; one-over-one, double-hung leaded windows on the facade; and replacement fixed. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 704 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9869

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1909. The house is clad in vinyl siding and has a pyramidal hip roof that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. A two-story bay is located on the side (south) elevation and an interior brick chimney is located at the roof ridge line. A gabled dormer is located on the west and south roof slopes. Windows consist of one-over-one, double-hung sash and fixed. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 698-700 Smith Avenue South

Common Name: Duplex

SHPO Inventory No.: RA-SPC-9870

City/Township St. Paul

Description

This two-and-one-half-story vernacular duplex with a rectangular footprint was constructed in 1912. The building rests on a stone foundation, is clad in vinyl siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features a porch with a hip roof and the original Doric columns that extends across the west-facing facade. An interior brick chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash; and replacement picture windows with transoms.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 690 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9871

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1906. The house is clad in aluminum siding, and has a hip roof that is covered with asphalt shingles. It features a porch with a hip roof and Doric columns that extends across the north-facing facade. A historic one-story wing is located on the rear (south) elevation and a two-story bay covered by a gabled dormer is located on both the side (north and south) elevations. An interior brick chimney is located at the roof ridge line and a gabled dormer is located on the west roof slopes. Windows consist of one-over-one, double-hung sash; a leaded fixed; and a picture window with a stain glass transom. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 858 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9872

City/Township St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1934. The house rests on a concrete block foundation, is clad in stucco, and has a side-gable roof that is covered with asphalt shingles. It features a concrete stoop and a gable roof with brackets at the central door on the west-facing facade. A gabled-dormer is located on the west roof slope above the door and an interior brick chimney is located at the roof ridge line. A one-story addition is located on the rear (east) elevation. Windows consist of replacement one-over-one, double-hung sash; replacement casements; and a fixed sash window. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 710 Smith Avenue South

Common Name: Capital Deals

SHPO Inventory No.: RA-SPC-9873

City/Township St. Paul

Description

This one-story, one-part commercial building with a rectangular footprint was constructed in 1919. The building is clad in stretcher-bond brick and has a flat roof with a metal coping. One bay of the storefront wraps around on the north elevation. Replacement vertical wood siding has been added above the storefront. It features a recessed altered storefront with a central door. Brick and terracotta details are located near the building cornice. Windows consist of replacement one-over-one, double-hung sash and metal storefront windows.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 787 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9874

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1900. The house is clad in stucco and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. A gabled wall dormer is located on both the side (north and south) elevations and an interior brick chimney is located at the roof ridge line. A one-story addition is located on the rear (west) elevation. Windows consist of one-over-one, double-hung sash with simple wood surrounds and metal storms. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 878 Smith Avenue South

Common Name: Commercial Building

SHPO Inventory No.: RA-SPC-9875

City/Township St. Paul

Description

This two-story commercial building with a rectangular footprint was constructed in 1907. The building is clad in stretcher-bond brick, stucco, and vinyl, and has a flat roof with metal coping. It features a canted entrance and a pent awning on the west elevation and one bay on the south elevation. A one-story wing is located on the east end. An exterior brick chimney is located on the north elevation. Windows consist of replacement one-over-one, double-hung sash; six-over-one double-hung, sash; three-over one, double-hung sash; and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 876 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9876

City/Township St. Paul

Description

This one-and-one-half-story Gable-El form house with a rectangular footprint was constructed in 1903. The house rests on a stone foundation, is clad in painted, stretcher-bond brick, and has gable roof that is covered with asphalt shingles. It features an enclosed, wrap-around porch with a hip roof that extends across the west-facing facade. A historic one-story wing is located on the south elevation and a hip-roofed projected bay is located on the north elevation. A second one-story wing with a gabled-dormer is located on the east elevation. An interior brick chimney is located at the roof ridge line. Windows consist of the original two-over-two, double-hung sash; and replacement one-over-one, double-hung sash. A one-story garage is located east of the house in the rear yard .

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 870 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9877

City/Township St. Paul

Description

This one-and-one-half-story Dutch Colonial Revival house with a rectangular footprint was constructed in 1910. The house is clad in stretcher-bond brick and wood clapboard siding, and has a gambrel roof with cornice returns that is covered with asphalt shingles. It features a porch with a hip roof that extends across the west-facing facade. A gambrel dormer is located on the west roof slope above the porch and a one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash with simple wood surrounds; casements; and a picture window with a transom. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 866 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9878

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed 1904. The house rests on a rock-faced, concrete block foundation, is clad vinyl siding, and has a front-gable roof with pent eave enclosure that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. A historic one-story wing with a hip roof is located on the rear (east) elevation and a one-and-one-half-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a gable dormer is located on the north roof slope. Windows consist of one-over-one, double-hung sash; casements; and multi-light fixed. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 869 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9879

City/Township St. Paul

Description

This two-story vernacular house with a rectangular footprint was constructed in 1915. The house rests on a concrete block foundation, is clad in vinyl siding and stretcher-bond brick, and has a front-gable roof that is covered with asphalt shingles. It features an altered, enclosed porch with a front-gable roof that extends across the east-facing facade. A tuck-under garage addition is located beneath the porch. A two-story projected bay is located on the south elevation. Windows consist of replacement one-over-one, double-hung sash.

Historical Narrative

N/A

Significance

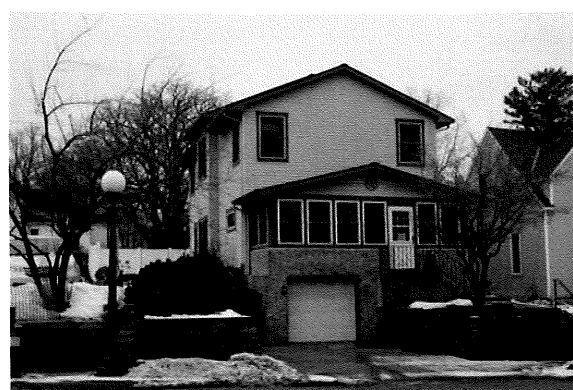
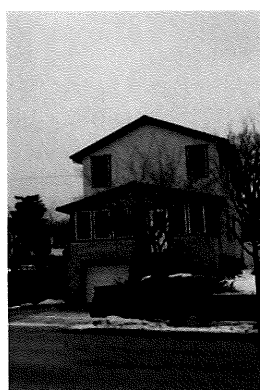
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 865 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9880

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1901. The house rests on a concrete block foundation, is clad in vinyl siding, and has a side-gable roof that is covered with asphalt shingles. It features an entrance bay with a shed roof and a large wall dormer addition on the east-facing facade. A second gabled dormer is located on the east roof slope. Windows consist of replacement one-over-one, double-hung; replacement casements; and replacement picture windows with transoms. Some windows openings appear to have been altered. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

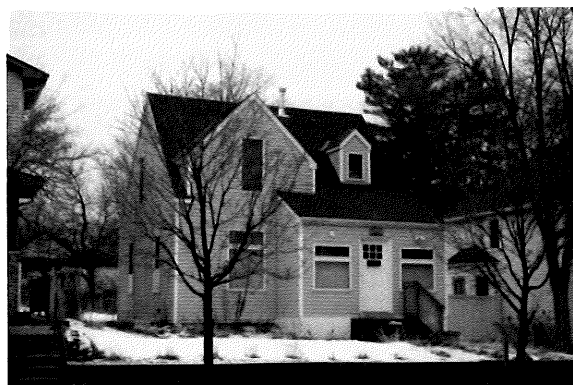
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 739 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9881

City/Township St. Paul

Description

This two-story vernacular house with a rectangular footprint was constructed in 1906. The house rests on a concrete foundation, is clad in vinyl siding and vinyl shakes in the gable end, and has a front-gable roof that is covered with asphalt shingles. It features a concrete stoop on the east-facing facade. An interior brick chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash and a replacement picture window with a transom. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 859 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9882

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1904. The house rests on a stone foundation, is clad in vinyl siding, and has a hip roof that is covered with asphalt shingles. It features a concrete stoop and a gabled wall dormer on the east-facing facade. A one-story bay is located on the side (south) elevation. Windows consist of replacement one-over-one, double-hung sash; replacement casements; and a three-part sliding window. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 729 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9883

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1890. The house is clad in stucco and wood siding, and has a front-gable roof that is covered with asphalt shingles. It features an enclosed wrap-around porch addition with a hip roof that extends across the north-facing facade and a portion of the south elevation. A one-and-one-half-story addition is located on the rear (west) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not eligible



Address 821 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9884

City/Township St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1913. The house rests on a rock-faced, concrete block foundation, is clad in wood clapboard siding, and has a side-gable roof that is covered with asphalt shingles. It features an integral porch that extends across the east-facing facade. A historic one-story wing is located on the rear (west) elevation and a shed dormer is located on the east roof slope above the porch. An interior brick chimney is located at the roof ridge line. Windows consist of the original six-over-one, double-hung sash and replacement one-over-one, double-hung sash. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

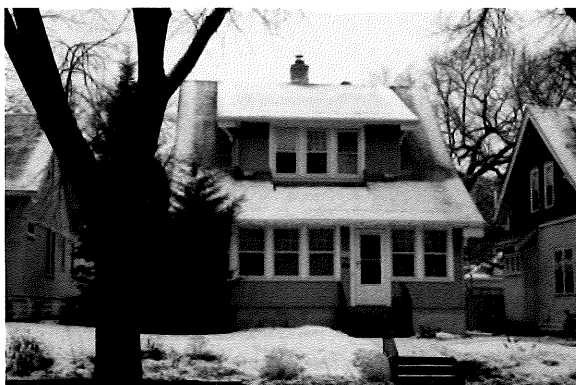
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 750 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9885

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1910. The house rests on a stone foundation, is clad in asbestos siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. A one-story bay is located on the side (south) elevation and an interior brick chimney is located at the roof ridge line. A gabled wall dormer is located on the north and south roof slopes. Windows consist of one-over-one, double-hung sash with simple wood surrounds and casements. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 746-748 Smith Avenue South

Common Name: Duplex

SHPO Inventory No.: RA-SPC-9886

City/Township St. Paul

Description

This two-and-one-half-story American Foursquare duplex with a rectangular footprint was constructed in 1910. The building rests on a rock-faced, concrete-block foundation, is clad in wood clapboard siding and has a hip roof with bellcast eaves that is covered with asphalt shingles. It features a porch with a hip roof and square post that extends across the symmetrical west-facing facade. Corner pilasters are located on both ends. A historic one-story wing is located on the rear (east) elevation. A hipped dormer is located on the west roof slope and an interior brick chimney is located on the east roof slope. Windows consist of one-over-one, double-hung sash with simple wood surrounds; casements; and picture windows with transoms. The dormer windows have diamond panes in the upper sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 711 Smith Avenue South

Common Name: Bann Business Solution

SHPO Inventory No.: RA-SPC-9887

City/Township St. Paul

Description

This one-story, concrete block commercial building with a rectangular footprint was constructed in 1957. The building is clad in stretcher-bond brick on the facade and has a flat roof with metal coping. The stepped facade features a concrete stoop covered by a metal portico with mid-century detailing. A one-story entrance wing is located on the rear (west) elevation. Windows consist of the nine-light metal windows and single-light fixed.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 721 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9888

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1880. The house is clad in wood clapboard siding and stretcher-bond brick, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed wrap-around porch with a hip roof that extends across the east-facing facade and a portion of the north elevation. A historic one-story ell and addition are located on the rear (west) elevation. A gabled wall dormer is located on the north and south roof slopes and an interior brick chimney is located at the roof ridge line. Windows consist of six-over-six, double-hung sash and three-over-one, double-hung sash. Some windows have arched brick lintels. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 712 Smith Avenue South

Common Name: Rascher Plumbing Heating

SHPO Inventory No.: RA-SPC-9889

City/Township St. Paul

Description

This one-story, one-part commercial building with a rectangular footprint was constructed in 1900. The building is clad in stretcher-bond brick and has a flat roof with a stepped parapet wall and terracotta drip cap. It features a recessed altered storefront with an angled door. Brick details are located at the building cornice. Windows consist of the fixed sash and casement.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 862 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9890

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1904. The house rests on a stone foundation, is clad in asbestos siding, and has a front-gable roof with a pent eave that is covered with asphalt shingles. It features a concrete stoop on the west-facing facade. A historic front-gabled bay is located on the side (south) elevation and a gabled-wall dormer is located on the north roof slope. Windows consist of replacement casements; a replacement picture window flanked by one-over-one, double-hung sash and replacement one-over-one, double-hung sash. Metal awnings cover the first-story windows and door on the facade.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 849 Smith Avenue South

Common Name: Office Building

SHPO Inventory No.: RA-SPC-9891

City/Township St. Paul

Description

This one-story building with a partially raised basement and a rectangular footprint was constructed in 1963. The building is clad in stretcher-bond brick and has a side-gable roof with a wide eave overhang that is covered with asphalt shingles. Prowed eaves are located at both gable ends. It features an ADA ramp on the rear (west) and side (south) elevation. An interior brick chimney is located on the west roof slope. Windows consist of the original casements and canted windows at the basement. A parking lot is located west of the building.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 827 Smith Avenue South

Common Name: House/Learning Years Day-C

SHPO Inventory No.: RA-SPC-9892

City/Township St. Paul

Description

This one-and-one-half story Bungalow with a rectangular footprint was constructed in 1914. The house rests on a rock-faced, concrete block foundation, is clad with wood and stucco, and has a side-gable roof with brackets that is covered with asphalt shingles. Stickwork is located in the gable ends. It features an enclosed front-gable porch that stretches across the east-facing facade. An addition is located on the rear (west) elevation and a box bay is located on the side (south) elevation. A gabled dormer is located on the east roof slope and an interior brick chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash with simple wood surrounds and casements. A one-story two car garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 822 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9893

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1913. The house rests on a rock-faced concrete block foundation, is clad in vinyl siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a front-gable roof and the original supports that extends across the west-facing facade. A historic one-story wing is located on the rear (east) elevation and a gable wall dormer is located on the side (north) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash and a picture window with a lead glass transom on the porch. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

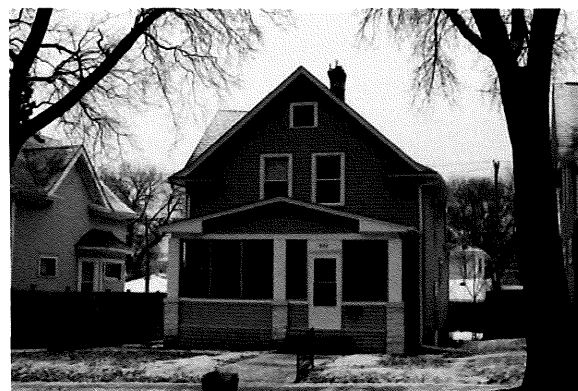
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 646 Smith Avenue South

Common Name: Salon

SHPO Inventory No.: RA-SPC-9894

City/Township St. Paul

Description

This two-story commercial building with a rectangular footprint was constructed in 1904. The building is clad in stucco and has a flat roof with metal coping. It features a canted corner entrance with a column support. A one-story wing with an angled entrance is located on the south elevation. An awning is located above the first story windows on the west-facing facade. A large two-story addition is located on the east end. Windows consist of replacement six-over-six double-hung sash; one-over-one, double-hung sash; and replacement fixed.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 745 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9895

City/Township St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1913. The house rests on a rock-faced, concrete block foundation is clad with wood siding, and has a front-gable roof with brackets that is covered with asphalt shingles. It features an enclosed porch with a front-gable roof and square supports that extends across the east-facing facade. A gabled dormer is located on the north roof slope and an interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash with simple wood surrounds; one-over-one, double hung sash with diamond pattern in the upper sash; sliding sash; and three-light casements. A one-and-one-half-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 814 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9896

City/Township St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1910. The house rests on a stone foundation, is clad with aluminum siding, and has a side-gable roof with cornice returns that is covered with asphalt shingles. It features an integral porch that extends across the west-facing facade. A historic one-story bay is located on the rear (east) elevation and an interior brick chimney is located at the roof ridge line. A hipped dormer is located on the west roof slope above the porch. A second hipped dormer is located on the east roof slope. Windows consist of replacement one-over-one, double-hung sash; casements; and sliding sash. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 751 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9897

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1907. The house rests on a rock-faced, concrete block foundation, is clad in aluminum siding, and has a front-gable roof that is covered with asphalt shingles. It features an enclosed porch with the original supports and a hip roof that extends across the east-facing facade. A shed dormer is located on the north and south roof slopes and an interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash with metal storms and casements. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 831 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9898

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1910. The house rests on a concrete foundation, is clad in asbestos and vinyl siding, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the east-facing facade. A historic one-story ell is located on the rear (west) elevation and a one-story bay is located on the side (south) elevation. A gabled wall dormer is located on both the side (north and south) roof slopes. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash with simple wood surrounds. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 791 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9899

City/Township St. Paul

Description

This one-and-one-half-story gable-ell house was constructed in 1908. The house rests on a stone foundation, is clad in aluminum siding and stone, and has a T-shaped gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof on the east-facing facade. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash and a picture window flanked by four-over-four, double-hung sash windows. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 818 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9900

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1911. The house rests on a rock-faced, concrete block foundation, is clad in wood clapboard siding, and has a front gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof and the original Doric columns that extends across the west-facing facade. A historic one-story wing is located on the rear (east) elevation. A one-story bay and a gable wall dormer are located on the side (south) elevation. Windows consist of replacement one-over-one, double-hung sash; replacement casements; and a picture window with a stain glass transom in the porch. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 722 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9901

City/Township St. Paul

Description

This two-story vernacular house with a rectangular footprint was constructed in 1910. The house rests on a rock-faced, concrete block foundation, is clad in replacement stucco and stretcher-bond brick, and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip and gable roof that extends across the west-facing facade. The porch has been incorporated into the house massing. A historic one-story wing is located on the rear (east) elevation and a one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash with simple wood surrounds; fixed; and a lead glass window on the front (west) facade. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 640 Smith Avenue South

Common Name: Wiessner Inc. Cherokee Smit

SHPO Inventory No.: RA-SPC-9902

City/Township St. Paul

Description

This one-story concrete block building with a rectangular footprint was constructed in 1911. The building is clad in stucco and board-n-batten siding and has a flat roof with metal coping. It features a central canted entrance on the east-facing facade. A mansard roof addition extends above the facade. Windows consist of fixed sash.

Historical Narrative

N/A

Significance

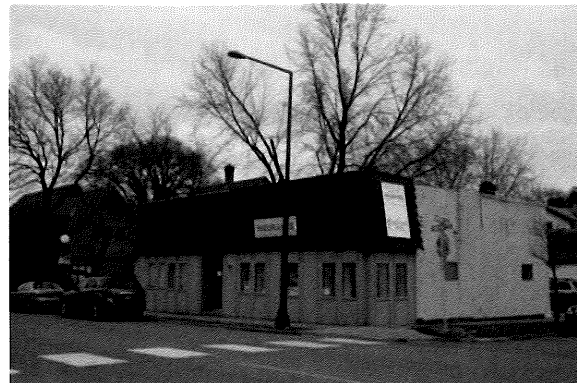
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 632 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9903

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1907. The house is clad in aluminum siding and has a side-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. A deck is located on the rear (east) elevation and a one-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a gable wall dormer is located on the east roof slope. Windows consist of one-over-one, double-hung sash with simple wood surrounds and three-over-one, double-hung sash on the porch. A one-story garage is located east of house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 637 Smith Avenue South

Common Name: Capital View

SHPO Inventory No.: RA-SPC-9904

City/Township St. Paul

Description

This one-story commercial building with a rectangular footprint was constructed in 1922. The building is clad with stretcher-bond brick and wide-lap metal siding, and has flat roof with a parapet wall. It features altered storefronts on the east and south elevations. A shallow curve is located on the east-facing facade. The storefronts are covered by replacement awnings. A portion of the storefront has been infilled on the south elevation. Brick detailing is located at the building cornice. Windows consist of replacement fixed.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 612 Smith Avenue South

Common Name: Johnson Peterson Funeral Ho

SHPO Inventory No.: RA-SPC-9905

City/Township St. Paul

Description

This two-and-one-half-story vernacular building with a irregular footprint was constructed as a residence in 1906. The building is clad in aluminum siding and stone, and has a gable hipped roof with bellcast eaves that is covered with asphalt shingles. It features multiple additions that are located on all elevations. A gabled entrance portico is located on the west-facing facade. A port cochere is located on the north elevation and a garage addition is located on the rear (east) elevation. Windows consist of replacement one-over-one, double-hung sash; replacement multi-light casements; and a stained glass window. It now serves as a funeral home.

Historical Narrative

N/A

Significance

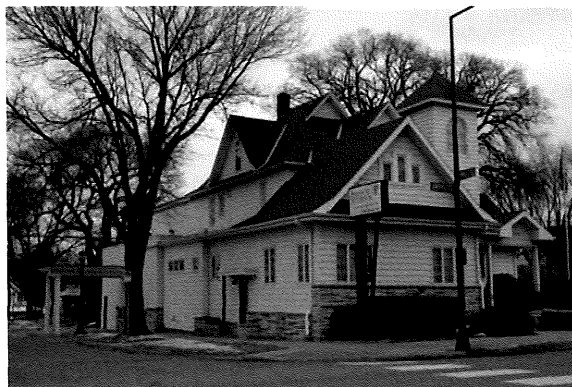
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 623 Smith Avenue South

Common Name: Duplex

SHPO Inventory No.: RA-SPC-9906

City/Township St. Paul

Description

This two-and-one-half-story American Foursquare duplex with a rectangular footprint was constructed in 1908. The duplex rests on a concrete foundation, is clad in vinyl siding, and has a hip roof with bellcast eaves that is covered with asphalt shingles. It features a porch with a hip roof that extends across the east-facing facade. The porch has Doric columns and small gable roof at the center of the hip roof. A historic one-story wing is located on the rear (west) elevation and a two-story bay is located on the side (north and south) elevations. An interior brick chimney is located at the roof ridge line and a gable dormer is located on the east roof slope. Windows consist of replacement one-over-one, double-hung sash; casements; and fixed. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 761 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9907

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1910. The house is clad in vinyl siding and has a side-gable roof that is covered with asphalt shingles. It features an integral porch that extends across the east-facing facade. A gabled dormer is located on the east roof slope above the porch and an interior brick chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash with simple wood surrounds; paired, one-over-one, double-hung sash with multi-light transoms; and casements. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 841 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9908

City/Township St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1916. The house rests on a rock-faced concrete block foundation, is clad with stucco and wood shakes, and has a side-gable roof with brackets that is covered with asphalt shingles. An enclosed porch with a shed roof and columns stretches across the east-facing facade. A one-story box bay and an exterior brick chimney are located on the south elevation. A shed-roofed dormer is located on both the east and west roof slopes. Windows consist of eight-over-one, double-hung sash; six-over-one, double-hung sash; and multi-light casements. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 657 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9909

City/Township St. Paul

Description

This one-and-one-half-story Bungalow with a rectangular footprint was constructed in 1919. The house rests on a rock-faced, concrete block foundation, is clad with wood siding, and has a front-gable roof that is covered with asphalt shingles. It features an enclosed porch with a front-gable roof and the original windows that extends across the east-facing facade. A box bay is located on the side (south) elevation. A gabled dormer is located on the north and south roof slopes. Windows consist of one-over-one, double-hung sash; a glassblock window; and four-light windows with multi-light transoms on the porch. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 663 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9910

City/Township St. Paul

Description

This one-and-one-half-story gable form house with a rectangular footprint was constructed in 1884. The house rests on a stone foundation, is clad in vinyl siding, and has a T-shaped gable roof with cornice returns that is covered with asphalt shingles. It features a modified partially enclosed porch with a hip and gable roof that extends across the east-facing facade. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash; multi-light casements; a sliding sash; and a glassblock window. The windows openings have been altered. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 674-676 Smith Avenue South

Common Name: Block Studios

SHPO Inventory No.: RA-SPC-9911

City/Township St. Paul

Description

This one-story commercial building with a rectangular footprint was constructed in 1921. The building is clad with painted stretcher-bond brick and has a flat roof with metal coping. It features an altered canted corner entrance. Additional entrances are located on the west and south elevations. Brown brick details are located at the cornice. Windows consist of modern storefronts with transoms.

Historical Narrative

N/A

Significance

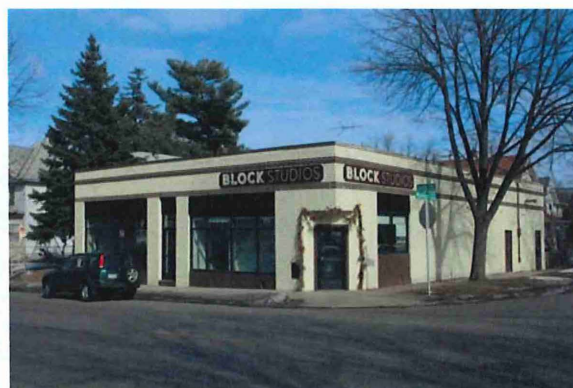
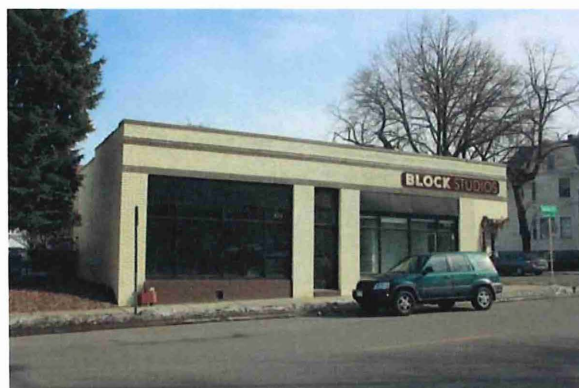
The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 749 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9912

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1912. The house rests on a rock-faced, concrete block foundation, is clad in asbestos siding, and has a front-gable roof with brackets and cornice boards that is covered with asphalt shingles. It features an enclosed, partial-width porch with a front-gable roof on the east-facing facade. A box bay is located on the side (south) elevation and shed wall dormer is located on both the north and south roof slopes. Windows consist of replacement eight-over-one, double-hung sash; one-over-one, double-hung sash with simple wood surrounds; and casements. A one-story garage is located west of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 670 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9913

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1915. The house rests on a rock-faced, concrete block foundation, is clad in aluminum siding and stone, and has a front-gable roof that is covered with asphalt shingles. It features an enclosed porch with a front-gable that extends across the west-facing facade. A one-story addition is located on the rear (east) elevation and an interior brick chimney is located at the roof ridge line. A shed dormer is located on the north and south roof slopes. Windows consist of replacement one-over-one, double-hung sash and fixed. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 826 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9914

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1914. The house rests on a rock-faced, concrete block foundation, is clad in vinyl siding, and has a side-gable roof with cornice returns that is covered with asphalt shingles. It features an enclosed porch with a front-gable roof and the original columns that extends across the west-facing facade. A historic one-story ell is located on the rear (east) elevation and a gabled dormer is located on west roof slope above the porch. An interior brick chimney is located at the roof ridge line. Windows consist of replacement one-over-one, double-hung sash; and replacement casements. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 836-838 Smith Avenue South

Common Name: Tradewind Arts

SHPO Inventory No.: RA-SPC-9915

City/Township St. Paul

Description

This two-story commercial building with a rectangular footprint was constructed in 1926. The building is clad stretcher-bond brick and vinyl siding, and has a front-gable roof that is covered with asphalt shingles. It features an altered store-front with a central recessed entrance on the west-facing facade. Terracotta detailing is located around the storefront. The second-story of the building is a modern addition. Windows consist of fixed and sliding sash.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 837 Smith Avenue South

Common Name: Duplex

SHPO Inventory No.: RA-SPC-9916

City/Township St. Paul

Description

This two-story vernacular duplex with a rectangular footprint was constructed in 1904. The building rests on a stone foundation, is clad aluminum siding and stone veneer, and has a hip roof that is covered with asphalt shingles. It features a two-story, altered, enclosed porch with a flat roof and the original Doric columns that extends across the east-facing facade. A two-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line and a hipped dormer is located on the east roof slope. Windows consist of one-over-one, double-hung sash. A one-story garage is located west of the building in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The building also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 662 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9917

City/Township St. Paul

Description

This two-and-one-half-story American Foursquare house with a rectangular footprint was constructed in 1909. The house rests on a rock-faced, concrete block foundation, is clad in aluminum siding and stone, and has a hip roof with bellcast eaves that is covered with asphalt shingles. It features an enclosed porch with a hip roof that extends across the west-facing facade. A historic one-story wing is located on the rear (east) elevation and a two-story bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line. A gabled dormer is located on the north, south, and west roof slopes. Windows consist of one-over-one, double-hung sash. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 658 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9918

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1914. The house is clad in stucco and has a side-gable roof that is covered with asphalt shingles. It features an enclosed porch with a front-gable roof that extends across the west-facing facade. A historic box bay is located on the south elevation. A gabled dormer is located on the west roof slope and an interior brick chimney is located on the east slope. Windows consist of one-over-one, double-hung sash; three-over-two, double-hung sash on the porch; and fixed. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Section 4 Results

Address 652 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9919

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1890. The house is clad in stucco and has a truncated hip roof that is covered with asphalt shingles. It features a partial-width, enclosed porch with a hip roof and a one-and-one-half-story front-gabled bay on the west-facing facade. An interior brick chimney is located at the roof ridge line. A shed dormer is located on the west and north roof slopes. A gabled dormer is located on the south slope roof. Windows consist of replacement one-over-one, double-hung sash. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 830 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9920

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1916. The house rests on a rock-faced, concrete block foundation, is clad in vinyl siding and stone, and has a front-gable roof that is covered with asphalt shingles. It features an enclosed porch with a front-gable roof that extends across the west-facing facade. A gabled wall dormer is located on both side (south and north) elevations and a one-story box bay is located on the side (south) elevation. An interior brick chimney is located at the roof ridge line. Windows consist of one-over-one, double-hung sash with simple wood surrounds and casements.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 648 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9921

City/Township St. Paul

Description

This two-and-one-half-story vernacular house with a rectangular footprint was constructed in 1910. The house is clad in vinyl siding and has a front-gable roof with cornice returns that is covered with asphalt shingles. It features a porch with a hip roof that extends across the west-facing facade. A large, two-story addition with a garage is located on the rear (east) elevation. An interior brick chimney is located at the roof ridge line and a gable dormer is located on the south roof slope. Windows consist of replacement one-over-one, double-hung sash; and a replacement picture window with a transom.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. The house also lacks historic integrity due to several alterations. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



Address 834 Smith Avenue South

Common Name: House

SHPO Inventory No.: RA-SPC-9922

City/Township St. Paul

Description

This one-and-one-half-story vernacular house with a rectangular footprint was constructed in 1922. The house rests on a rock-faced, concrete block foundation, is clad in stucco, and has a front-gable roof with brackets that is covered with asphalt shingles. It features an enclosed porch with a front-gable roof that extends across the west-facing facade. An interior brick chimney is located on the north roof slope. Windows consist of three-over-one, double-hung sash with simple wood surrounds and three-light casements. A one-story garage is located east of the house in the rear yard.

Historical Narrative

N/A

Significance

The property was evaluated under Criterion C: Architecture. Research and field survey identified no evidence of distinctive characteristics of a type, method, or period of construction; the work of a master; high artistic value; or the collective representation of a significant and distinguishable entity related to a trend of history. Therefore, the property lacks significance under Criterion C. Based on the results of the literature review, the property does not appear to be significant to any trend of local, state, or national history. Thus, the property is not eligible under Criterion A: History. The property does not appear to qualify under Criterion B: Significant Person. It is recommended not eligible for the National Register. No further work is recommended.

Integrity

N/A

National Register eligibility recommendation

Not Eligible



4.4 Phase II survey results

This section contains Phase II Evaluation for 17 properties. Descriptions of these properties are accompanied by photographs, maps, and historical narratives. Table 2 includes a listing of these properties along with the eligibility recommendation. Properties in the table and the Phase II Evaluations are presented from north to south.

Table 2. Phase II Evaluation Results

Inventory No.	Property Name	Address	Eligibility Recommendation
RA-SPC-3405	Louis Farinacci House	425 Smith Avenue North	Not Eligible
RA-SPC-5605	House	431 Smith Avenue North	Not Eligible
RA-SPC-5604	Theodore Johnson Apartment Building	424-430 Smith Avenue North	Not Eligible
RA-SPC-5607	Smith Avenue Garage	436 Smith Avenue North	Not Eligible
RA-SPC-3406	Anthony Waldman Saloon	445 Smith Avenue North	Not Eligible
RA-SPC-5608	William Heusler House	444 Smith Avenue North	Not Eligible
RA-SPC-3407	Avery Ward Adams House	454 Smith Avenue North	Eligible
RA-SPC-5612	Benjamin J. Haag House	458 Smith Avenue North	Not Eligible
RA-SPC-5613	Emil F. Henskl House	463 Smith Avenue North	Not Eligible
RA-SPC-1527	Arthur L. Phillips House	218 West Goodrich Avenue	Not Eligible
RA-SPC-3411	Mohawk Theater	627-631 Smith Avenue South	Not Eligible
DK-MHC-001	Charles F. Staples House	1160 Dodd Road	Not Eligible
DK-MHC-035	Norman B. Mears House	1170 Dodd Road	Eligible
DK-MHC-005	Somerset Elementary School	1355 Dodd Road	Not Eligible
DK-MHC-085	Somerset Country Club	1416 Dodd Road	Not Eligible
DK-MHC-122	House	1549 Dodd Road	Not Eligible
XX-ROD-008	Dodd Road	N/A (Dodd Road)	Not Eligible

4.4.1 Louis Farinacci House

MnHPO Inventory Number: RA-SPC-3405

Address: 425 Smith Avenue North

City/Township: St. Paul

The house at 425 Smith Avenue North is a moved property in Saint Paul. Previous surveys have suggested that this was the original Snelling House Hotel, a c.1863 frame hotel constructed on the corner of W. 7th Street and Forbes Avenue (present day Smith Avenue North) and moved to this location in 1899.³⁶ As a result of this Phase II, a reexamination of available research material does not support the claim that this is the former Snelling House Hotel building (see the evaluation section for this property). For the purpose of this evaluation, 425 Smith Avenue North will be referred to as the Louis Farinacci House (Farinacci House), for the family who owned and occupied the house for three generations.³⁷

Description

The Farinacci House is located on lot 1 within block 9 of Leech's Addition in the W. 7th Street neighborhood of Saint Paul, Ramsey County, Minnesota. The front (east) facade is oriented toward the street (see Figure 3). The building is set among other historic-age residential homes and multi-family dwellings with modern-era commercial development to the east and north. The house sits on a flat corner lot that features a non-historic iron fence along the back edge of the sidewalk and concrete walkway extending from the sidewalk to the porch. The front yard is landscaped with perennials and deciduous trees.

³⁶ Sazevich, *Uppertown Survey*.

³⁷ Donald Empson, "Portrait of a Neighborhood" (West 7th Street Neighborhood, Saint Paul, Minn., 1980).



Figure 3. Front (east) facade and side (north) elevation of 425 Smith Avenue North, view facing southwest.

Constructed c.1885, this house was moved to its present location in 1899.³⁸ This two-and-one-half-story, frame, front-gable house has an L-shaped plan with the two-story wing set back on the south elevation. The intersecting gable roof is covered in asphalt shingles and features narrow eaves. Windows are predominantly two-over-two, double-hung, wood sash with simple wood surrounds covered by aluminum storms. The building is clad in narrow wood clapboard siding. The foundation is stone covered with cement.

The front-gable portion faces Smith Avenue North (see Figure 4). A stoop with a shed-roof overhang supported by brackets covers the transom over the main entrance at the southeast corner. The main entry door is not original. Two windows located north of the entrance provide balance to the facade. The second story features three windows, and a single window is located in the gable end. The first-story windows feature modern iron flower boxes (see Figure 5).

³⁸ Jim Sazevich, *Uppertown Survey* (Saint Paul, Minnesota, 1992), *Inv. No. RA-SPC-3405*; 1899 building permit for 425 Smith Avenue North; Ramsey County Interactive Property Map, Parcel ID: 012823410139, <https://www.ramseycounty.us/residents/property/maps-surveys/interactive-map-gis>.



Figure 4. Front (east) facade, view facing west.



Figure 5. Detail of window on front (east) facade.

The side (south) elevation is dominated by a modern two-story porch set within the ell (see Figures 6 and 7). The eastern elevation of the wing features a window and an entrance on the first story and second stories, both with access to the two-story porch, which features square wood posts and simple wood railings. Evidence of a turned wood porch can be seen in remnants of pilaster columns on the south and east elevations.

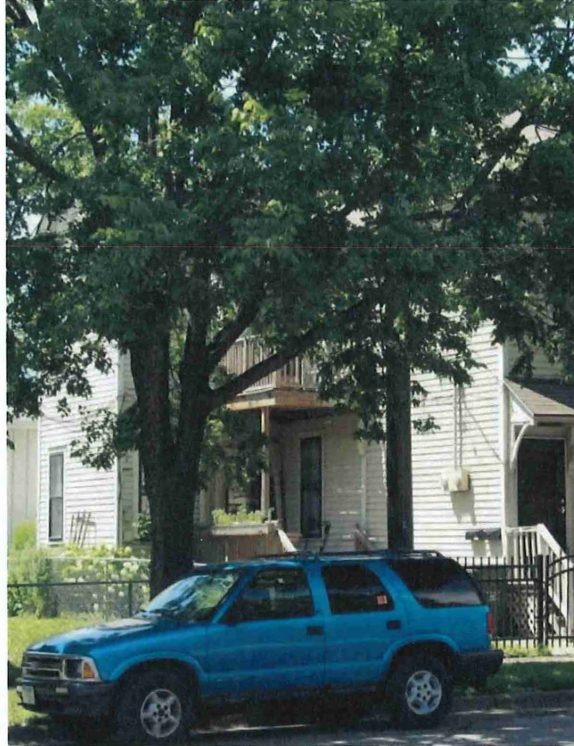


Figure 6. Side (south) elevation, view facing northwest.



Figure 7. Detail of porch and upper balcony.

The side (north) elevation is adjacent to McBoal Street. Mature bushes at the northwestern corner of the lot greatly obscure the adjacent first floor windows. This elevation is visually divided by a vertical board extending down from the western edge of a second-story window to the foundation. The eastern half contains two windows, one on each floor, and the western half features two windows on each floor in a symmetric arrangement (see Figure 8). The siding on the first story indicates a window has been removed.



Figure 8. Side (north) elevation, view facing south.

The rear (west) elevation fronts a modern commercial property with a parking lot (see Figure 9). The most notable features of this elevation are the atypical windows. A narrow, one-over-one, double-hung, metal window is located on the first story and a small, vinyl, one-over-one, double-hung window is located asymmetrically in the gable end. The second story features a six-over-six, double-hung, wood sash window.



Figure 9. Side (west) elevation, view facing east.

The Farinacci House is a vernacular example of a common gable ell form, and as such, details are modest and limited in their expression. The remnants of turned wood porch pilasters suggest a Queen Anne-style porch was located in the ell at some point, but the building lacks other Victorian-inspired architectural details. Overall, the building is not representative of an architectural style, nor is it particularly architecturally interesting.

The Farinacci House has been subjected to a considerable amount of change and alteration over the years. The building was relocated by 1900, which resulted in a loss of the original setting.³⁹ It is unknown where the house was moved from. Early in the twentieth century, a shed-roof stoop overhang was added over the main entry and a Queen Anne-style porch was constructed in the ell. The ell porch was replaced by a modern porch and balcony in recent years. In addition, a window was removed on the north elevation, two small windows on the west elevation were replaced, and all of the visible doors appear to be modern. The removal of original materials and the addition of select elements has resulted in diminished physical integrity of the Farinacci House.

History

Moved properties

From a historical perspective the Farinacci House is best understood as a moved property in Saint Paul. The occurrence of moving buildings in the city was not rare, and over 50 have been documented as moved to or within the Uppertown, Irvine Park, and W. 7th Street neighborhoods in the nineteenth and twentieth centuries. Because moving buildings into the area began as early as the 1860s, the fact that they are not on their original site does not have a negative impact on any potential districts or the character of the neighborhood. In general, the relocated properties are of a compatible age, style, and form as original buildings.⁴⁰ Additionally, because many of the buildings were relocated as the first wave

³⁹ Sazevich, *Uppertown Survey*.

⁴⁰ Sazevich, *Uppertown Survey*.

of residential development occurred in the area, these homes became part of the early development pattern of the area.

W. 7th Street neighborhood

This property is currently located on Smith Avenue North within the W. 7th Street neighborhood of Saint Paul, one of the city's earliest neighborhoods. The Leech's Addition was platted in the 1840s and 1850s. After the Civil War, neighborhoods filled in during periods of population growth and prosperity that followed in the latter decades of the nineteenth century. In the late 1890s several homes were moved to the Uppertown and W. 7th Street neighborhoods during a period of growth in Saint Paul that resulted in a housing shortage.⁴¹

Today Smith Avenue North is a busy, tree-lined thoroughfare within a predominantly residential neighborhood that developed between the 1850s through the 1920s. This segment of Smith Avenue features homes that reflect the Federal, Greek Revival, Italianate, Queen Anne, and Craftsman styles, as well as vernacular homes. A mid-nineteenth-century saloon, an early-twentieth-century apartment building, and a former garage are also present along the street. The eclectic mix of styles, periods of construction, and building use seen in this segment of Smith Avenue North reflect the early mixed-use history of the W. 7th Street neighborhood.

Previous surveys

Previous surveys have suggested that this house was originally the Snelling House Hotel, a moved settlement-era hotel in Saint Paul. The 1992 Uppertown Survey was the first to suggest 425 Smith Avenue North as this moved c.1863 building.⁴² Subsequent researchers referred to the Uppertown Survey Report and produced documents that reflect this position. As a result of this Phase II, previous surveys and published documents were studied to determine the history of this house, including Saint Paul city directories, Sanborn fire insurance maps, historic newspapers, the G.M. Hopkins 1883 real estate map, and H. Wellge's 1883 Capitol of Minnesota panoramic illustration. This analysis revealed discrepancies in the previously accepted evidence and assumptions that may not be accurate.⁴³

Snelling House Hotel

The original frame Snelling House Hotel building was built c.1863 at W. 7th Street and Chestnut Avenue.⁴⁴ Saint Paul city directories identify the hotel and an array of proprietors at that location from 1863 to 1883. An 1869 city directory advertisement features an image that differs greatly in appearance from the Farinacci House (see Figure 10). In 1883 the site was purchased, and by 1885 the frame c.1863 building

⁴¹ Sazevich, *Uppertown Survey*.

⁴² Sazevich, *Uppertown Survey*.

⁴³ Surveys consulted include the 1981-1982, 1992 Uppertown Survey, and 2011 surveys. As our evaluation progressed, attempts were made to verify the 1992 Uppertown Survey reference to this resource as the Snelling House Hotel with the report author. Attempts have been unsuccessful. If additional information supporting the claim that this resource is the relocated hotel becomes available, the Farinacci House should be reexamined for individual eligibility.

⁴⁴ 1992 Uppertown Historic Property Inventory Form, Snelling House Hotel and A Baily's Saint Paul Directory for 1863 (Saint Paul: A Baily Publisher, 1863), 105.

was replaced with the three-story brick Saint Paul House Hotel.⁴⁵ It is unclear whether the original Snelling House Hotel building was moved or razed at that time.



Figure 10. 1869 advertisement showing image of Snelling House Hotel. Note the prominent incorporated porch with Greek Revival detailing in the gable end and large ell.

By 1883 the Snelling House Hotel *business* had relocated to 394 W. 7th Street at the intersection with Forbes (present-day Smith Avenue North).⁴⁶ While the business did occupy a frame L-plan building, the footprint on Sanborn Insurance and G.M. Hopkins Real Estate maps does not match that of the Farinacci House. In addition, H. Wellge's 1883 panoramic illustration of Saint Paul shows the Snelling House Hotel building with a different massing, roofline, and fenestration pattern than the Farinacci House (see Figure 11).

⁴⁵ "Saint Paul House," *Saint Paul Daily Globe*, August 10, 1884.

⁴⁶ R.L. Polk & Co., *Saint Paul City Directory 1882-1883* (R.L. Polk & A.C. Dancer, 1882).

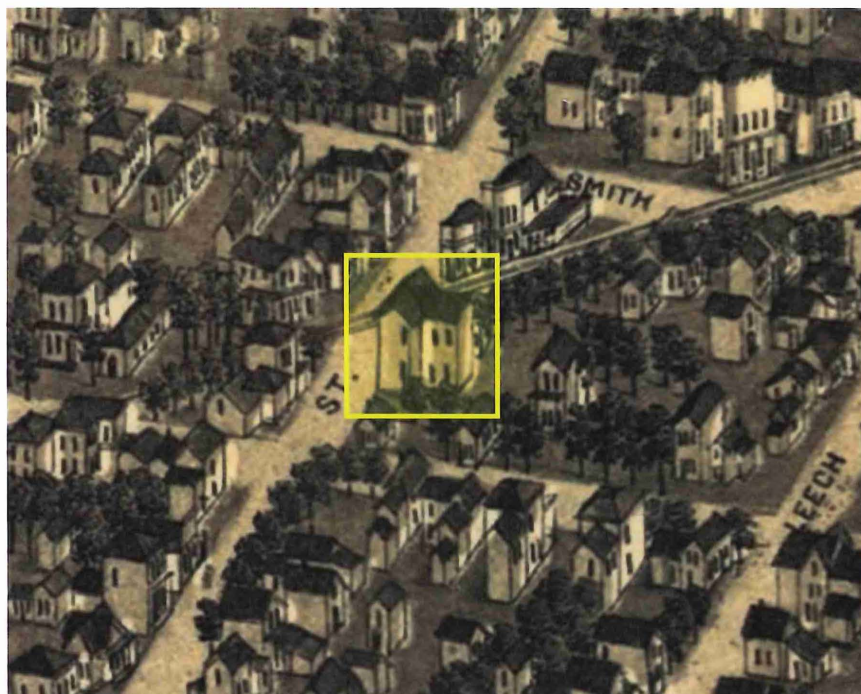


Figure 11. 1883 Wellge Panoramic of Saint Paul showing the Snelling House Hotel, a two-story cross gable building with a rear ell. Note the massing, fenestration pattern, and roofline of this building are different than the Farinacci House.⁴⁷

In addition, elements of the Farinacci House suggest it has a later construction date than the Snelling House Hotel. The massing, materials, and windows appear to be those of an 1880s building. Thus, based on available documentation, which includes archival and physical evidence, this Phase II evaluation concludes that the Farinacci House is not the c.1863 Snelling House Hotel.

Building history and owners

The Farinacci House was moved to its present location in 1899. While the original location and exact date of construction of this house are unknown, architectural details and materials of the house suggest it was built c.1885.

Anchoring the southwest corner of McBoal Street and Smith Avenue North, the house was placed on a stone foundation facing east (see Figure 12). The shed-roof stoop overhang with brackets was likely constructed at this time to provide shade at the entrance. During the nineteenth century, three generations of the Farinacci family lived at 425 Smith Avenue North. While Louis and Louise Farinacci resided in the building, a Queen Anne-style porch was located on the south elevation (see Figure 13).⁴⁸ A modern porch and balcony were constructed to replace this earlier porch on the side (south) elevation. In addition, two small windows on the front (east) facade are replacements and all of the visible doors

⁴⁷ "Wellge's Capitol of Minnesota" (Saint Paul, Minn.: N.p., 1883).

⁴⁸ Empson, "Portrait of a Neighborhood." 15.

appear to be modern. Until just recently the building was owned by Pat Yankovec, granddaughter of Louis and Louis Farinacci.⁴⁹

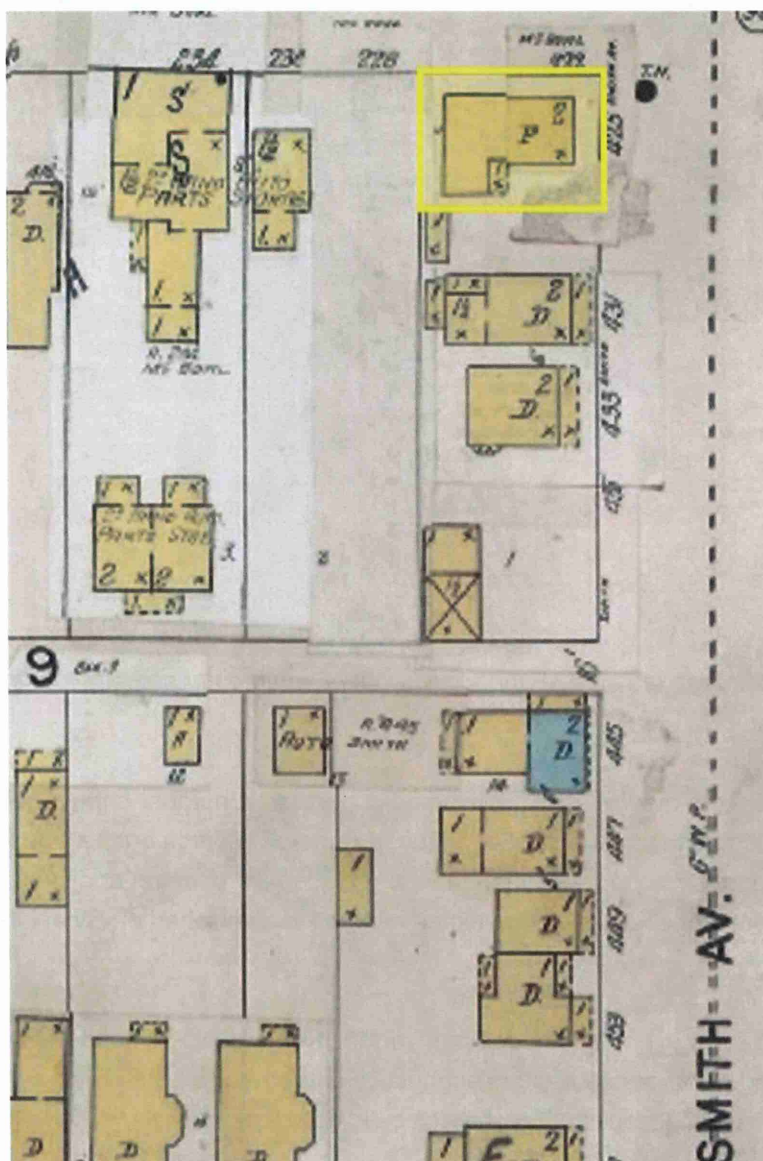


Figure 12. 1903 Sanborn insurance map showing the Farinacci House.⁵⁰

⁴⁹ "Ramsey County Interactive Property Map," n.d., <https://www.ramseycounty.us/residents/property/maps-surveys/interactive-map-gis>.

⁵⁰ "Sanborn Insurance Map of Saint Paul, Minnesota" (Saint Paul, Minn.: Sanborn Map Company, revised through 1925 1903).



Figure 13. Grainy image of Louise Farinacci in front of south entry porch. Note the shadow of the spindlework frieze.⁵¹

In addition to the relocation, the Farinacci House has undergone a number of physical changes over time, including the construction and replacement of a Queen Anne-style porch on the side (south) elevation, the addition of the shed-roof stoop overhang, and the replacement of doors and select windows. The loss and/or addition of select architectural elements has resulted in diminished physical integrity of the Farinacci House.

The building is a vernacular example of a common form, a frame gable-ell house. Photographic evidence and remnants of turned wood porch pilasters suggests a Queen Anne-style porch was located within the ell for a period, but the building lacks other characteristic details of the style.⁵² Overall, the building is not representative of any architectural style.

Evaluation

The Farinacci House is a contributing building within the National Register-eligible Uppertown Historic District in Saint Paul. As a result of MnDOT's improvement project, National Register eligibility evaluations were conducted for contributing resources within the district. The Farinacci House was evaluated for individual listing on the National Register under *Criteria A, B, and C*, applying *Criterion Consideration B* for relocated properties.

⁵¹ Donald Empson, 15.

⁵² Donald Empson, 15.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history, as well as demonstrate that the event was important to the development of Minnesota, Ramsey County, or Saint Paul. The Farinacci House was constructed c.1885 and moved to its present location on Smith Avenue North in 1899.⁵³ It is not known where the house was moved from or its exact date of construction. While the house has served as a residence within the W. 7th Street neighborhood from 1899 to the present, research did not reveal any significant events associated with it. Therefore, the Farinacci House is recommended not individually eligible for the National Register under *Criterion A*.

Criterion B

To be eligible under *Criterion B: Significant Person* the property must be associated with a person who made a significant contribution to the development of Saint Paul, the state of Minnesota, or the nation. Research did not reveal any residents that made significant contributions to local, regional, or state history. As such, the Farinacci House is recommended not individually eligible under *Criterion B*.

Criterion C

This building was evaluated applying *Criteria Consideration B: Moved Properties*. Under *Criterion C: Architecture*, a property moved from its original location can be eligible if it is significant for architectural value. The movement of buildings into and within the Uppertown, Irvine Park, and W. 7th Street neighborhoods of Saint Paul was not uncommon, and because the practice began as early as the 1860s, the fact that buildings are not on their original site does not have a negative impact on any potential districts or the character or the neighborhood. In general, the relocated properties are of a compatible age, style, and form as original buildings.

This is a modest example of a common architectural form, a vernacular gable ell. As such, details are modest and limited in their expression and the house does not possess high artistic value. In addition, the building has experienced a number of changes over time, such as relocation, the addition and removal of a historic porch, replacement of select doors and windows, and the construction of a modern porch and balcony. This loss of original details and alterations have obscured many characteristics of type, period, or method of construction, which result in an inability to reflect its original appearance. Due to the lack of architectural significance, the Farinacci House is recommended not individually eligible under *Criterion C*.

Integrity

The Farinacci House is not significant under *Criteria A, B, or C*; therefore, review of integrity is not warranted.

Recommendation

The Farinacci House is recommended not individually eligible for the National Register under *Criteria A, B, or C*.

⁵³ Sazevich, *Uppertown Survey*.



Figure 14. Farinacci House location map.

4.4.2 431 Smith Avenue North

MnHPO Inventory Number: RA-SPC-5605

Address: 431 Smith Avenue North

City/Township: Saint Paul

Description

The house at 431 Smith Avenue North is located in the W. 7th Street neighborhood of Saint Paul, Ramsey County, Minnesota. The house is situated on lot 1 within block 9 of Leech's Addition. The front (east) facade is oriented toward the street (see Figure 15). The house is set on a flat lot among other historic-age residential homes and multi-family dwellings. A concrete walkway extends from the sidewalk to the main entry. A chain-link fence encloses the front and side (north) yards, which contain grass and deciduous trees.



Figure 15. Front (east) facade and side (north) elevation of 431 Smith Avenue North, view facing southwest.

This c.1882 house was moved to its present location in 1899.⁵⁴ The house is a two-story, frame, vernacular building with a rectangular plan. The front-gable roof is covered in asphalt shingles and features narrow boxed eaves and a ridgeline brick chimney. Windows are predominantly two-over-two, double-hung, wood sash with simple wood surrounds covered by aluminum storms. The house is clad in

⁵⁴ Sazevich, *Uppertown Survey*.

aluminum siding and the foundation is poured concrete. A one-and-one-half-story extension with a one-story enclosed porch is located on the rear (west) elevation.

The front (east) facade is characterized by the prominent gable facing Smith Avenue North (see Figure 16). A curved metal-awning supported by brackets is located over the main entrance at the southeast corner. The wood panel main entry door is not original. A one-by-one casement window located north of the entrance features a box-shaped metal awning. The second story features two windows, and an attic vent is located in the gable end.



Figure 16. Front (east) facade and side (south) elevation, view facing northwest.

The side (south) elevation is largely obscured by foliage and the adjacent house (see Figure 17). A paired window and a single window are visible on the first story, both with simple wood surrounds. A portion of the extension on the rear (west) elevation and a window on the second story are also visible from the street.

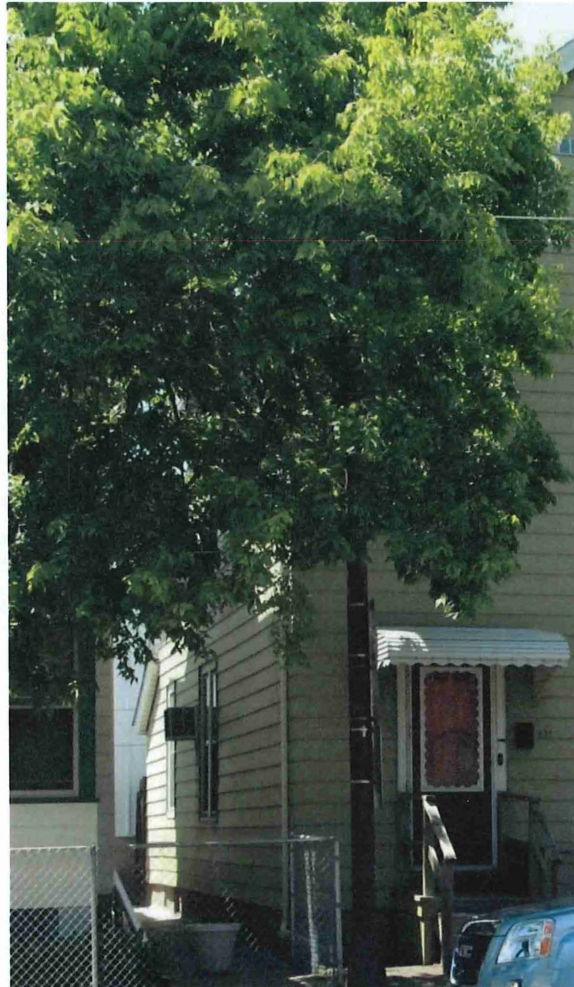


Figure 17. Side (south) elevation, view facing northwest.

The side (north) elevation consists of the main block of the house and the addition to the rear (see Figure 18). Windows on the north elevation are generally one-over-one, double-hung, wood sash with simple wood surrounds. A three-part casement window is located on the first story.



Figure 18. Side (north) elevation, view facing southwest.

The one-and-one-half-story frame rear (west) extension features a gable roof with what appears to be a shed-roof porch that was enclosed at the northwest corner (see Figure 18 above). The enclosed porch features a secondary entrance and a one-over-one double-hung window. The rear (west) elevation is not accessible due to proximity to the western lot line and adjacent buildings. Due to these limitations, it is not possible to confirm the appearance or configuration of the west elevation.

The house is a modest example of a common architectural form: a late-nineteenth-century, front-gable, vernacular house. As such, the architectural details are modest and limited in their expression. A 1903 Sanborn map indicates that a porch once spanned the width of the building on the front facade (see Figure 19). Alterations to the house over time, including the replacement of original siding and several windows and the enclosure of historic porches, have resulted in a loss of physical integrity.

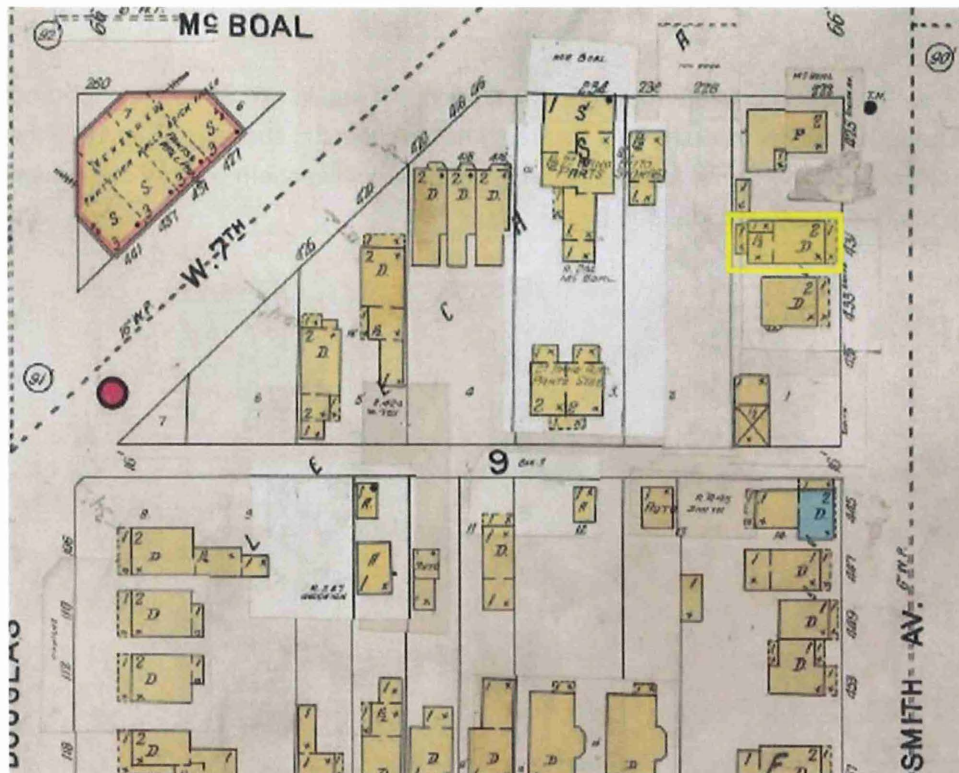


Figure 19. 1903 Sanborn Insurance map showing 431 Smith Avenue in yellow.⁵⁵ Note the one-story porch that was once located on the front (east) facade.

History

The house at 431 Smith Avenue North is best understood as a historically moved building in Saint Paul. It is unknown where the house was originally located before it was moved to Smith Avenue North in 1899. The occurrence of moving houses in the city was not rare, and over 50 buildings are known to have been moved to or within the Uppertown, Irvine Park, and W. 7th Street neighborhoods in the nineteenth and twentieth centuries. Because moving buildings into the area began as early as the 1860s, the fact that buildings are not on their original site does not have a negative impact on any potential districts or the character of the neighborhood. In general, the relocated properties are of a compatible age, style, and form as original buildings. Additionally, because many of the buildings were relocated as the first wave of residential development occurred in the area, these homes became part of the early development pattern of the area.

Today Smith Avenue North is a busy, tree-lined thoroughfare within a predominantly residential neighborhood that developed between the 1850s through the 1920s. This segment of Smith Avenue features homes that reflect the Federal, Greek Revival, Italianate, Queen Anne, and Craftsman styles, as well as vernacular homes. A mid-nineteenth-century saloon, an early-twentieth-century apartment building, and a former garage are also present along the street. The eclectic mix of styles, periods of construction, and building use seen in this segment of Smith Avenue North reflect the early mixed-use history of the W. 7th Street neighborhood.

⁵⁵ "Sanborn Insurance Map of Saint Paul, Minnesota," revised through 1925 1903.

Building history and owners

In the late 1890s several homes were moved to the Uppertown and W. 7th Street neighborhoods in response to a period of growth in Saint Paul that resulted in a housing shortage.⁵⁶ In 1899 the subject building was relocated to 431 Smith Avenue North.⁵⁷ In the early twentieth century the house had a one-story porch on the front (east) facade (see Figure 20).

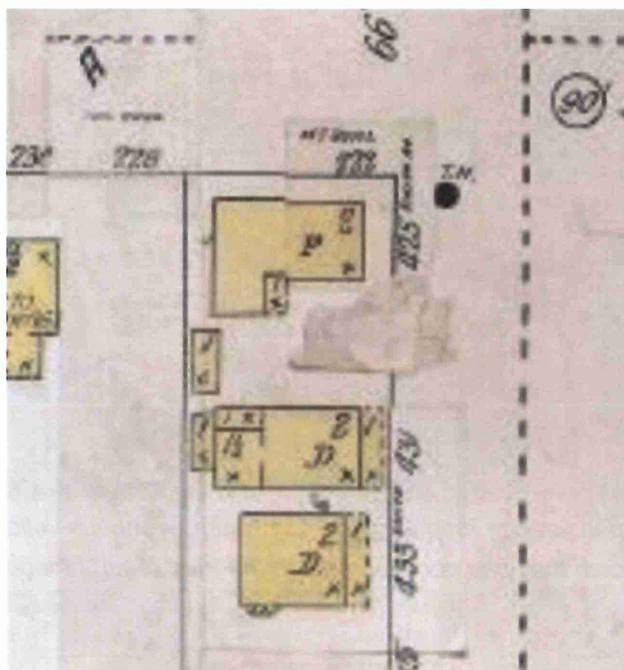


Figure 20. Close up of 431 Smith Avenue North on a 1903 Sanborn map.⁵⁸ Note the historic one-story extension on the west elevation. Due to limitations in accessibility, it is not possible to confirm the presence of the extension.

Early records pertaining to 431 Smith Avenue North are limited. It is not known where this c.1882 house was originally located or who the first owner was. After the house was moved in 1899, it had a number of occupants, including the Ackerman family. Charles Ackerman, a bartender, and his wife Lulu, a nurse, occupied the house with their two daughters between 1901 and 1904. George and William French resided here from 1913 to 1916, and in 1917 Paul Caprica, a butcher, lived in the house. From 1918 to 1935 the Palumbo family lived at 431 Smith Avenue North. Louis Palumbo was an upholsterer while his wife, Louise, worked as a clerk. Michael Palumbo, a watchman, and his wife Margaret also resided there. From 1937 to 1942 the Frederick family occupied the house. Camillo Frederick worked as a clerk and his wife Josephine was a homemaker; Anthony Frederick, a bartender, and his wife Irene, also lived in the

⁵⁶ Sazevich, *Uppertown Survey*, 15.

⁵⁷ Jim Sazevich, "Historic Property Inventory Form RA-SPC-5605," 1992.

⁵⁸ "Sanborn Insurance Map of Saint Paul, Minnesota," revised through 1925 1903.

house during this period. From 1944 to 1948 Joseph and Marguerite Strahan occupied the house.⁵⁹ Little is known of mid- and late-twentieth-century residents. The current owners and residents are Robert L. Brown and Connie Warn.⁶⁰

Changes to the property over time include the removal of a historic porch on the front (east) facade and the enclosure of the side (north) porch. The aluminum siding likely installed in the 1950s or 1960s. More recently, several windows have been replaced with modern casement windows, and all visible entry doors have been replaced. As a result, the house does not retain integrity of original setting, and the loss of original fabric has further diminished physical integrity.

The house at 431 Smith Avenue North is a vernacular front-gable house that does not exhibit strong characteristics of a particular architectural style. Although it is unknown if an architect is associated with the design of the house, the vernacular nature of the house suggests it is the product of a builder-contractor.

Evaluation

The house at 431 Smith Avenue North is a contributing building within the National Register-eligible Uppertown Historic District in Saint Paul. As a result of MnDOT's improvement project, National Register eligibility evaluations were conducted for contributing resources within the district. The house was evaluated for individual listing in the National Register under *Criteria A, B, and C*, applying *Criterion Consideration B* for relocated properties.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history, as well as demonstrate that the event was important to the development of Minnesota, Ramsey County, or Saint Paul. The house at 431 Smith Avenue North was constructed c.1882 and moved to Smith Avenue North in 1899.⁶¹ From 1899 to the present the house has served as a private residence within the W. 7th Street neighborhood. Research did not reveal any event significant in the history of Minnesota, Ramsey County, or Saint Paul that occurred at the house. Therefore, it is recommended not individually eligible for the National Register under *Criterion A*.

Criterion B

To be eligible under *Criterion B: Significant Person*, the property must be associated with a person who made a significant contribution to the development of Minnesota, Ramsey County, or Saint Paul. The house at 431 Smith Avenue North does not appear to be associated with any person who made a significant contribution to local, regional, or state history. As such, 431 Smith Avenue North is recommended not individually eligible under *Criterion B*.

⁵⁹ Results of research on 431 Smith Avenue North in *Saint Paul City Directories* from the years 1899-1995, *Ancestry.com*, <http://search.ancestry.com/search/db.aspx?dbid=2469>.

⁶⁰ "Ramsey County Interactive Property Map."

⁶¹ Sazevich, *Uppertown Survey*.

Criterion C

This house was evaluated applying *Criteria Consideration B: Moved Properties*. Under *Criterion C: Architecture*, a property moved from its original location can be eligible if it is significant for architectural value. The movement of buildings into and within the Uppertown, Irvine Park, and W. 7th Street neighborhoods of Saint Paul was not uncommon, and because the practice began as early as the 1860s, the fact that buildings are not on their original site does not have a negative impact on any potential districts or the character or the neighborhood. In general, the relocated properties are of a compatible age, style, and form as original buildings.

The house at 431 Smith Avenue North is a modest example of a common architectural form: a vernacular front-gable house. As such, details are modest and limited in their expression and the house does not possess high artistic value. The house has experienced a number of changes over time, such as removal of a historic one-story porch and replacement of select windows and doors that have resulted in a loss of physical integrity. Changes over time have obscured many characteristics of type, period, or method of construction the building may have once conveyed. Due to the lack of architectural significance, interest, and integrity, the house at 431 Smith Avenue North is recommended not individually eligible under *Criterion C*.

Integrity

The house at 431 Smith Avenue North is not significant under *Criteria A, B, or C*; therefore, review of integrity is not warranted.

Recommendation

The house at 431 Smith Avenue North is recommended not individually eligible for the National Register under *Criteria A, B, or C*.



Figure 21. 431 Smith Avenue North location map.

4.4.3 Theodore Johnson Apartment Building

MnHPO Inventory Number: RA-SPC-5604

Address: 424-430 Smith Avenue North

City/Township: Saint Paul

Description

The Theodore Johnson Apartment Building (Johnson Building) is located at 424-430 Smith Avenue North in the W. 7th Street neighborhood of Saint Paul, Ramsey County, Minnesota. The building is located on lot 7 of block 8 of Leech's Addition. The front (west) facade is oriented toward the street (see Figure 22). The building is set among historic-age residential homes and modern-era commercial development to the north. The building is on a corner lot that features two concrete walkways extending to two raised entry porches. The shallow front yard features grass and deciduous trees. A gravel driveway runs parallel to the southern lot line.



Figure 22. Front (west) facade and side (north) elevation of the Johnson Building, view facing southeast.

The Johnson Building was constructed c.1907.⁶² This two-story rectangular brick dwelling contains four residential units. The flat roof is covered with an unknown material and the roofline features a stepped parapet with simple brick corbelling. Windows are one-over-one, double-hung, wood sash covered by aluminum storm windows, all with arched brick hoods and stone sills. The building is clad in red brick. The foundation is limestone, covered with cement on the front (west) facade.

The front (west) facade is characterized by two raised brick and concrete porches facing Smith Avenue North (see Figures 23 and 24). Each stoop features a flat projecting canopy with wood support brackets

⁶² Sazevich, *Uppertown Survey*, "Sanborn Insurance Map of Saint Paul, Minnesota," revised through 1925 1903; "Sanborn Insurance Map of Saint Paul, Minnesota" (New York: Sanborn Map Company, 1926).

that shelter paired entry doors that also feature arched brick hoods. Windows on the first story are paired, and eight windows are symmetrically placed on the second story. The brick walls are in common bond and feature a corbeled course near the parapet.



Figure 23. Front (west) facade of the Johnson Building, view facing east.

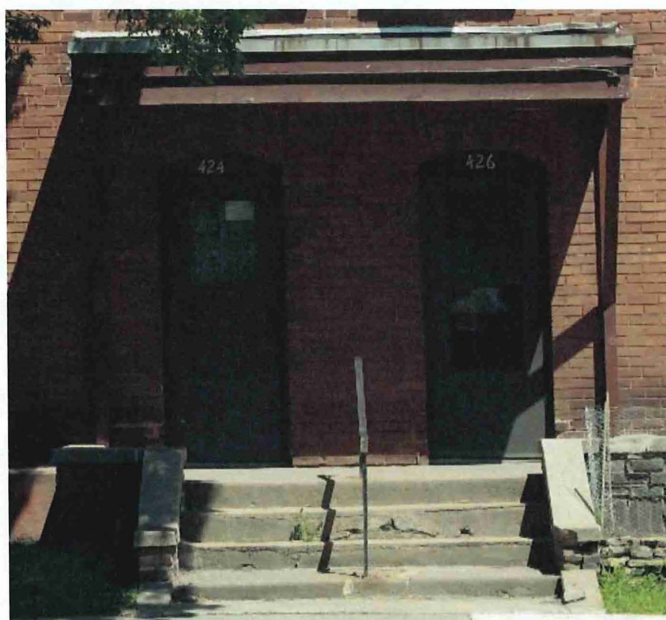


Figure 24. Detail of Johnson Building entrance, units 424 and 426.

The side (north and south) elevations feature a stepped parapet with two windows on each story (see Figures 25 and 26). The rear (east) elevation is dominated by a modern second-story wood porch (see

Figure 27). A window well and corbelled brick chimney are located at the center of the elevation. A chain-link fence runs the length of the east lot line. A concrete walkway with steps from the sidewalk leads to a first floor rear stoop.



Figure 25. North elevation of the Johnson Building, view facing south.



Figure 26. Side (south) elevation visible from Smith Avenue North, view facing northeast.



Figure 27. Rear (east) elevation of the Johnson Building, view facing southwest.

The Johnson Building exhibits muted features of early-twentieth-century commercial architecture, as seen in the flat roof with stepped parapet, modest corbelling, and restraint in ornamentation. However, this is a modest example of a common architectural form and, as such, the details are limited in their expression.

The Johnson Building has experienced changes and alterations over time, most notable in the brickwork. Extensive repair to select areas of the brickwork on the front (west) facade has been done, at different points in the building's history, as seen through differences in brick and mortar color. In the late 1940s or 1950s the original two-story porch on the front (west) facade was altered and flat projecting stoop canopies were installed. The frame porch and railing on the rear (east) elevation are a recent addition. Although the changes to the exterior of the Johnson Building are somewhat limited, the alteration of the front facade entry porches and repairs to the brickwork have resulted in diminished physical integrity.

History

From a historical perspective the Johnson Building is best understood as an early-twentieth-century, multi-family dwelling in Saint Paul. The c.1907 apartment building is part of residential development that occurred in the W. 7th Street neighborhood during a period of population growth prior to and just after the turn of the century. Other multi-family dwellings were built in the area between 1870 and 1920, including the Burbank Rowhouse (1875) at 277 Goodrich Avenue and the Lauer Flats (1887) located at 295 Dousman Street, both designated Saint Paul Heritage Preservation Sites.⁶³ Figure 29 on page 338 shows the Johnson Building on a 1926 Sanborn map (updated to 1939).

Today Smith Avenue North is a busy, tree-lined thoroughfare within a predominantly residential neighborhood that developed between the 1850s through the 1920s. This segment of Smith Avenue

⁶³ Jim Sazevich, *Historic Homes of Saint Paul's Uppertown* (Historic Irvine Park Association and Preservation Alliance of Minnesota, n.d.); Saint Paul Heritage Preservation Commission, "Properties Designated for Heritage Preservation in Saint Paul," n.d., <https://www.stpaul.gov/DocumentCenter/View/479236.pdf>.

features homes that reflect the Federal, Greek Revival, Italianate, Queen Anne, and Craftsman styles, as well as vernacular homes. A mid-nineteenth-century saloon, an early-twentieth-century apartment building, and a former garage are also present along the street. The eclectic mix of styles, periods of construction, and building use seen in this segment of Smith Avenue North reflect the early mixed-use history of the W. 7th Street neighborhood.

Building history and owners

The Johnson Building was constructed c.1907 and is named for its first owner, Theodore Johnson.⁶⁴ It is unknown if an architect was involved in the design of the building. Little is known of Theodore Johnson beyond the fact that he owned the property by 1907 and lived in the 424 Smith Avenue portion of the building with his family from 1914 to 1921.⁶⁵

The Johnson Building has seen a number of occupants in the four units, many of who were single laborers or working-class residents who stayed only a year or two. Based on available city directories, the longest occupants were George and Ida Hendricks, who stayed from 1932 to 1948. Single working women occupied the building in the 1930s and 1940s, reflecting the national trend of young women working and living alone in cities. During World War II servicemen such as Joseph Mettler (1944), who served in the U.S. Navy, resided in the building. Little is known of later-twentieth-century residents.⁶⁶ In 1992 John and Donna Sauro owned the Johnson Building, and Donna Sauro continues to own it with Susan Sauro Kane.⁶⁷

A notable alteration of the Johnson Building is the extensive repair that has been done to select areas of the brickwork on the front (west) facade. The work appears to have been done at different periods in the building's history, as seen in mismatched brick and mortars used (see Figure 28). The resulting patchwork appearance reflects negatively on the overall workmanship of the building and results in diminished physical integrity.

⁶⁴ Sazevich, *Uppertown Survey*.

⁶⁵ Review of 424-430 Smith Avenue North in *Saint Paul City Directories* from the years 1907-1995, *Ancestry.com*, <http://search.ancestry.com/search/db.aspx?dbid=2469>.

⁶⁶ Review of 424-430 Smith Avenue North in *Saint Paul City Directories* from the years 1907-1995, *Ancestry.com*.

⁶⁷ Sazevich, *Uppertown Survey*.

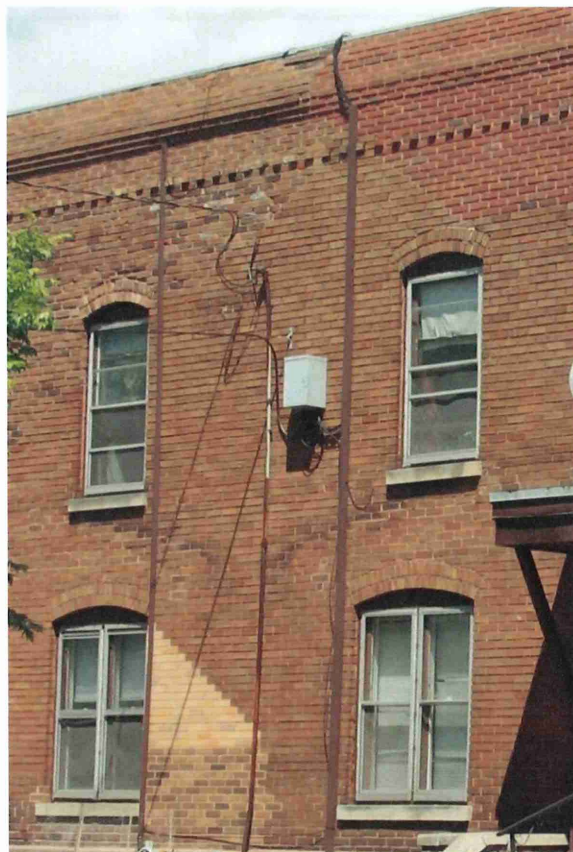


Figure 28. Detail of front (west) facade of the Johnson Building showing areas of brick repair. Note the variation in brick color used.

The front facade had two-story entry porches on the front (west) facade, which were likely replaced with the flat projecting stoop covers in the late 1940s or early 1950s (see Figure 29). The metal trim and horizontal emphasis reflect a modern architectural style influence. The aluminum storm windows were likely installed in the 1970s or early 1980s. A more recent change to the building is the construction of a modern frame deck with railing on the rear (east) elevation. Repair work to the stoops and concrete facing the foundation is currently underway at the site.

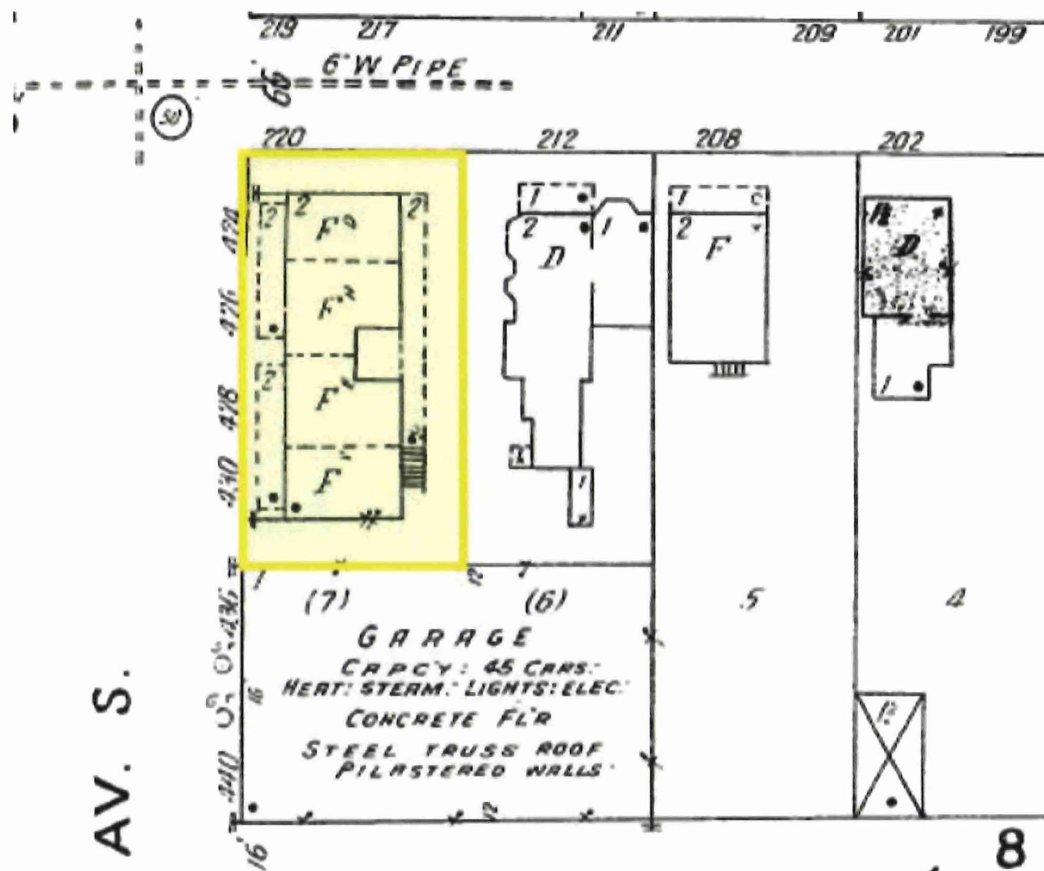


Figure 29. 1926 (updated to 1939) Sanborn map showing the Johnson Building in yellow. Note the two-story porches on the front (west) facade.

Evaluation

The Johnson Building is a contributing building within the National Register-eligible Uppertown Historic District in Saint Paul. As a result of MnDOT's improvement project, National Register eligibility evaluations were conducted for contributing resources within the district. The Johnson Building was evaluated for individual listing in the National Register under *Criteria A, B, and C*.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history that was important to the development of Minnesota, Ramsey County, or Saint Paul. From c.1907 to the present the Johnson Building has served as a multi-family dwelling within the W. 7th Street neighborhood. Research did not reveal significant events that occurred at this residence. While this early-nineteenth-century apartment building has served as a residence within the W. 7th Street neighborhood, it does not represent early settlement patterns. Therefore, the Johnson Building is recommended not individually eligible for the National Register under *Criterion A*.

Criterion B

To be eligible under *Criterion B: Significant Person*, the property must be associated with a person who made a significant contribution to the development of Minnesota, Ramsey County, or Saint Paul. The Johnson Building does not appear to be associated with any person who made a significant contribution to local, state, or national history. As such, the Johnson Building is recommended not individually eligible under *Criterion B*.

Criterion C

To be eligible under *Criterion C: Architecture* the property must represent the work of a master, possess high artistic value, and/or embody the distinctive characteristics of type, period, or method of construction. The Johnson Building exhibits muted elements of an early-twentieth-century vernacular building, as seen in the flat roof, simple cornice, and limited ornamentation. However, the building is a modest example of a common architectural form. As such, the details are simple and reflect common building practices and do not serve as a representative example of an important architectural style. The property also does not exhibit distinctive features, construction methods, or variations of a particular construction method that distinguish it from other properties either locally, regionally, or throughout the state.

In addition, changes to the building over time, such as removal of the original porches and extensive repair work to the brickwork that exhibits poor workmanship, have resulted in diminished physical integrity. Due to the lack of architectural interest and importance, and diminished physical integrity, the Johnson Building is recommended not individually eligible under *Criterion C*.

Integrity

The Johnson Building is not significant under *Criteria A, B, or C*; therefore, review of integrity is not warranted.

Recommendation

The Johnson Building is recommended not individually eligible for the National Register under *Criteria A, B, or C*.



Figure 30. Johnson Building location map.

4.4.4 Smith Avenue Garage

MnHPO Inventory Number: RA-SPC-5607

Address: 436 Smith Avenue North

City/Township: Saint Paul

Description

The Smith Avenue Garage is located at 436 Smith Avenue North in the W. 7th Street neighborhood of Saint Paul, Ramsey County, Minnesota. The building is located on the southern 66 feet of lots 6 and 7 within block 8 of Leech's Addition. The front (west) facade is oriented toward the street (see Figure 31). The building is set among historic-age, residential, single- and multi-family residences. The building sits on a flat lot that features concrete steps leading from the sidewalk and a concrete walkway extending to the main entry. The front yard is enclosed with a non-historic metal fence that sits upon a low brick retaining wall and features ground cover and deciduous trees. A paved alley is located parallel to the southern lot line.



Figure 31. Front (west) facade and side (north) elevation of 436 Smith Avenue North, view facing southeast.

Constructed in 1922, the Smith Avenue Garage is a former automobile garage that has been converted to a residence.⁶⁸ The one-story brick building has a rectangular plan but features a flared front (west) facade. The flat steel-truss roof is covered with an unknown material and the roofline features a stepped parapet. Windows are one-over-one, double-hung, wood sash with fixed-sash transoms, all with flat brick lintels and sills. The building is clad in red brick with pilasters between the bays of the front facade. The foundation is concrete.

⁶⁸ Sazevich, *Uppertown Survey*.

The front facade, which was largely obscured by vegetation during the Phase II fieldwork, is characterized by three bays (see Figure 32). The recessed central bay is flanked by walls extending at an angle to the west corners, which creates a flared footprint. The main entry is asymmetrically located in the central bay and features a flat projecting awning (see Figure 33). The original fenestration features banks of new double-hung sash windows with fixed-sash transoms. The brick walls are in common bond and feature a simple corbeled course near the parapet.



Figure 32. Front (west) facade, view facing east. Note the ivy obscuring architectural details at the corners of the building.



Figure 33. Detail of central bay featuring bank of windows and main entrance.

The side (north) elevation is largely obscured by vegetation (see Figure 34). The roofline features a stepped parapet. The other side (south) elevation is also largely obscured by vegetation toward the front facade (see Figure 35). This elevation features brick walls and a corbelled chimney, both in buff brick. A coal chute that is located near the front (west) corner of the side (south) elevation is largely obscured by vines (see Figure 36). The iron cover reads "Majestic Store Chute No. 15, The Majestic Company, Huntington Ind. Patented." This elevation also features a recessed secondary entrance with a glass block corner wall that is centrally located. A retractable overhead garage door is located toward the back (east) corner (see Figures 37 and 38).



Figure 34. Side (north) elevation, view facing southeast. Note a bricked-in window at the far left of the image.



Figure 35. Front (west) facade and side (south) elevation, view facing northeast.



Figure 36. Detail of coal chute on the side (south) elevation.

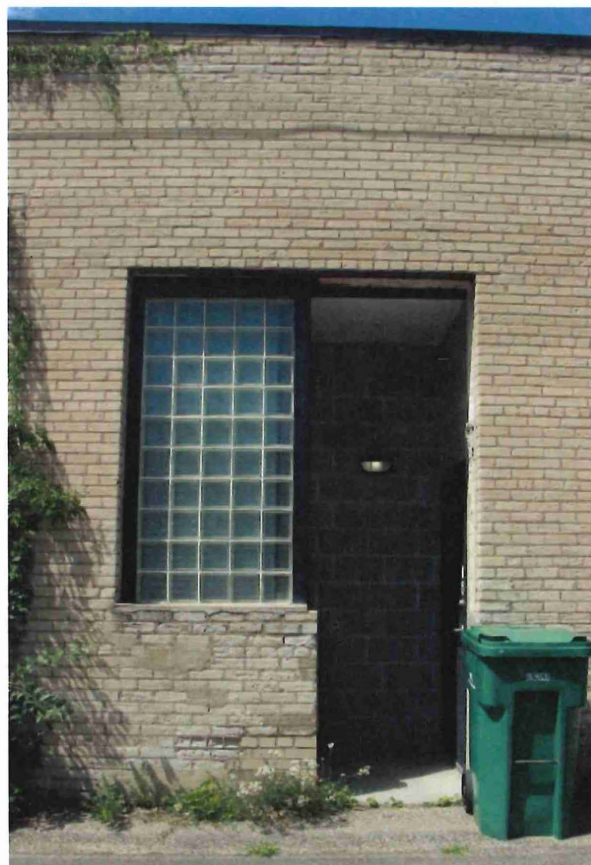


Figure 37. Detail of recessed entry with glass block wall and concrete block vestibule.

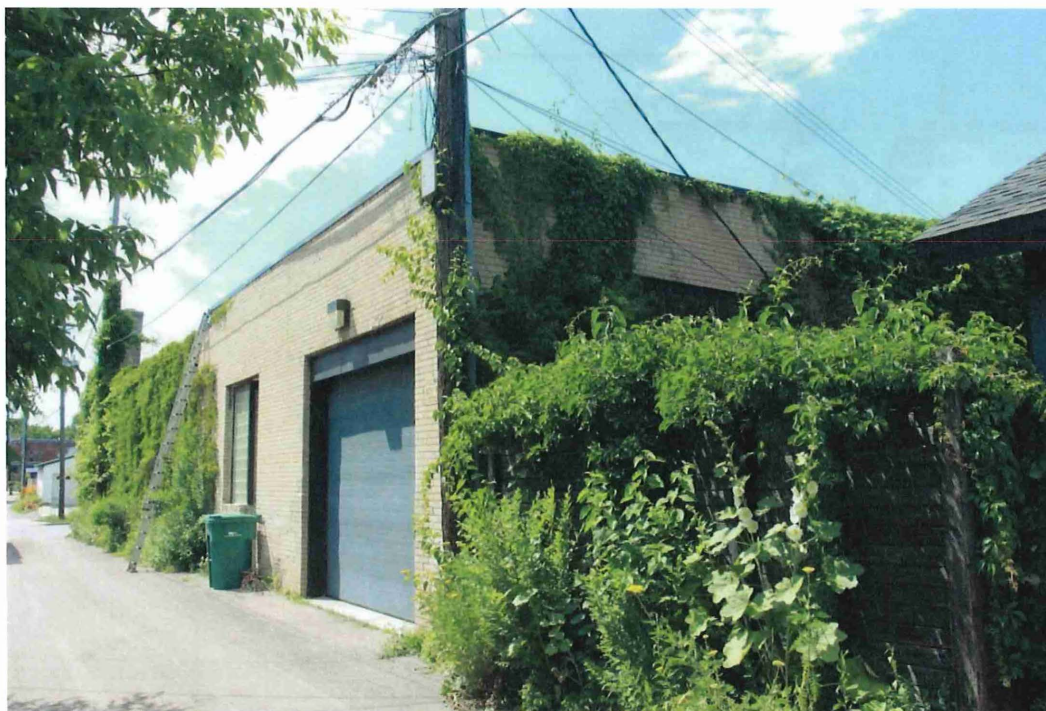


Figure 38. Side (south) and rear (east) elevations, view facing northwest. Note the multi-pane window visible above the fence.

The rear (east) elevation is largely obscured by fencing, vegetation, and proximity of adjacent buildings. It features buff brick and a large window can be seen at the southeast corner of the building.

The Smith Avenue Garage exhibits muted features of early-twentieth-century commercial vernacular architecture, as seen in the flat roof, modest corbelling, picture window fenestration, and restraint in ornamentation. However, this is a modest example of a common architectural form and, as such, the details are limited in their expression.

The Smith Avenue Garage building has experienced several alterations over time. The building housed commercial businesses into the mid-twentieth century. As constructed in 1922, this was an automobile garage and later housed a retail establishment. In 2003 the building was converted to a private residence. The original windows on the front (west) facade have been replaced by banks of double-hung, wood sash windows with a fixed-sash transom. The recessed entry on the side (south) elevation is not original, and all visible doors are replacements. The cumulative effect of a loss of original use and loss of original fabric has resulted in diminished physical integrity of the garage.

History

From a historical perspective the Smith Avenue Garage is best understood as an early-twentieth-century automobile garage in Saint Paul. The 1922 building is part of the development that occurred in the W. 7th Street neighborhood during a period of population growth prior to and just after the turn of the century; it is shown on a 1926 (updated to 1939) Sanborn insurance map (see Figure 39). The presence of this auto-related business within the neighborhood reflects the growing importance of the automobile in American leisure and industry.

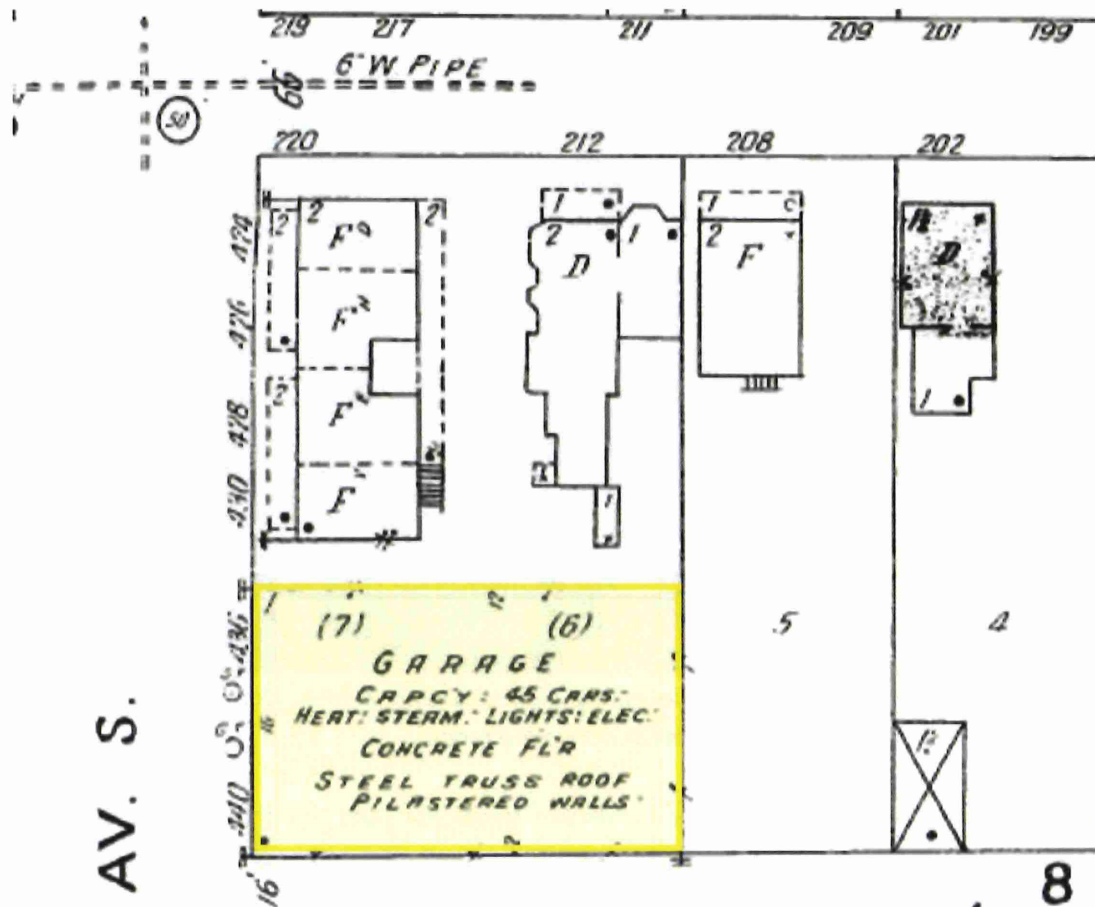


Figure 39. 1926 (updated to 1939) Sanborn insurance map showing the Smith Avenue Garage in yellow.⁶⁹

Automobile garages evolved with the development of automobile culture in the twentieth century. While the first automobiles arrived in Minnesota just prior to 1900, there were not mechanics devoted to their maintenance. Car owners took on repairs, or hired a bicycle mechanic, plumber, or other tradesman to fabricate parts. Wealthy automobile owners could afford to employ a mechanic/driver to maintain the temperamental vehicles of the era.

By 1915 Henry Ford had invented the mechanized assembly line that revolutionized manufacturing and lowered the price of automobiles through efficient mass production. Auto touring became a popular pastime as Ford Motors and other car manufacturers put more Americans on the road. World War I saw an increase in vehicle use, and after the war thousands of war-trucks were available for civilian use. By the 1920s cars were commonplace and motor vehicle companies were using interchangeable parts, which allowed the auto repair industry to grow.⁷⁰

⁶⁹ "Sanborn Insurance Map of Saint Paul, Minnesota," revised through 1925 1903.

⁷⁰ "A Brief History of the Auto Mechanics Trade," IMAW Northwest District 250, n.d. <http://iamdistrict250.ca/our-skilled-trades/a-brief-history-of-the-auto-mechanics-trade/>.

The automobile industry in Minnesota grew substantially in the first decades of the twentieth century. In 1903 there were only 2,000 vehicles on the road, and by 1910 the numbers had swelled to 10,000 cars. Only two years later, 20,000 automobiles were on Minnesota roads. The Twin Cities were seen as favorable for car ownership, although Saint Paul less so due to the numerous hills. Several factors contributed to the Twin Cities outpacing the rest of the state in auto sales. In 1907 auto shows debuted in Minneapolis that were so popular they became an annual event after 1909. Additionally, the 1910s saw "Automobile Rows" develop along Hennepin Avenue in Minneapolis and University Avenue in Saint Paul that featured businesses devoted to the automobile, including dealerships, gas stations, specialty parts stores, and garages.⁷¹

In 1910 the *Minneapolis Journal* proclaimed the need for more local auto garages. During this era, the term "garage" also referred to a showroom.⁷² Local auto garages allowed for a wider distribution of vehicles and offered professional services in convenient neighborhood locations. The Smith Avenue Garage, constructed in 1922, is such a local neighborhood auto garage.

During the 1930s the automobile industry suffered with the national economy and many neighborhood garages were forced to close. During World War II many auto manufacturers devoted resources to the war effort, but the years after the war saw marked growth in the industry.⁷³ The Smith Avenue Garage served as a neighborhood automobile garage through roughly the mid-twentieth century. By the 1950s and 1960s the industry was changing. Full service stations were being built that catered to families and offered a range of goods and services.⁷⁴ After 1948 Saint Paul city directories were not available to verify when the building ceased to be a garage, and by the early 1990s it had transitioned to a commercial building.⁷⁵

Building history and owners

The Smith Avenue Garage was constructed in 1922 for owner Dennis McCarthy. It was designed by architect J.P. Daubler and built at a cost of \$13,250.⁷⁶ The front facade consisted of a recessed central bay flanked by flared walls. The garage could house 45 cars and featured a concrete floor, gas heat, and a steel truss roof.

⁷¹ Erin Berg, *National Register of Historic Places, Pence Automobile Company Building, Minneapolis, Hennepin County, Minnesota*, July 2007, National Register #07001314.

⁷² Berg, *National Register of Historic Places, Pence Automobile Company Building, Minneapolis, Hennepin County, Minnesota*.

⁷³ The History Channel, "Automobiles," n.d., <http://www.history.com/topics/automobiles>.

⁷⁴ Dwayne Jones, "A Field Guide To Gas Stations in Texas" (Texas Department of Transportation, October 2003).

⁷⁵ A review of Saint Paul City Directories for the years 1920-1995, *Ancestry.com*, <http://search.ancestry.com/search/db.aspx?dbid=2469>.

⁷⁶ Sazevich, *Uppertown Survey*.

When the garage became operational in 1922, it was called the Smith Avenue Garage. Dennis McCarthy owned and ran the business through 1927.⁷⁷ By 1992 the building housed a second-hand store and was known as the "Worn-a-Bit Shop."⁷⁸ David and Paulette Rich purchased the building in 2002, and hired SALA Architects to convert the commercial space into a residence and studio.⁷⁹ Subsequent alterations to the building and the lot were extensive.

The garage does not retain a high degree of integrity. The original layout and many original features, including the garage doors on the front facade, signage, and interior showroom, office, and work space, have been lost as a result of the conversion into a residence and studio. Alterations to the front facade include the replacement of the original entry door and the addition of a flat awning. The original picture window and garage doors have been replaced with fixed transom and double-hung sash windows. It is likely the recessed entrance and the modern garage door were added on the side (south) elevation, and the window on the side (north) elevation was bricked in at this time. The area at the front of the parcel has been converted into a yard with landscaping and a concrete block and decorative iron fence. Any original driveways or curb cuts associated with the historic use have been removed. The cumulative effect is that the Smith Avenue Garage does not read as a 1920s automobile garage.

Evaluation

The Smith Avenue Garage was identified as a noncontributing building within the National Register-eligible Uppertown Historic District in Saint Paul. However, the garage was indicated in a previous reconnaissance survey as potentially individually eligible for the National Register, though a formal determination of eligibility was not completed at that time. As a result of MnDOT's improvement project, a National Register eligibility evaluation was conducted for the Smith Avenue Garage. It was evaluated for individual listing in the National Register under *Criteria A, B, and C*.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history, as well as demonstrate that the event was important to the development of Minnesota, Ramsey County, or Saint Paul. From 1922 through the mid-twentieth century the Smith Avenue Garage served as an automobile garage within the W. 7th Street neighborhood.⁸⁰ Research did not reveal any event significant event in the history of Saint Paul, Ramsey County, or Minnesota that occurred in this building. The Smith Avenue Garage was typical of auto-related development along major roadways in Minneapolis and Saint Paul and does not represent significant trends related to transportation of the growth of the automobile culture. As such, the Smith Avenue Garage is recommended not individually eligible under *Criterion A*.

Criterion B

To be eligible under *Criterion B: Significant Person*, the property must be associated with a person who made a significant contribution to the development of Saint Paul. The Smith Avenue Garage does not appear to be associated with significant individuals in Saint Paul's history. Although Dennis McCarthy ran

⁷⁷ A review of Saint Paul City Directories for the years 1920-1995, Ancestry.com.

⁷⁸ Sazevich, *Uppertown Survey*.

⁷⁹ "Ramsey County Interactive Property Map." and "Millett List," 2007, 121.

⁸⁰ Saint Paul City Directories were not available for this period.

the Smith Avenue Garage for five years, he did not play a significant role in the history of the neighborhood or the city of Saint Paul. Therefore, the property is recommended not individually eligible under *Criterion B*.

Criterion C

To be eligible under *Criterion C: Architecture* the property must represent the work of a master, possess high artistic value, and/or embody the distinctive characteristics of type, period, or method of construction. As an early-twentieth-century automobile garage, the building is modest in ornamentation and design and does not serve as a representative example of an important architectural style. The Smith Avenue Garage was designed by architect J.P. Daubler. However, research did not indicate that Daubler was significant to the development of Saint Paul's residential neighborhoods or influenced architectural design styles in the W. 7th Street neighborhood, or other neighborhoods in the city.

The Smith Avenue Garage was also evaluated under *Criterion C: Architecture* as an example of the automobile garage property type. For a resource to be eligible it must clearly exhibit enough characteristics to be a true representative example of the property type. The Smith Avenue Garage represents a combination auto-related property type that had delineated spaces for vehicular repairs, a showroom, and office space.⁸¹ Common exterior features of the type include a prominent entry and large multi-pane or picture windows that provide visual access into the showroom area. Space was allotted along the front facade for signage to be visible from the roadway. Early auto garages featured fireproof materials such as concrete, brick, and steel, creating a structural system that allowed for large open spaces to accommodate the showroom, office, and working bays. During the 1920s it was common for auto garages to have one or more service bays. In the case of the Smith Avenue Garage, one point of vehicular access was on the front (west) facade and one was located on the side (south) elevation via the alley south of the building. While the Smith Avenue Garage does exhibit a few characteristics of the automobile garage property type, such as the brick exterior and fenestration pattern on the front facade, these characteristics are muted and limited.

The Smith Avenue Garage has experienced two major changes in building use, and has incurred extensive physical alterations to meet its current use as a residence and studio. The replacement of original windows and doors on the front facade, the removal of signage, and the addition of new architectural elements such as the awning have eliminated key character-defining features and diminished the buildings ability to read as an auto garage. The elimination of character-defining landscape features and addition of a residential yard further detract from the building's ability to convey its historic use as an automobile garage. As a result, the Smith Avenue Garage has lost the ability to convey its historic function as an automobile garage and its association with roadside automobile-related commerce. Therefore, the Smith Avenue Garage is recommended not eligible under *Criterion C*.

Integrity

The Smith Avenue Garage is not significant under *Criteria A, B, or C*; therefore, review of integrity is not warranted.

Recommendation

The Smith Avenue Garage is recommended not individually eligible for the National Register under *Criteria A, B, or C*.

⁸¹ Information about these property types comes from Elizabeth Rosin and Dale Nimz, *National Register of Historic Places, Roadside Kansas* (Kansas, 2011).

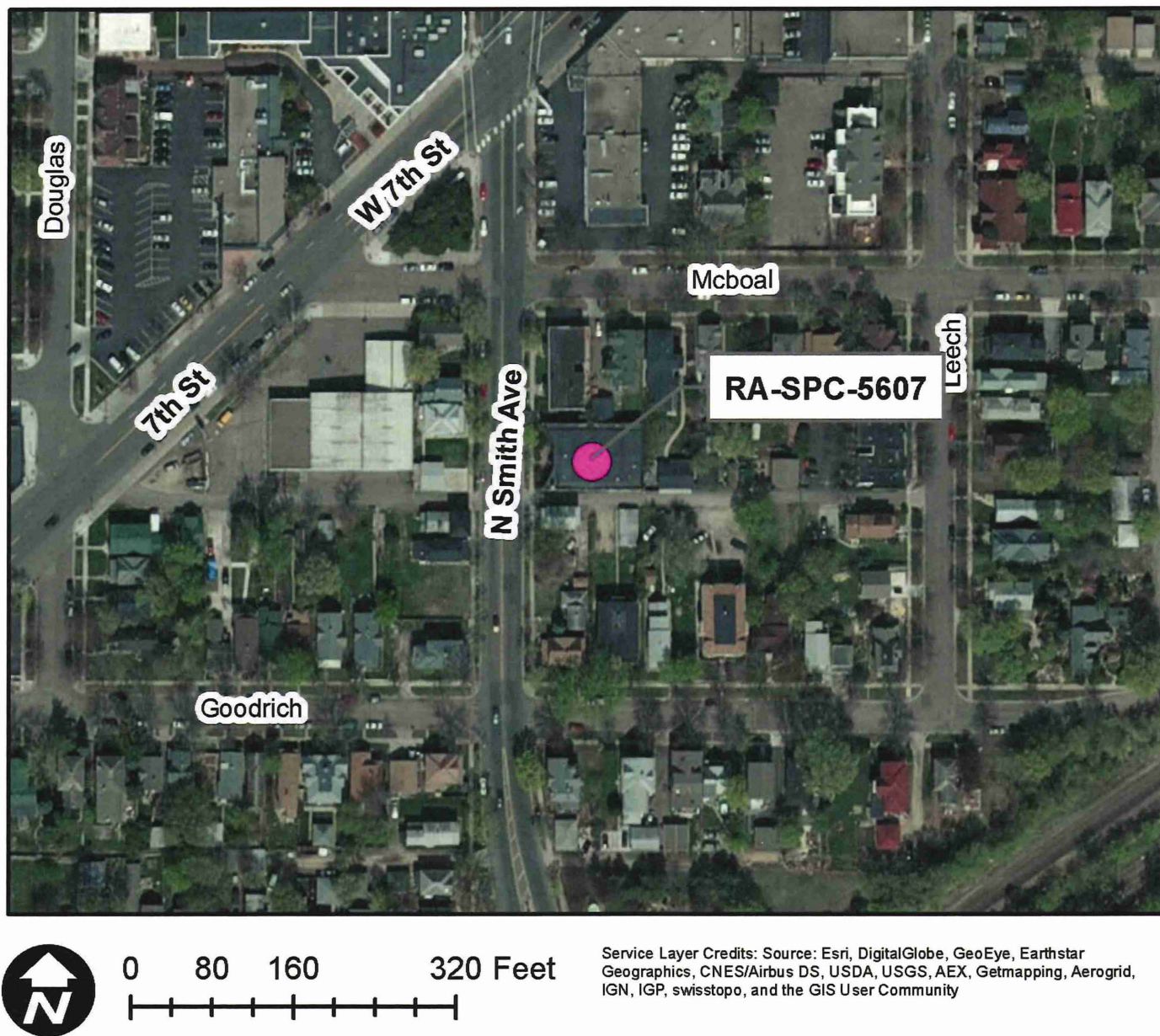


Figure 40. Smith Avenue Garage location map.

4.4.5 Anthony Waldman Saloon

MnHPO Inventory Number: RA-SPC-3406

Address: 445 Smith Avenue North

City/Township: St. Paul

Description

The Anthony Waldman Saloon (Waldman Saloon) is located at 445 Smith Avenue North, in the W. 7th Street neighborhood of Saint Paul, Ramsey County, Minnesota. The building is on lot 14 of block 9 of Leech's Addition, and the front (east) facade is oriented toward the street (see Figure 41). The building is surrounded by historic-age residences. The Waldman Saloon sits on small rise and a full stoop clad limestone veneer with concrete steps was added to provide access to the elevated entry. The stoop is flush with the back of the sidewalk and features an iron railing. The yard is defined by a wood fence along the south and west lot lines and features grass, bushes, and deciduous trees. A paved alley runs along the north lot line.

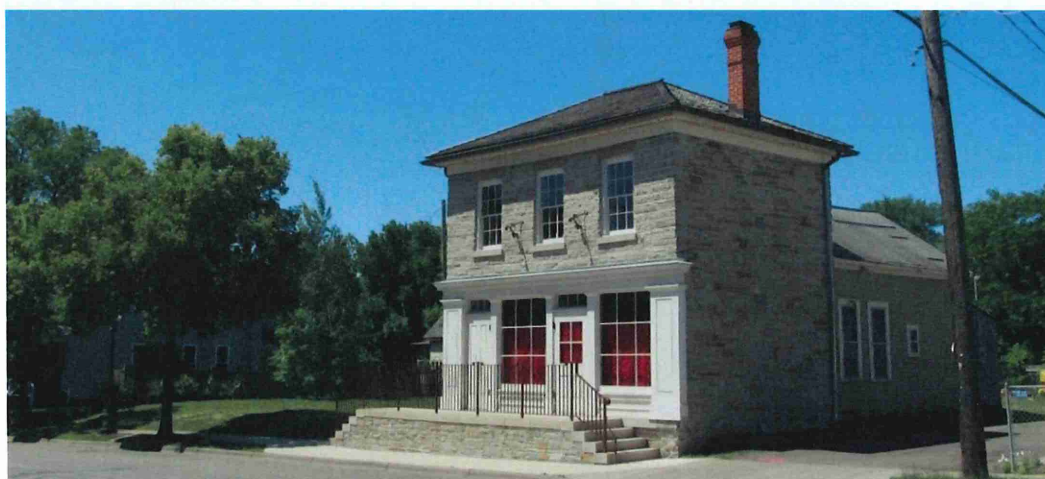


Figure 41. Front (east) facade and side (north) elevation of the Waldman Saloon, view facing southwest.

In the mid-1880s the building was converted to residential use and the original storefront was replaced with a residential facade that fronted the street for more than 120 years. However, the Waldman Saloon is currently undergoing a substantial renovation to return the building to its likely 1860s appearance and use. Renovations began in 2014 and have centered on restoring the exterior, including the reconstruction of the storefront, and renovating the interior. The renovation is extensive, with future plans to reconstruct the frame portion at the rear and construct new buildings to house equipment necessary for its planned use as a microbrewery. The renovation is ongoing and this description documents what was observed in June 2016.

Although photographs of the building's early period as a commercial establishment do not exist, physical evidence identified during the deconstruction of the residential facade was used to inform the design and plans of the renovation, including attachment points that indicate the location of the original commercial entrance, a visible line marking the original casement window location and indicating the recess of commercial glass, and embedded nailers located to the right and left of the opening, confirming the

presence of exterior paneling on either side of the storefront. In addition, the molding profile is based on a 1957 photograph of a cornice remnant from the original storefront and the two panel doors are reproductions of an original door found in the building.⁸²

Construction of the Waldman Saloon began c.1855 and was completed c.1857.⁸³ The building consists of a frame portion on the rear (west) elevation, which was built prior to the limestone portion that fronts Smith Avenue North.⁸⁴ The frame portion is a one-and-one-half-story front-gable building covered in narrow clapboard siding, with an enclosed shed roof addition on the rear elevation. The two-story limestone portion has a hip roof and sidehall plan that features ashlar finished stone on the front (east) facade and rubble stone on the other three elevations (see Figure 42).

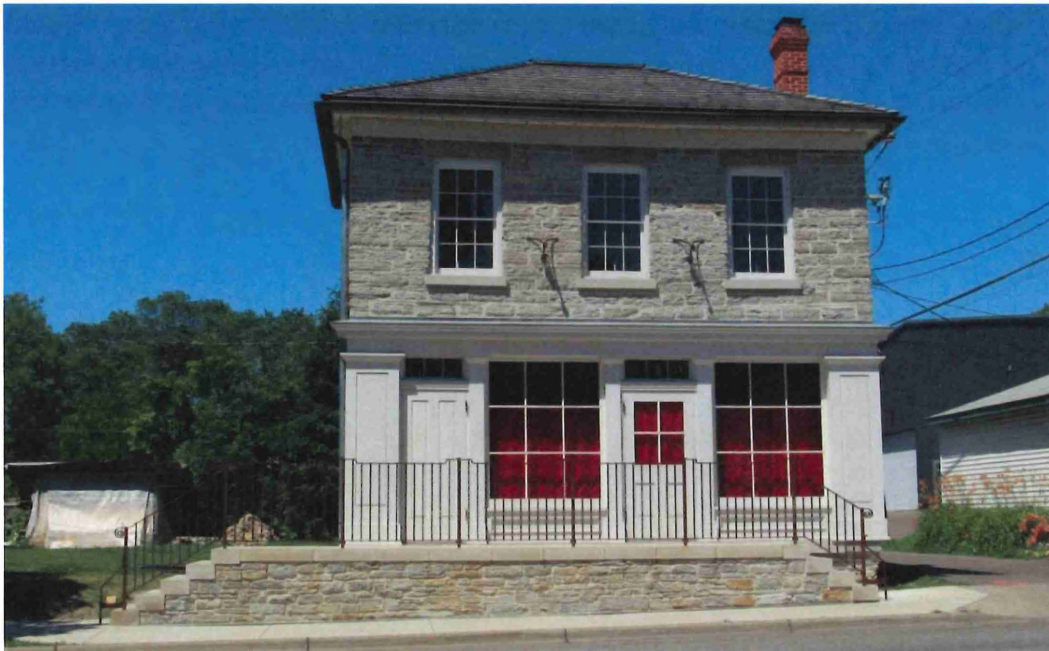


Figure 42. Front (east) facade, view facing west.

The hip roof is covered in wood shingles and features an exterior corbelled brick chimney, copper gutters, boxed eaves, and a simple frieze. The gable and shed roofs are covered in asphalt shingles. Fenestration includes new, six-over-six, double-hung, wood sash and historic, four-over-four and three-over-one, double-hung, wood sash. The foundation is limestone.

The front (east) facade is dominated by a frame storefront that was recently constructed based on physical evidence (see Figure 43). A prominent friezeboard with molded trim and tin flashing defines the

⁸² Schroeder, Interview with Mead & Hunt, Inc.

⁸³ Thomas Schroeder, "Anthony Waldman House, Saint Paul, Ramsey County, Minnesota" (Draft National Register Nomination, 2011), 2, Draft National Register Nomination, <http://www.stonesaloon.com/NR%20Statement%20of%20Significance.pdf>. Although a draft nomination was prepared, MnHPO did not concur with the eligibility recommendation.

⁸⁴ Thomas Schroeder, Interview with Mead & Hunt, Inc., June 2016.

first-story. Wide corner pilasters that feature molded trim capitals, inset panels, and square bases anchor the north and south corners (see Figure 44). The primary entrance is a wood-panel-with-glazing door and a secondary entrance is a solid wood panel door; both feature three-light transoms and are flanked by narrow pilasters with molded trim capitals and square bases. Two fixed, nine-pane, replacement picture windows with wood sills on paneled knee walls complete the storefront.



Figure 43. Detail of restored storefront, view facing northwest.

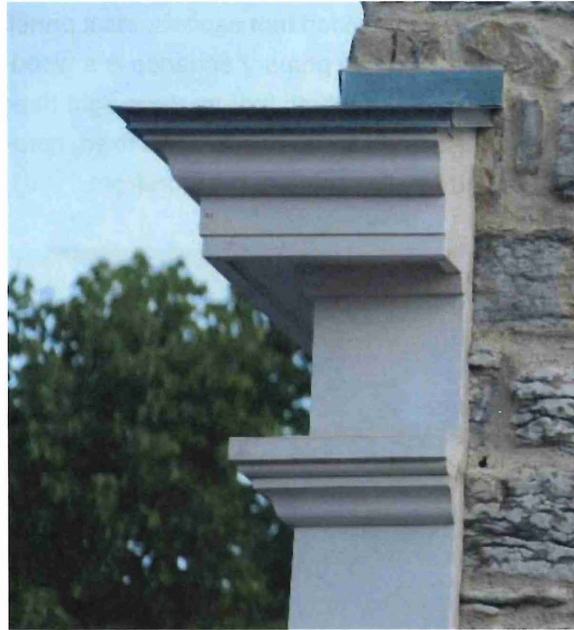


Figure 44. Detail of molding profile of friezeboard and corner pilaster.

The second story of the front facade features three new six-over-six double-hung wood sash windows with limestone sills and lintels (see Figure 45). According to the property owner, these windows are reproductions based on photographic evidence, which indicated the early sash style (see Figure 46). Two decorative non-historic metal flag holders are located between the windows.

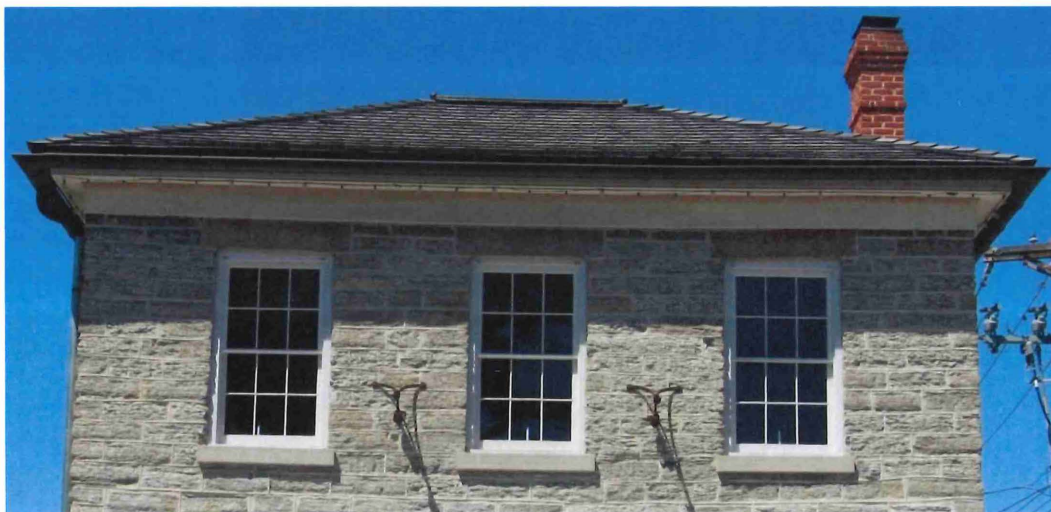


Figure 45. Detail of second-story windows on the front (east) facade.



Figure 46. A 1936 photograph of the Waldman Saloon showing six-over-six, double-hung, sash windows on the second story of the front (east) facade.⁸⁵ Note the ghost image of a one-story hip-roofline on the side (north) elevation that indicates a lean-to shed was once located here that extended towards the alley.

The side (north) elevation illustrates the telescoping profile of the Waldman Saloon (see Figure 47). The two-story limestone portion features a blank wall. The frame portion features narrow eaves and a corner board at the northwest corner. Fenestration includes two historic, four-over-four, double-hung, wood sash and one small, one-over-one, double-hung, wood sash, all with aluminum storms and simple wood surrounds. The one-story shed roof addition is clad in plywood.

⁸⁵ A.F. Raymond, "Anton Waldeman House, 445 Smith Avenue North," 1936, Image No. 3163-A, Minnesota Historical Society Photograph Collection, <http://collections.mnhs.org>.

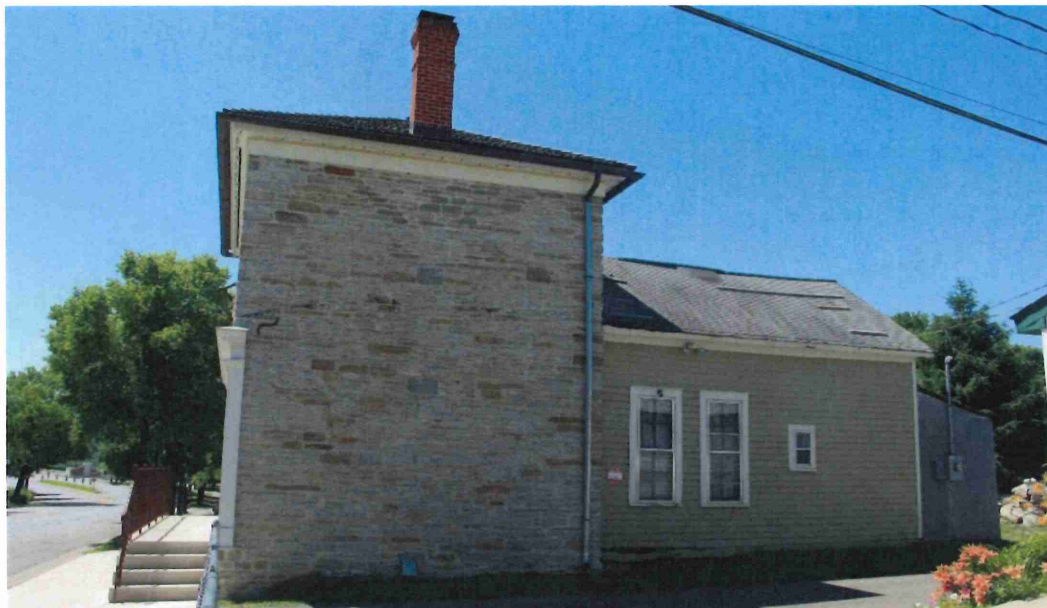


Figure 47. Side (north) elevation, view facing south.

The side (south) elevation features a similar telescoping profile (see Figure 48). The stone portion features a new, six-over-six, double-hung, wood sash window on the second story with a limestone sill and lintel. A coal chute with limestone lintel and brick sill is located at the foundation level (see Figure 49).

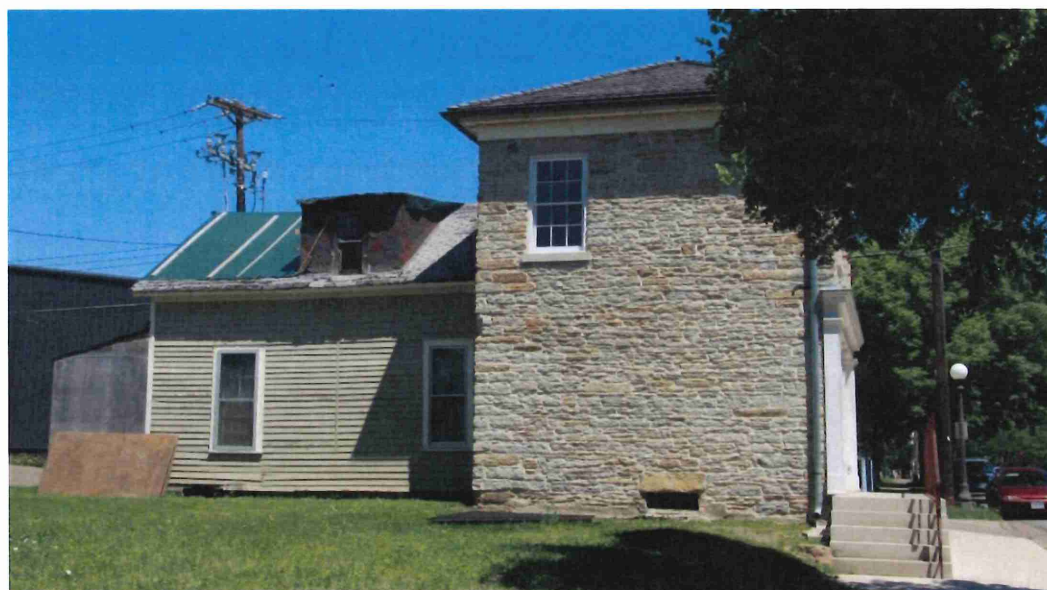


Figure 48. Side (south) elevation, view facing north.



Figure 49. Detail of coal chute on side (south) elevation, view facing north. Note the opening is boarded up from the interior.

The frame portion of this side (south) elevation features two, four-over-four, double-hung, wood sash windows and a non-original shed-roof dormer. The dormer is clad in asbestos shingles and features a three-over-one, double-hung, wood sash window with a simple wood surround (see Figure 50). Portions of the roof and dormer are covered in tarps.

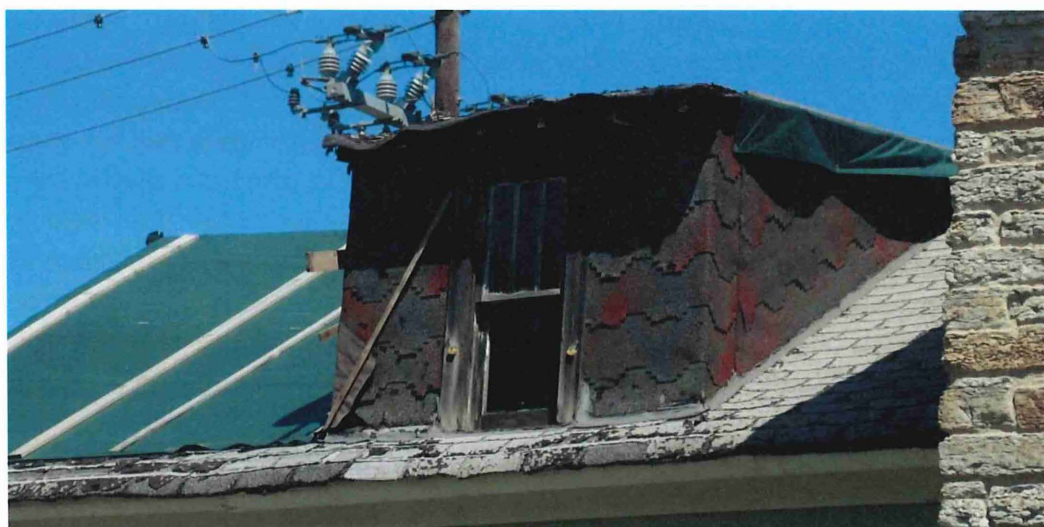


Figure 50. Detail of shed roof dormer on side (south) elevation, view facing northwest.

The rear (west) elevation is dominated by the shed roof addition that spans the width of the house (see Figure 51). The addition is clad in plywood and features exposed rafter tails and an offset modern metal-and-glazing entry door. The porch rests on discontinuous segments of poured concrete. The frame

portion of the Waldman Saloon, visible above the shed roof addition, features a three-over-one, double-hung, wood sash window within a reduced window opening in the gable end.



Figure 51. Rear (west) elevation, view facing east.

History

From a historical perspective the Waldman Saloon is best understood as a settlement-era building in Saint Paul. The settlement-era describes the period from 1849, when the town was incorporated, through the close of the Civil War in 1865.⁸⁶ The Waldman Saloon is located within one of the city's earliest neighborhoods. This commercial building was constructed in stages, which was common in this period. As with the Avery Ward Adams House (454 Smith Avenue North, see Section 4.4.1), the initial modest frame structure provided immediate shelter and the more substantial masonry portion of the building was constructed as time, money, and materials allowed. In the case of this property, the stone portion was constructed specifically to house a commercial business.⁸⁷ Dual-purpose commercial/residential buildings were popular in the settlement era for the flexibility they offered, with residential space for the proprietor to reside in or rent out for additional income. Although the 1858-1859 Saint Paul City Directory

⁸⁶ Carole Zellie and Garneth Peterson, *Historic Context Study, Pioneer Houses: 1854-1880* (Saint Paul, Minn.: Prepared for the Saint Paul Heritage Preservation Commission, 2001), <https://www.stpaul.gov/sites/default/files/Media%20Root/Planning%20%26%20Economic%20Development/Context%20Study%20-%20Pioneer%20Houses%20optimized.pdf>.

⁸⁷ Schroeder, Interview with Mead & Hunt, Inc.; Jim Sazevich, Interview with Mead & Hunt, Inc., June 2016; Schroeder, "Anthony Waldman House, Saint Paul, Ramsey County, Minnesota," 8–3.

indicates that a store operated at the subject location (it does not indicate the type of store), a saloon was also operating out of the building at that time.⁸⁸

When the stone portion was completed in 1857, it fronted Fort Road (present day Smith Avenue North), the original overland route that ran along the bluff between Saint Paul and Fort Snelling, which was an important commercial corridor at the time. A number of businesses lined the corridor, such as a livery stable, brewery, and several saloons, including the Waldman Saloon. Saint Paul expansion was largely suspended during the Civil War, but in the latter decades of the nineteenth century lots surrounding the Waldman Saloon filled in with residential buildings.

As Saint Paul grew and matured, many settlement-era buildings were lost to development. The expanding population in the 1880s resulted in a housing shortage in Saint Paul, and the Waldman Saloon was converted to a residence by 1889. The original storefront was removed and replaced with a residential facade (see Figure 52). The construction of the High Bridge in 1889 brought increased traffic along Smith Avenue North, yet with the exception of the McCarthy Garage constructed in 1922, this portion of the neighborhood remained primarily residential in the twentieth century.



Figure 52. c.1960 photograph of the Waldman Saloon with the residential facade and blank north elevation utilized for advertising.⁸⁹

Today Smith Avenue North is a busy, tree-lined thoroughfare within a predominantly residential neighborhood that developed between the 1850s through the 1920s. This segment of Smith Avenue

⁸⁸ *St Paul City Directory 1858-1859* (Saint Paul Minnesota: Newson & Barton, Publishers, 1858); Schroeder, "Anthony Waldman House, Saint Paul, Ramsey County, Minnesota," 8.

⁸⁹ "Anthony Waldman House, 445 Smith Avenue North," 1960, Image No. 2295, Minnesota Historical Society Photograph Collection, <http://collections.mnhs.org>.

features homes that reflect the Federal, Greek Revival, Italianate, Queen Anne, and Craftsman styles, as well as vernacular homes. An early-twentieth-century apartment building and a former garage are also present along the street. The eclectic mix of styles, periods of construction, and building use seen in this segment of Smith Avenue North reflect the early mixed-use history of the W. 7th Street neighborhood.

Building history and owners

Leech's Addition was platted in 1849. In December 1854 Charles Fuchs, a builder and real estate developer, purchased lot 14 in block 9 of Leech's Addition. In 1855 Fuchs built a one-and-one-half-story frame building near the back of the lot as an investment. The structure would offer an initial income while the more substantial building at the front of the lot was built. The frame structure could then offer rental income or living space for extended family. Fuchs, who lived on Walnut Street near Oak Street, had built and leased three other buildings on lots he owned in the neighborhood.⁹⁰

In the fall of 1857 the limestone portion of the subject building was constructed, likely on behalf of Elisha Eddy, the lessee, who intended to open a saloon. Construction is credited to mason Jacob Amos, who was also responsible for the 1867 limestone Martin Weber House at 202 McBoal Street. Historically the building included commercial and residential space and Amos resided in the subject property through 1857, and the building was referred to in the 1858-1859 St. Paul City Directory as the "Ennis (Amos), Jacob, store".⁹¹ The next lessees were Edward Shingles and his wife Sarah, who resided at the site and ran a saloon for a short period of time. By the early 1850s German settlers had introduced Saint Paul to lager-beer saloons, which was an establishment that primarily featured beer versus spirits. The comparatively lighter and more thirst-quenching brew took Saint Paul by storm during this era.⁹²

The building's namesake, Anthony Waldman, emigrated from Germany to the United States in 1853 and arrived in Saint Paul by 1856. Waldman first sub-leased the property from Eddy in the spring of 1858. In 1858 Waldman operated a lager-beer saloon in the stone building, and he purchased it outright in October 1860. The saloon continued to operate until 1863, when Waldman moved on to other business opportunities, due in part to the wartime economy coupled with soaring grain prices, and licensing fees that were applied to lager-beer saloons. In late 1863 Waldman opened a flour and feed store on 3rd Street near Eagle Street, which he ran for 15 years.⁹³ Waldman continued to own, and presumably lease, the stone building. In the 1860s and 1870s he increased his property holdings by building a double house on the same lot as the saloon (1871; relocated 2009). He also built a large Italianate style house at 457 Smith Avenue North (1872, noncontributing to the Uppertown Historic District due to alterations) and resided there for 11 years. In 1883 Waldman sold his large Italianate house and moved back to the

⁹⁰ Schroeder, "Anthony Waldman House, Saint Paul, Ramsey County, Minnesota," 2–3.

⁹¹ *St Paul City Directory 1858-1859* (Saint Paul Minnesota: Newson & Barton, Publishers, 1858) and Schroeder, *Anthony Waldman House, Saint Paul, Ramsey County, Minnesota. Information within the 1858-1859 City Directory was being collected during the fall of 1857.*

⁹² Sabine Meyer, *We Are What We Drink: The Temperance Battle in Minnesota* (Urbana, Chicago and Springfield, Ill.: University of Illinois Press, 2015).

⁹³ Schroeder, "Anthony Waldman House, Saint Paul, Ramsey County, Minnesota," 8.

saloon. By 1885 he decided to return to Germany and sold his remaining properties, including the subject property, to Thomas Manning. Waldman passed away in Germany in June 1886.⁹⁴

As Saint Paul grew and developed, many settlement-era buildings were subjected to heavy alterations in order to meet the needs of the changing city. During the late nineteenth century a population boom in Saint Paul caused a housing shortage. In response, many existing buildings were converted to residential use and/or subdivided into multi-family housing. Between 1885 and 1889 Manning converted the building from a combined commercial/residential space to a residential space. The original storefront was removed and the opening was filled in with limestone (see Figure 52 above). The first story of the front facade featured a wood-panel entry door with a truncated hip roof over the shallow stoop that featured a spindlework frieze and milled corner and support brackets. Two, four-over-four, double-hung windows with stone lintels and sills were added to this story. Manning reconstructed the frame portion of the building during this period, reusing the foundation, sill beams, and floorboards.⁹⁵ The residential configuration and use of the building remained through 2013, a period of more than 120 years (see Figure 53).



Figure 53. The c.2013 appearance of the Waldman Saloon. Photograph courtesy of current owner, Thomas Schroeder.

⁹⁴ Schroeder, Interview with Mead & Hunt, Inc.

⁹⁵ Schroeder, "Anthony Waldman House, Saint Paul, Ramsey County, Minnesota."

Some modifications were made to the frame portion of the building in the early twentieth century. The dormer on the side (south) elevation and the window in the gable end of the rear (west) elevation, both on the rear portion, were added during this period. A fire in the mid-twentieth century caused considerable structural damage to the frame portion of the building.⁹⁶ In addition, the decorative hip-roof awning above the stoop was removed and the second-story windows of the stone portion were replaced with one-over-one double-hung sash at some point.

According to Saint Paul City Directories the building served as a duplex by 1890, as some residents occupied the “rear” portion of the address. A series of laborers lived in the house in the late nineteenth and early twentieth centuries. Long-term residents include members of the Rafter family (1893-1917) and Vierow family (1917-1922). In 1947 the John and Francis Dreyling purchased the building. John Dreyling was a carpenter for the Saint Paul water department, and his wife Francis was a homemaker.⁹⁷ After John’s death in 1988, Francis continued to live in the house until 2008, when the current owners, Thomas and Ann Schroeder, purchased the building.⁹⁸

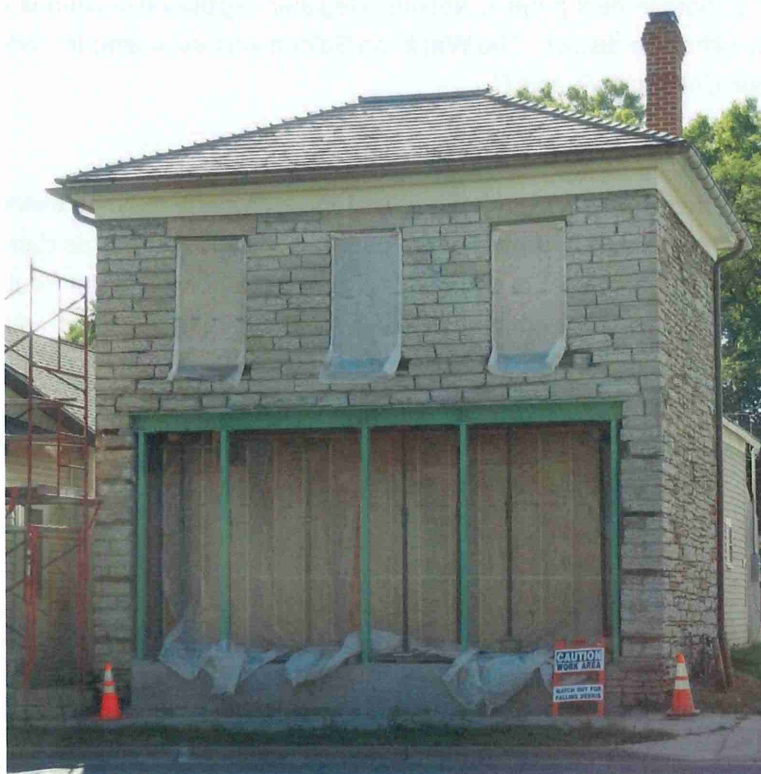
An extensive renovation of the Waldman Saloon was launched in 2014 by its current owners with the intent to restore the building to its likely 1860s commercial appearance and use (see Figure 54). Lot preparation included moving the adjacent Palmer House (447 Smith Avenue North, RA-SPC-5609) off the lot in 2015 to clear the area to the south. Initial project phases centered on the exterior of the building, with the most dramatic alteration being the removal of the residential facade and the introduction of a commercial storefront that is based on a study of physical evidence and review of other mid-nineteenth-century commercial storefronts. As previously mentioned, physical evidence was used to inform the design and plans of the new storefront, including a 1957 photograph of a cornice remnant from the original storefront that confirmed the original molding profile. Once the residential facade was removed, attachment points were visible that indicated the location of the original commercial entrance. The residential entrance retained its original transom, header, and lintel molding, which would have likely been the same type used for the commercial entrance. The limestone contained additional clues as the line of the casement windows was visible, which indicated the recess of commercial glass. Additionally, embedded nailers located to the right and left of the opening confirmed the presence of exterior paneling on either side of the storefront. The two panel doors are reproductions of an original door found in the building.⁹⁹

⁹⁶ Schroeder, Interview with Mead & Hunt, Inc.

⁹⁷ A review 445 Smith Avenue North in Saint Paul city directories from 1857-1995, *Ancestry.com*, <http://search.ancestry.com>.

⁹⁸ Schroeder and Frame, “Limestone Properties of Saint Paul’s West Seventh Neighborhood Thematic Nomination.” This draft thematic nomination focused on a limited number of stone buildings and local designation criteria. “Ramsey County Interactive Property Map.”

⁹⁹ Schroeder, Interview with Mead & Hunt, Inc.



*Figure 54. Front (east) facade under renovation in 2014.
Photograph courtesy of property owner Tom Schroeder.*

The ongoing renovation includes future phases to finish the interior of the stone portion as an 1860s-era saloon and construct a new addition that will extend along the west lot line to house brewing equipment. The frame portion of the Waldman Saloon, which was largely rebuilt in the 1880s and heavily damaged by fire in the mid-1900s, will be replaced in order to meet the needs of its intended future use.

The Waldman Saloon is a sidehall stone masonry building with muted features that suggest Greek Revival style origins. Popular from the 1830s to the 1860s, characteristic features of the style include triangular pedimented gables, heavy friezeboard, pilasters at corners, principal entrances with sidelights and transoms, and six-over-six, double-hung, sash windows. The Waldman Saloon exhibited many of these features, and several have been retained or incorporated into the storefront renovation.

Evaluation

The Waldman Saloon was identified as a contributing building within the National Register-eligible Uppertown Historic District in Saint Paul (see Section 3.2 for information on the initial identification of the Uppertown District). At the time of the 1992 and 2011 surveys the Waldman Saloon was identified as the Anthony Waldman/Charles Fuchs House, a pre-Civil War stone residence. Available research as well as the form and layout of the building at the time of both surveys confirmed these findings. Therefore, the property was considered to be contributing as it fit within the residential nature of the district and the recommended period of significance.

As a result of MnDOT's improvement project, National Register eligibility evaluations were conducted for contributing resources within the district. The Waldman Saloon was evaluated for individual listing in the National Register under *Criteria A, B, and C*.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history, as well as demonstrate that the event was important to the development of Minnesota, Ramsey County, or Saint Paul. The Waldman Saloon was constructed in stages during the settlement-era as a dual-purpose commercial/residential building. The frame portion, completed in 1855, provided shelter and the stone portion, completed in 1857, was specifically designed to house a commercial business. By 1889 the building had been converted to residential use. Since it operated as a saloon and subsequently as a residence in the historic period, it will be evaluated under *Criterion A* for each use.

Saloon

The Waldman Saloon fronted old Fort Road (present day Smith Avenue North), an important commercial corridor at the time, which was lined with a number of businesses including a livery stable, brewery, and several other saloons. Although early residents operated a store in the building, Anthony Waldman was operating a lager-beer saloon in the stone portion by 1858. Waldman purchased the building in 1860 and continued to operate the saloon until 1863, when the Civil War economy rendered brewing cost prohibitive. It is not known if a commercial business operated at this location after Waldman closed the saloon, but by 1889 the building was converted to solely residential use.

Due to the pressures of development in Saint Paul, few settlement-era commercial buildings have survived. As a result, the Waldman Saloon is one of the oldest extant commercial buildings in Saint Paul, and the oldest known building that housed a saloon. Only one other known example of a pre-1865 commercial building is extant and it also housed a saloon.¹⁰⁰ The Gebhard Eck Hotel & Saloon (RA-SPC-3496) at 444 (448) Saint Peter Street was constructed in 1858; however, it was subjected to major remodeling campaigns in the 1880s and 1930s (see Figure 55).¹⁰¹ These changes resulted in a three-story building with an early-twentieth-century appearance that no longer reflects the 1858 construction. The building has housed the Original Coney Island Tavern since 1923.¹⁰² Although the Waldman Saloon has also experienced changes over time, the building largely retains its original location, massing, and settlement-era appearance. As such, the Waldman Saloon better reflects commercial development during Saint Paul's formative years, with a period of significance of 1857-1863, which spans from its construction date until Waldman's saloon

¹⁰⁰ Carole Zellie and Garneth Peterson, "St. Paul Historic Context Studies: Downtown St. Paul, 1849-1975" (St. Paul Heritage Preservation Commission, May 2001), 5.
<https://www.stpaul.gov/sites/default/files/Media%20Root/Planning%20%26%20Economic%20Development/Context%20Study%20-%20Downtown%20St.%20Paul%20optimized.pdf>.

¹⁰¹ R. Younger, "Historic Sites Survey, RA SPC 3496" (Ramsey County Historical Society, Saint Paul Heritage Preservation Commission, 1981) and Oliver Towne, "Coneys Soon May Be Served with Helping of History," *St. Paul Pioneer Press*, June 19, 1985, sec. 11C.

¹⁰² Sturdevant, "Cornerstones of St. Paul: Exploring Chiseled (and Painted) Numbers Dating to 1858."

ceased operating.¹⁰³ The Waldman Saloon is significant under *Criterion A* because it represents the development of the Saint Paul neighborhood during the settlement-era.



Figure 55. The Gebhard Eck Hotel and Saloon. Image courtesy of Google Earth Streetview.

Residence

In response to a late-nineteenth-century Saint Paul population boom and housing shortage, many existing buildings were converted to residential use and/or subdivided into multi-family housing. Following these local trends, the former saloon building was converted into a residential duplex by 1889.¹⁰⁴ Because many Saint Paul settlement-era residences have been lost to development, a small number of early stone masonry residences are extant. The 2015 *Limestone Properties of Saint Paul's West Seventh Neighborhood Thematic Nomination* identifies five such properties in the general area, including the Waldman Saloon (referred to as the Anthony Waldman House, see Table 3). As outlined in the report, the Justice Ramsey House and Martin Weber House were constructed as residences, have not been

¹⁰³ Zellie and Peterson, *Historic Context Study, Pioneer Houses: 1854-1880*. Note: the author's specify that the settlement-era in Saint Paul encompassed the period from 1849, when the town was incorporated, through its recovery from the Civil War in 1865.

¹⁰⁴ A review 445 Smith Avenue North in Saint Paul city directories from 1857-1995, *Ancestry.com*, <http://search.ancestry.com>. The directories indicate concurrent occupants at this address.

significantly altered, and retain a high degree of physical integrity. As such, they better represent settlement-era residential development in Saint Paul.¹⁰⁵

Table 3. Settlement-era Solid Limestone Buildings in Saint Paul¹⁰⁶

Name	Built	Address	Inventory Number
Justice Ramsey House	1852	252 West Seventh Street	RA-SPC-5296
Antony Waldman Saloon	1857	445 Smith Avenue North	RA-SPC-3406
Shillinger-Brings House	1859	178 Goodrich Avenue	RA-SPC-8341
Christian Reinhardt House	1865	383 Goodhue Street	RA-SPC-8334
Martin Weber House	1867	202 McBoal Street	RA-SPC-4353

The Waldman Saloon was converted to residential use to meet the needs of the growing population in the city. The building's appearance and use as a residence continued for over 120 years. However, it is one of many that were altered, newly constructed, or moved into the neighborhood to meet the housing demand in this period.¹⁰⁷ In addition, the ongoing renovation has restored the commercial facade and the Waldman Saloon no longer reflects its residential use. Due to the lack of significance and inability to convey its former identity as a house, the Waldman Saloon is not individually significant as a late-nineteenth-century residence in Saint Paul.

Criterion B

To be eligible under *Criterion B: Significant Person*, the property must be associated with a person who made a significant contribution to the development of Minnesota, Ramsey County, or Saint Paul. Research has shown that mason Jacob Amos constructed the stone portion of this building in 1857. Amos is credited with constructing another early limestone house and operating a store at this location. Although Amos is a known local mason, he is not known to have made significant contributions to the development of the neighborhood, or of Saint Paul.

The building's namesake, Anthony Waldman, was an enterprising businessman who followed pre-established local business trends as he operated his saloon, feed store, and real estate ventures. The saloon was only in operation for a short time (1858-1863) and after 15 years of managing other businesses, Waldman returned to Germany. As such, Waldman did not make a significant contribution to the history of Saint Paul. In addition, research did not reveal that any of the subsequent property owners

¹⁰⁵ Sazevich, *Uppertown Survey*, 1. This thematic study covered five settlement-era limestone buildings in the West Seventh Neighborhood. There may be additional settlement-era limestone buildings in the neighborhood or greater area that have not yet been identified.

¹⁰⁶ Schroeder and Frame, "Limestone Properties of Saint Paul's West Seventh Neighborhood Thematic Nomination," n.p. This thematic nomination was intended to identify settlement-era limestone properties that are eligible for local designation by the Saint Paul Historic Preservation Commission. It does not include National Register eligibility analysis.

¹⁰⁷ Sazevich, *Uppertown Survey*. Note: the Uppertown Survey notes 150 buildings that were moved into the neighborhood.

or residents played a significant role in local or regional history. Due to the lack of association, this house is recommended not individually eligible under *Criterion B*.

Criterion C

To be eligible under *Criterion C: Architecture*, the property must represent the work of a master, possess high artistic value, and/or embody the distinctive characteristics of type, period, or method of construction.

The building is credited to mason Jacob Amos, who constructed other vernacular settlement-era stone buildings in Saint Paul. The buildings Amos constructed were modest in form and materials, and utilized common building practices of the day. As such, the Waldman Saloon is not considered the work of a master.

The Waldman Saloon is a vernacular sidehall stone masonry building and does not express high artistic value. The saloon exhibits a low-pitch hip roof, wide frieze, evidence of pilastered corners, and six-over-six, double-hung windows, which references muted Greek Revival style architecture. However, these features are modest and reflect common expression of a popular architectural form. As such, the Waldman Saloon does not possess high artistic value.

The Waldman Saloon was evaluated as an example of a settlement-era solid limestone building in Saint Paul. In order for the property to be representative of this property type, it must possess the distinctive characteristics of a solid limestone building constructed during the settlement era. Based on a review of the "Pioneer-era Limestone Properties of Saint Paul" thematic study, common exterior characteristics include coursed ashlar stone on the front facade with uncoursed rubble stone on other elevations, prominent limestone lintels, and the presence of dentils, frieze, or quoin details.¹⁰⁸ The Waldman Saloon exhibits coursed ashlar stone on the front (east) facade and smaller uncoursed rubble stone on other elevations. The second-story windows feature prominent limestone lintels. Although the stone detailing is modest, the building does possess characteristics of the property type.

The Waldman Saloon is one of five extant solid stone buildings that were included in the "Pioneer-era Limestone Properties of Saint Paul" thematic study (see Table 3).¹⁰⁹ These buildings were constructed of locally quarried Platteville limestone, which is characteristic of southeast Minnesota, especially the Twin Cities region. Limestone construction was especially prevalent in the settlement era due to the accessibility to building grade stone, and large quarries operated within various neighborhoods to meet the demand. As the city became more developed in the later nineteenth century, land values skyrocketed and the quarries moved away from Saint Paul's core.¹¹⁰ Although solid stone masonry construction was once locally common, it is rare today due to advances in building technology, the lack of skilled tradesmen, and the loss of historic buildings. In addition, many of these buildings have been subjected to a great deal of change over time. Of the limestone buildings in the thematic study, two have been moved

¹⁰⁸ Schroeder and Frame, "Pioneer-era Limestone Properties of Saint Paul" local thematic study, Part III.

¹⁰⁹ Schroeder and Frame, "Pioneer-era Limestone Properties of Saint Paul" local thematic study.

¹¹⁰ Schroeder and Frame, "Pioneer-era Limestone Properties of Saint Paul," local thematic study, 7-8.

and others have been altered. The Waldman Saloon has undergone significant change over time; however, it retains the original stone materials, roofline, fenestration patterns, and location.

The Waldman Saloon is significant under *Criterion C* as an example of a settlement-era solid limestone building in Saint Paul with a period of significance of 1857, which corresponds to the date of construction.¹¹¹ As such, the Waldman Saloon is recommended individually eligible.

Integrity

To be eligible under *Criterion A*, the Waldman Saloon must possess enough integrity to convey its significance as an example of a settlement-era saloon in Saint Paul.

The building was in commercial use for its first 32 years, during which it served as a lager-beer saloon between 1858 and 1863. In the late nineteenth century the building underwent extensive changes when it was converted to a residence. By 1889 the original storefront was removed and the rear frame portion was almost entirely rebuilt. In 2014 an extensive renovation was launched to convert the site into a microbrewery.¹¹² Initial phases included the removal of the residential facade, construction of a new storefront and stone stoop that extends beyond the length of the building, and replacement of windows on the stone portion. Current work includes the interior restoration of the stone portion and future work includes the replacement of the entire rear frame portion and construction of a new building on the lot to house brewing equipment. The removal of the adjacent houses resulted in the subject property sitting on a large open lot that is very different from the densely developed setting that would better represent the period of significance. Although some of the exterior features were preserved in the renovation, the historic materials on the primary facade were largely lost and reconstructed, resulting in diminished integrity of materials and workmanship. While great care and research went into guiding the restoration of the exterior, and the work is based on physical evidence, the extensive changes to the building and site result in diminished integrity of setting, materials, and workmanship.¹¹³ The cumulative effect of these changes is a loss of physical integrity from the period of significance. As a result, the Waldman Saloon is recommended not individually eligible under *Criterion A: History* as an example of a settlement-era saloon in Saint Paul.

¹¹¹ Zellie and Peterson, *Historic Context Study, Pioneer Houses: 1854-1880*.

¹¹² These extensive renovations do not qualify as a "reconstruction" as defined by the National Park Service: "The reproduction of the exact form and detail of a vanished building, structure, object, or a part thereof, as it appeared at a specific period of time. Reconstructed buildings fall into two categories: buildings wholly constructed of new materials and buildings reassembled from some historic and some new materials," National Register Bulletin, "How to Apply the Criteria Considerations, Criteria Consideration E: Reconstructed Properties," n.d., https://www.nps.gov/nr/publications/bulletins/nrb15/nrb15_7.htm#critcon e.

¹¹³ Note that these extensive renovations are not aligned with the Secretary of the Interior's Standards for Rehabilitation, specifically standards 2: "The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided," and 9: "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment," National Park Service, "Secretary's Standards for Rehabilitation," n.d., <https://www.nps.gov/tps/standards/rehabilitation.htm>.

To be eligible under *Criterion C*, the Waldman Saloon must retain enough integrity to convey its significance as an example of a settlement-era solid stone building in Saint Paul. The building has undergone numerous changes throughout its history and an extensive renovation is underway. The stone portion of the building was impacted when the building was converted to a residence by 1889; the commercial storefront was filled in with new stone. In 2014 the original fenestration pattern was restored with the removal of the residential facade. While the building retains integrity of design and location, the historic materials on the primary facade were largely lost and reconstructed, resulting in diminished integrity of materials and workmanship. As previously noted, the setting has also changed with the removal of adjacent buildings. These extensive changes result in diminished integrity of materials, workmanship, and setting. The cumulative effect of the extensive ongoing changes is a loss of physical integrity. As a result, the Waldman Saloon is recommended not individually eligible under *Criterion C: Architecture* as an example of a settlement-era stone building in Saint Paul.

Recommendation

The Waldman Saloon is recommended not individually eligible for the National Register.

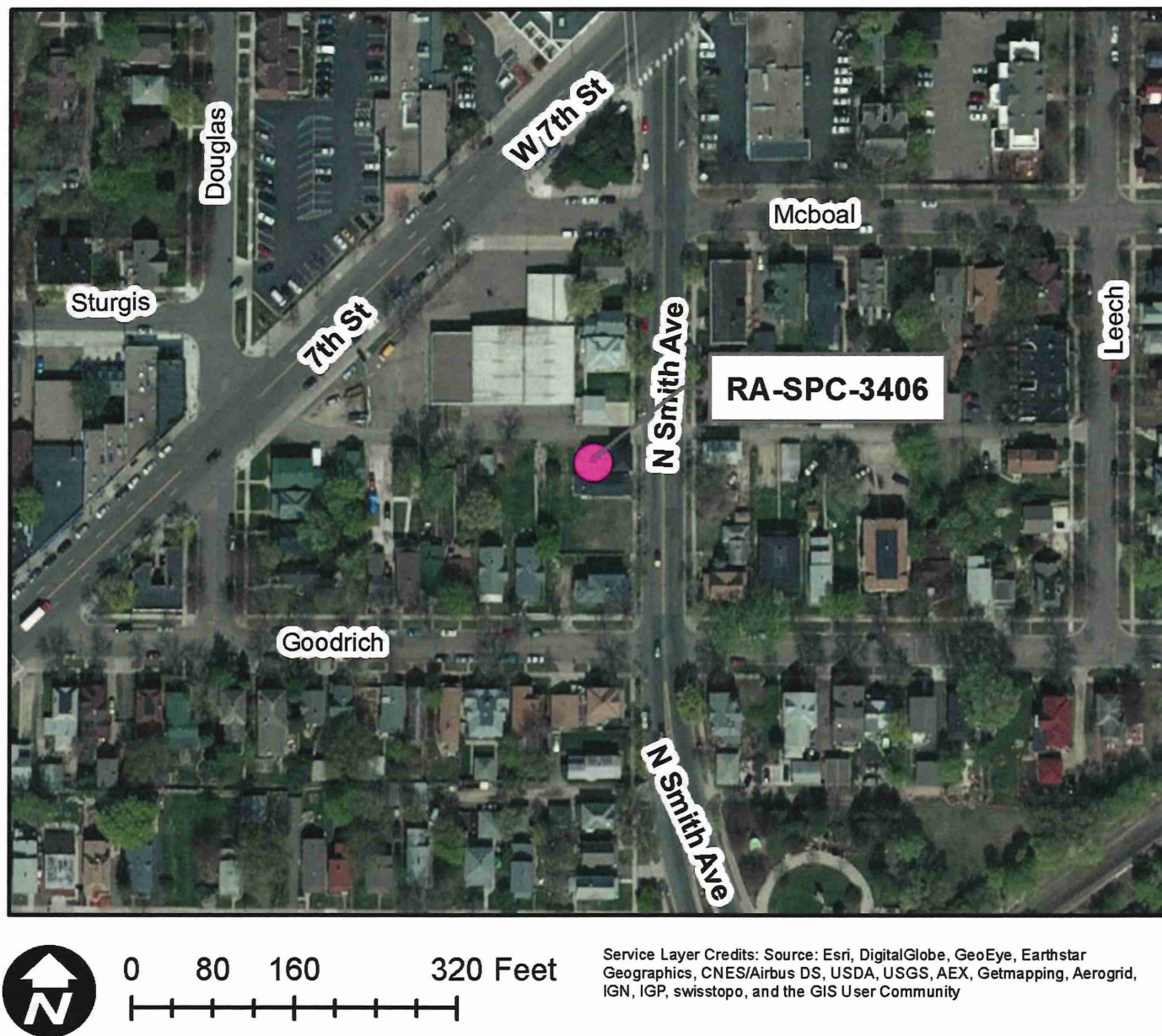


Figure 56. Waldman Saloon location map.

4.4.6 William Heusler House

MnHPO Inventory Number: RA-SPC-5608

Address: 444 Smith Avenue North

City/Township: Saint Paul

Description

The William Heusler House (Heusler House) is located at 444 Smith Avenue North in the W. 7th Street neighborhood of Saint Paul, Ramsey County, Minnesota. The house is located on lot 8 of block 8 of Leech's Addition. The front (west) facade is oriented toward the street (see Figure 57). The surrounding neighborhood is a mixture of other historic-age houses and commercial buildings. The house sits on a small rise and the front yard features a retaining wall interrupted by concrete steps that approach the main entrance. The front and side (south) yards feature grass, a small garden, and deciduous trees. The property is bound by an alleyway along the northern edge and a wire fence along the southern lot line. A gravel parking area is located on the rear (east) portion of the property.



Figure 57. Front (west) facade, view facing east.

The Heusler House is a two-story residence constructed in 1908.¹¹⁴ The house consists of a rectangular block with an enclosed hip-roof porch and a two-story addition on the rear (east) elevation. The front-gable roof is covered in asphalt shingles and features an interior brick chimney and narrow eaves. The walls are clad in vinyl siding and windows are predominantly one-over-one, double-hung, vinyl sash and one-over-one, double-hung, aluminum sash. The house and rear addition rest on a quarry-faced stone foundation covered in cement in places, while the porch rests on a concrete block foundation.

¹¹⁴ Szevich, *Uppertown Survey*.

The front (west) facade is characterized by a front-facing gable that features a jalousie window with wooden sash and an attic vent (see Figure 58). The enclosed hip-roof porch that extends the width of the house dominates the facade. The porch features square, wood, corner posts over a knee wall clad in vinyl siding. The main porch entrance, a modern storm door set asymmetrically in the porch, is flanked by banks of one-over-one, double-hung, aluminum-sash windows.



Figure 57. Side (north) elevation and front (west) facade, view facing southeast.

The side (north) elevation contains two one-over-one, double-hung windows on the first story and two one-over-one, double-hung windows on the second story. The second story windows are not level with one another (see Figure 58 above). Two small, single-light, fixed sash windows are located in the foundation. On the side (south) elevation, three one-over-one, double-hung, vinyl sash windows are asymmetrically placed on the first story and one, one-over-one, double-hung, vinyl sash window is on the second story (see Figure 59).



Figure 59. Side (south) elevation, view facing northeast.

The rear (east) elevation is dominated by a two-story addition (see Figure 60). It appears that a historic-age rear porch was enclosed, with a second-story addition constructed above it. The addition features a hip roof and retains select historic windows. The first story features a six-light, fixed, wood sash window; a single-pane, fixed, wood sash window; and a small, one-over-one, double-hung, vinyl sash window, all with simple wood surrounds. The second story has a one-over-one, double-hung, vinyl sash window.



Figure 60. Rear (east) elevation, view facing west.

The Heusler House is a front-gable vernacular building that does not exhibit characteristic elements of any particular architectural style. Any original architectural features were removed or obscured over time. Alterations include the enclosure of the front and rear porches, the rear second-story addition, and the replacement of original siding and most windows. The loss of original materials, fenestration pattern, decorative details, and most window sashes has resulted in a substantial loss of physical integrity.

History

The Heusler House was an early-twentieth-century addition to the W. 7th Street neighborhood, one of the oldest neighborhoods in Saint Paul. The house is located in Leech's Addition to the neighborhood, which was platted in the 1850s. By the turn of the twentieth century the W. 7th Street neighborhood had largely been developed, with room for infill on select lots (see Figure 61).

Today Smith Avenue North is a busy, tree-lined thoroughfare within a predominantly residential neighborhood that developed between the 1850s through the 1920s. This segment of Smith Avenue features homes that reflect the Federal, Greek Revival, Italianate, Queen Anne, and Craftsman styles, as well as vernacular homes. A mid-nineteenth-century saloon, an early-twentieth-century apartment building, and a former garage are also present along the street. The eclectic mix of styles, periods of construction, and building use seen in this segment of Smith Avenue North reflect the early mixed-use history of the W. 7th Street neighborhood.

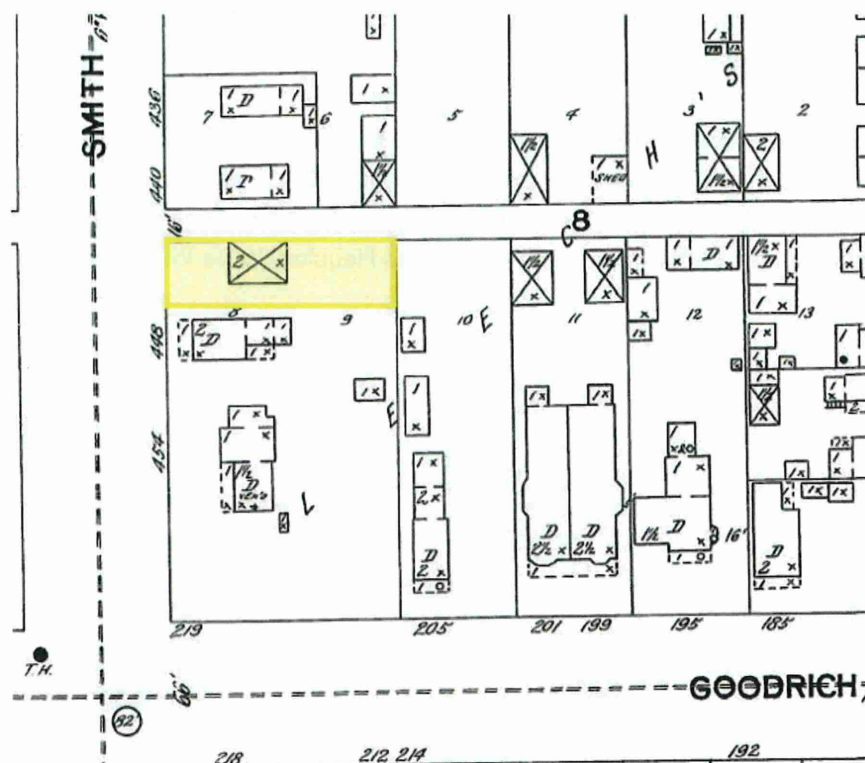


Figure 61. 1903 Sanborn map of Smith Avenue North showing the approximate location of 444 Smith Avenue in yellow.¹¹⁵ Note the outbuilding on the lot likely associated with 444 Smith Avenue North.

Building history and owners

Records provide conflicting information on when the Heusler House was built. While the Ramsey County Property Records for 444 Smith Avenue North indicate a construction date of 1889, the 1903 Sanborn Insurance map shows a stable rather than a house at this location, and the 444 street address is missing from the map (see Figure 61 above).¹¹⁶

A review of available records indicates that the house was actually built in 1908 and is named for its first owner, William Heusler.¹¹⁷ It is unknown if an architect was involved in the design of the house. Heusler did not occupy the residence long, and by 1909 George W. Willis, a policeman, and his wife Mabel, a clerk, lived in the house through 1917. Review of the City Directories suggest that this single family house was split into flats early on. The Palmer family lived in the house from 1911 to 1923 and in 1920 the Clarkin family—Elizabeth, Marie, and Thomas, who were all clerks—lived in the house.¹¹⁸ In 1939 Paulina Blaine lived in the house, and by 1944 Ross Modica, a laborer, and Margaret Miller lived in the

¹¹⁵ "Sanborn Insurance Map of Saint Paul, Minnesota" (Saint Paul, Minnesota: Sanborn Map Company, 1903 revised through 1925), sheet 24.

¹¹⁶ "Ramsey County Interactive Property Map."

¹¹⁷ Sazevich, *Uppertown Survey*.

¹¹⁸ Review of 444 Smith Avenue North in *Saint Paul City Directories* from the years 1908-1995, *Ancestry.com*.

house. Little is known of later-twentieth-century residents.¹¹⁹ Since 1991 Richard P. Haus and Anna M. Kobett have owned the Heusler House.¹²⁰

Early changes to the house include the enclosure of the historic rear porch and the associated second-story addition, both visible on early Sanborn maps (see Figure 62). The front porch appears to have been enclosed by the 1960s or 1970s. At some point the house to the south, 448 Smith Avenue North, was moved or razed and the vacant lot was combined with the Heusler House lot, which created the large side yard (see Figure 63).

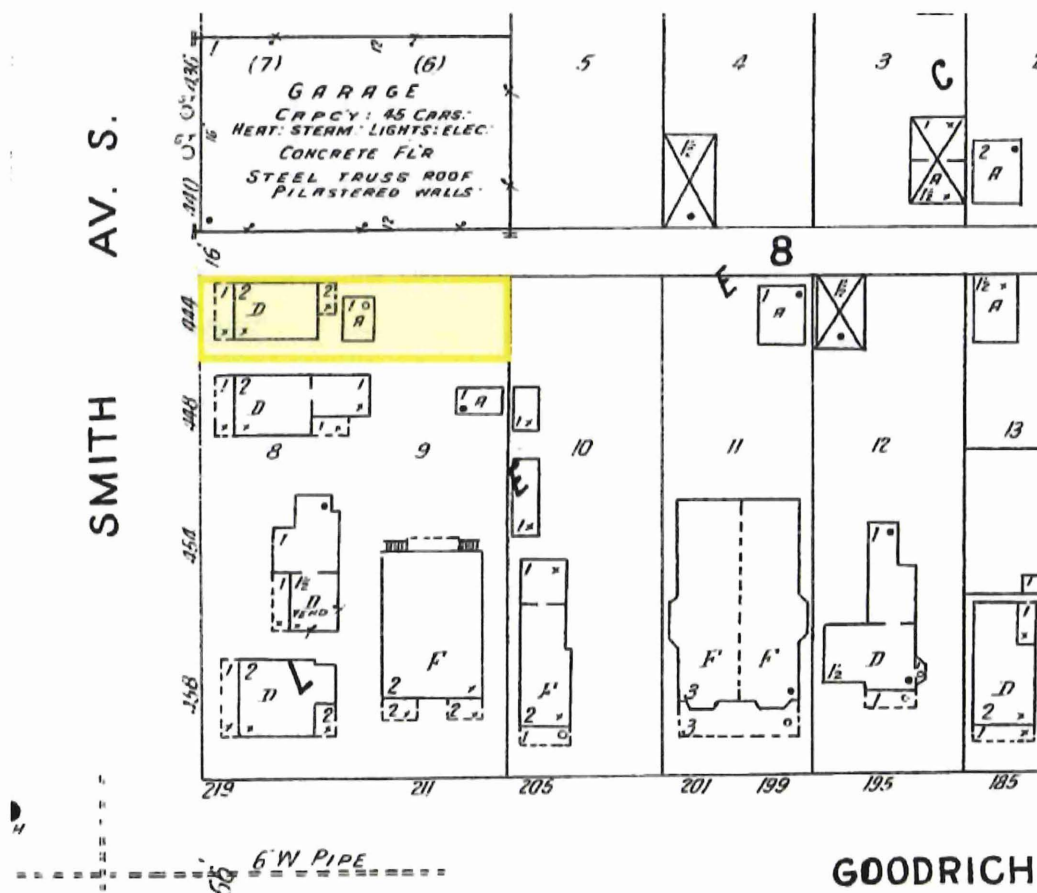


Figure 62. 1926 Sanborn map showing 444 Smith Avenue North in yellow.¹²¹

¹¹⁹ Review of 444 Smith Avenue North in Saint Paul City Directories from the years 1908-1995, *Ancestry.com*.

¹²⁰ "Ramsey County Interactive Property Map."

¹²¹ "Sanborn Insurance Map of Saint Paul, Minnesota" (New York: Sanborn Map Company, 1926), sheet 92.

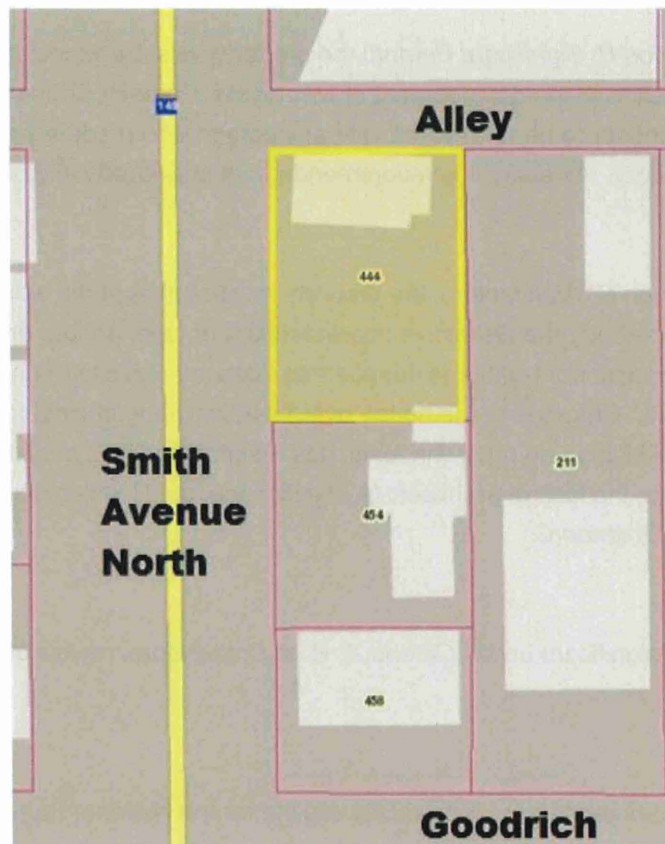


Figure 63. A current plat map of 444 Smith Avenue North shown in yellow. Note the extension of the lot to the south.¹²²

Changes to the house in recent years include the replacement of original siding with vinyl siding and the replacement of most original windows with one-over-one, double-hung, vinyl sash.

Evaluation

The Heusler House is a contributing building within the National Register-eligible Uppertown Historic District in Saint Paul. As a result of MnDOT's improvement project, National Register eligibility evaluations were conducted for contributing resources within the district. The Heusler House was evaluated for individual listing in the National Register under *Criteria A, B, and C*.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history, as well as demonstrate that the event was important to the development of Minnesota, Ramsey County, or Saint Paul. Research did not reveal significant historic events that occurred at the Heusler House, nor does it represent early settlement patterns. Therefore, the Heusler House is recommended not individually eligible for the National Register under *Criterion A*.

¹²² "Ramsey County Interactive Property Map."

Criterion B

To be eligible under *Criterion B: Significant Person*, the property must be associated with a person who made a significant contribution to the development of Minnesota, Ramsey County, or Saint Paul. The Heusler House does not appear to be associated with any person who made a significant contribution to local, regional, or state history. As such, it is recommended not individually eligible under *Criterion B*.

Criterion C

To be eligible under *Criterion C: Architecture*, the property must represent the work of a master, possess high artistic value, and/or embody the distinctive characteristics of type, period, or method of construction. The Heusler House is a modest front-gable residence that does not exhibit strong features of any particular architectural style. Changes to the house over time, including enclosing the original porch and replacement of the original siding and most windows, has resulted in a loss of historic fabric and architectural details. Due to the lack of architectural significance, the Heusler House is recommended not individually eligible under *Criterion C*.

Integrity

The Heusler House is not significant under *Criteria A, B, or C*; therefore, review of integrity is not warranted.

Recommendation

The Heusler House is recommended not individually eligible for the National Register under *Criteria A, B, or C*.



Figure 64. Heusler House location map.

4.4.7 Avery Ward Adams House

MnHPO Inventory Number: RA-SPC-3407

Address: 454 Smith Avenue North

City/Township: Saint Paul

Description

The Avery Ward Adams House (Adams House) is located at 454 Smith Avenue North, in the W. 7th Street neighborhood of Saint Paul, Ramsey County, Minnesota. The house is located on lot 8 of block 8 of Samuel Leech's Addition. The front (west) facade is oriented toward the street (see Figure 65). The house is surrounded by other historic-age residential homes, and a nineteenth-century saloon is located across the street. The house sits on a small rise and the lot features a concrete block retaining wall and concrete steps at the sidewalk with a stone path extending to the entrance. The front yard is landscaped with perennials and evergreen and deciduous trees.



Figure 65. Front facade of the Adams House, view facing east.

The brick portion of the Adams House was constructed in 1854 and consists of a one-and-one-half-story, broadside (side-gable), Greek Revival style house.¹²³ A one-story frame addition on the side (north) elevation was constructed in 1855 and features a hip roof.¹²⁴ The roofs are clad in asphalt shingles. Windows are predominantly six-over-six, double-hung, wood sash with original glazing. The house features common bond on the brick portion and narrow wood clapboard siding on the frame addition. The foundation is stone.

¹²³ The term "broadside" describes the orientation of the plan, and typically refers to a side-gable orientation where the flat or "broad" eaves are on the main facade.

¹²⁴ Patrick Nunnally, *National Register of Historic Places Nomination Draft, Bridge 4667* (Saint Paul, Minn., 1994).

The front (west) facade is characterized by the prominent friezeboard with dentils that extends the width of the symmetrical brick portion (see Figures 66 and 67). The corbelled chimney is centrally located on the ridgeline over the main entrance, a vertical wood-plank door. Original six-over-six, double-hung, wood-sash windows flank the main entrance and feature flat arches and stone sills. A loft window is located over the south double-hung window (see Figure 68).

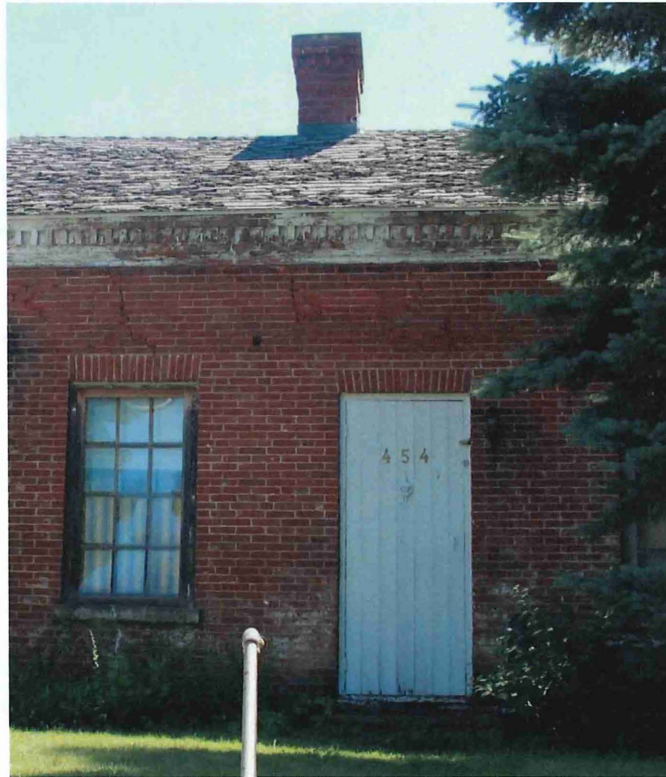


Figure 66. Detail of front (west) facade entrance. Note the dentil detail on the cornice.



Figure 67. North and west elevations.



Figure 68. 2006 Image of front facade showing loft window under the friezeboard. Today the window is largely obscured by vegetation.¹²⁵

¹²⁵ Hess and Larson, *St. Paul's Architecture*. Photo by Paul Larson.

The side (north) elevation features a brick cornice detail in the gable end (see Figure 69). This detail features alternating colored bricks, header, and stretcher rows of bricks. The double-hung, wood sash window in the gable end features a flat arch. This elevation is dominated by a frame addition. The addition extends to the west and features a hip roof, a design that maximizes light reaching the window in the gable end. The addition features narrow eaves, a simple cornice, end boards, and a six-over-six, double-hung, wood sash window with simple wood surround. A vertical wood plank door is centrally located on this elevation. A one-over-one, double-hung, wood sash window is located on the southern wall of the addition (see Figure 70).



Figure 69. Side (north) elevation, view facing southeast.



Figure 70. Addition on north elevation, view facing northeast.

Due to limited access to the site and overgrown vegetation, the side (south) and rear (east) elevations are not visible. The interior plan of the brick portion features two rooms downstairs, two sleeping rooms upstairs, and a staircase. The frame addition houses a kitchen.¹²⁶

A small, frame, c.1970 shed is located along the north edge of the lot (see Figure 71). The hip roof is clad in asphalt shingles and the walls are clad in vertical wood planks. Windows are one-over-one, double-hung, wood sash with simple wood surrounds.

¹²⁶ Sazevich, Interview with Mead & Hunt, Inc.



Figure 71. West elevation of shed, view facing east.

This house exhibits muted features of a broadside Greek Revival style building. Broadside Greek Revival is distinguished by a side gable plan that features a prominent central entrance flanked by windows in a symmetrical pattern.¹²⁷ The Adams house exhibits these traits, including six-over-six windows commonly seen in this style, as well as the Greek-inspired cornice details in wood and brick.

This home is modest in scale and detail, partly due to its period of construction. During the settlement era in Saint Paul, roughly from the 1840s through the Civil War, smaller and more modest homes were built than in subsequent eras of prosperity. In addition, physical evidence suggests the base structure served as a temporary dwelling that was to become the kitchen wing of a larger house to be built by Adams. The south wall, although largely obscured by vegetation, is devoid of decoration, and a home built onto this elevation would have had unobstructed views of the river at the time.¹²⁸ The 1855 addition, although unsympathetic to the base structure, is almost as old. The Adams House is representative of broadside Greek Revival and settlement-era architecture in Saint Paul.

As a whole, the Adams House retains excellent integrity and modest characteristics of the broadside Greek Revival architectural style. The house retains the 1855 massing, and original roofline, fenestration patterns, wall materials, windows, doors, and cornice details. A turn-of-the-century enclosed porch that had been added to the west elevation has been removed and a non-historic loft window on the south elevation has been bricked in. Otherwise the house is largely unaltered.

¹²⁷ Charles Nelson, "Early Architecture of Minnesota," *Tech Talk, Minnesota's Architecture*, January 1999, <http://www2.mnhs.org/about/publications/techtalk/TechTalkJanuary1999.pdf>.

¹²⁸ Sazevich, Interview with Mead & Hunt, Inc.

History

From a historical perspective, the Adams House is best understood as a settlement-era home in Saint Paul, which describes the period from 1849, when the town was incorporated, through the close of the Civil War in 1865.¹²⁹ The Adams House is located on Smith Avenue North within the W. 7th Street neighborhood of Saint Paul, one of the city's earliest neighborhoods. When constructed in 1854, the Adams House was one of a few homes built along Ford Road (which became Smith Avenue North) at the edge of town. Expansion in Saint Paul was largely suspended during the Civil War, but in the latter decades of the nineteenth century lots around the Adams House filled in within the W. 7th Street neighborhood. As Saint Paul grew and matured, many settlement-era buildings were lost to development.

Today Smith Avenue North is a busy, tree-lined thoroughfare within a predominantly residential neighborhood that developed between the 1850s through the 1920s. This segment of Smith Avenue features homes that reflect the Federal, Greek Revival, Italianate, Queen Anne, and Craftsman styles, as well as vernacular homes. A mid-nineteenth-century saloon, an early-twentieth-century apartment building, and a former garage are also present along the street. The eclectic mix of styles, periods of construction, and building use seen in this segment of Smith Avenue North reflect the early mixed-use history of the W. 7th Street neighborhood.

Building history and owners

Leech's Addition was platted in 1849. In 1852 Avery Ward Adams (1826-1895) and his wife Emma (1833-1890) emigrated from Goshen, Massachusetts. Adams was the great nephew of John Quincy Adams and was a mason by trade.¹³⁰ In 1854 Adams acquired a parcel of land on the edge of town and built the one-and-one-half-story brick house. The frame addition was likely constructed in 1855, when the house was sold to J.L. Rorison for \$850. In June 1855 Adams purchased the house back from Rorison.¹³¹

Historic trends support that the initial portion of the Adams House was likely intended to become a kitchen wing of a larger house to be constructed on the south elevation. Later in 1855 the couple, expecting their first child, became concerned with a Cholera outbreak in the area. At the same time they found a new opportunity in Clinton Falls, Minnesota, through a government land grant. Once relocated, Adams built a similar small brick house on their new land, and by 1860 had completed a large two-story stone house addition.¹³²

The Adams House changed hands five times between 1855 and 1858, possibly due to the financial panic of 1857. From 1858 to 1968 the property was owned by Israel Harris of Warren County, New Jersey, who rented the property. By 1860 Captain Charles Koch was a tenant. He was injured in the Civil War, and

¹²⁹ Zellie and Peterson, *Historic Context Study, Pioneer Houses: 1854-1880*.

¹³⁰ Sazevich, Interview with Mead & Hunt, Inc.

¹³¹ Nunnally, *National Register of Historic Places Nomination Draft, Bridge 4667*.

¹³² Sazevich, Interview with Mead & Hunt, Inc.

subsequently died in the house in 1863.¹³³ The lot to the south (458 Smith Avenue North) was developed in the early twentieth century and is not associated with the Adams House (see Figure 72).

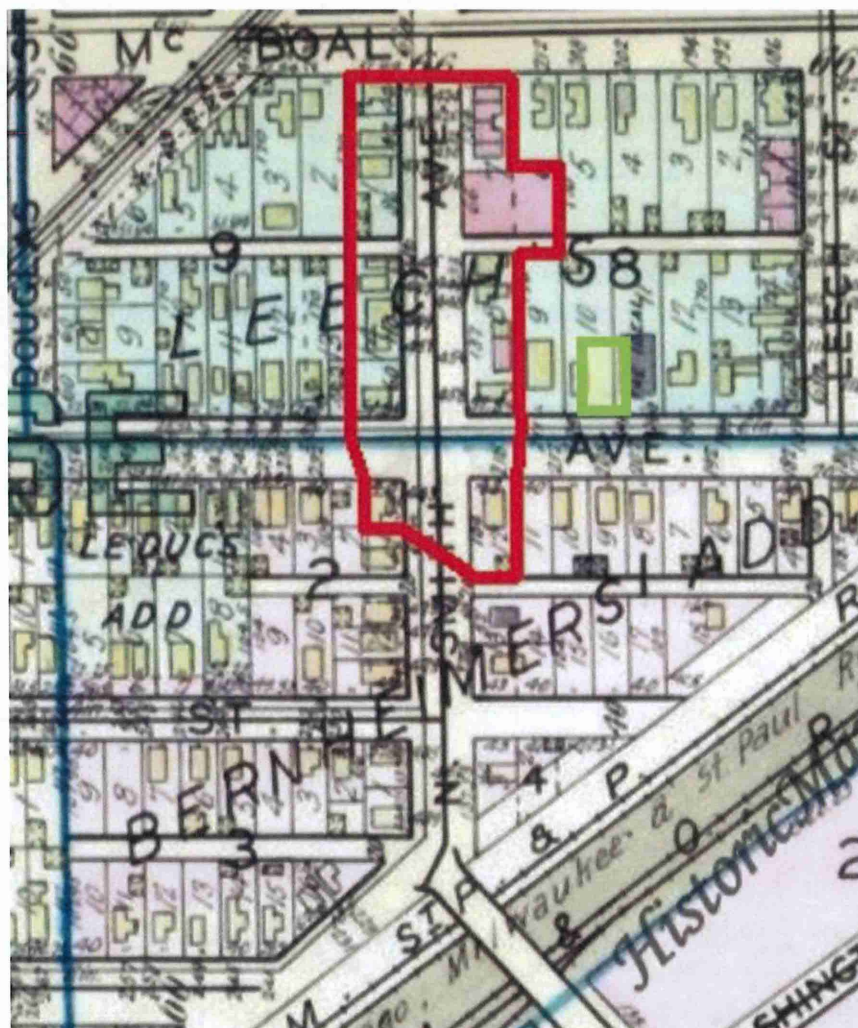


Figure 72. 1928 (updated to 1959) map of Smith Avenue North between McBoal Street and the Smith Avenue High Bridge (shown in red).¹³⁴ The Adams House is shown in green.

From 1868 to the present day the Adams House has changed owners four times and is currently owned by James Sazevich.¹³⁵ This may account for the limited number of alterations that have occurred over time. A shed was constructed along the north lot line, and a frame porch added to the west elevation prior to 1900 was subsequently enclosed and eventually removed (see Figures 73 and 74). Other than the removal of the enclosed porch and a non-historic loft window, the house is largely unaltered.¹³⁶

¹³³ Sazevich, Interview with Mead & Hunt, Inc.; Nunnally, *National Register of Historic Places Nomination Draft, Bridge 4667*.

¹³⁴ G.M. Hopkins Co., "C.L. Real Estate Atlas of the City of Saint Paul, Minnesota."

¹³⁵ Sazevich, Interview with Mead & Hunt, Inc.

¹³⁶ Nunnally, *National Register of Historic Places Nomination Draft, Bridge 4667*.



Figure 73. 1936 image of the pre-1900 porch on the front facade of the Adams House.¹³⁷



Figure 74. 1961 image of Adams House with the enclosed late-nineteenth-century porch.¹³⁸

¹³⁷ Image courtesy of the Minnesota Historical Society, Saint Paul, Minn., ID 66097.

¹³⁸ Image courtesy of the Minnesota Historical Society, Saint Paul, Minn., ID62276.

The Greek Revival style

The Adams House has modest features of the Greek Revival style, popular from the 1830s to the 1860s. Characteristic features of the style include triangular pedimented gables, heavy friezeboard, pilasters at corners, principal entrances with sidelights and transoms, and six-over-six, double-hung, sash windows. Where a porch is present, the posts are in the form of classical columns. The Greek Revival style is seen in three basic plans: the gable-end, the gable ell, and the broadside.¹³⁹ The Adams House exhibits muted elements of a broadside Greek Revival house. Characteristic details of this plan include a side-gable orientation where the flat or “broad” eaves are on the main facade. Broadside Greek Revival is distinguished by a prominent central entrance flanked by six-over-six, double-hung, sash windows in a symmetrical pattern. The Greek Revival style was popular in Saint Paul and nationally before the Civil War, and examples can be found in the Irvine Park, Uppertown, and W. 7th Street neighborhoods.

Evaluation

The Adams House is a contributing building within the National Register-eligible Uppertown Historic District in Saint Paul. As a result of MnDOT's improvement project, National Register eligibility evaluations were conducted for contributing resources within the district. The Adams House was evaluated for individual listing in the National Register under *Criteria A, B, and C*.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history, as well as demonstrate that the event was important to the development of Minnesota, Ramsey County, or Saint Paul. Avery Ward Adams and his wife Emma emigrated from Goshen, Massachusetts, in 1852. In 1854 Adams obtained a lot within Leech's Addition at the edge of Saint Paul and built a small brick house. Physical and historic evidence support that the brick house was intended to be a temporary dwelling that would serve as a kitchen for a much larger house to be constructed by Adams. The plain unadorned brick and lack of gable window on the south side suggests an addition was planned on this elevation. Additionally, the small brick house was built at the north end of the lot, allowing maximum room for a large house to be constructed on the south elevation that would face the river. The finished house was never executed because Adams and his wife left Saint Paul for another land claim. However, upon arrival in Clinton Falls, Minnesota, Adams constructed another small brick house on their new pioneer homestead. By 1860 he had constructed a handsome stone house and the original brick house had become the kitchen dependency.¹⁴⁰

The Adams House is unique as a surviving first-stage structure of a planned larger home that was never realized. As a transitional home constructed during a period of great local population growth, this house reflects pioneer building practices. Adams provided immediate modest shelter while plans were in place to expand the home when circumstances allowed. This pattern of building also occurred across Smith Avenue in the construction of the Anthony Waldman Saloon (445 Smith Avenue North, see Section

¹³⁹ Nelson, “Early Architecture of Minnesota,” 5–6.

¹⁴⁰ Sazevich, Interview with Mead & Hunt, Inc. The house Avery Ward Adams built in Clinton Falls, Minnesota, is nonextant. It was lost in a fire in the 1970s.

4.4.5). The frame portion on the west elevation was actually built prior to the much larger stone portion that is now the primary block facing Smith Avenue.

Settlement-era homes in Saint Paul have become rare as subsequent development has greatly diminished the housing stock from this period. As a result, the Adams House is one of the oldest extant homes in Saint Paul, and the fourth oldest of brick construction. In addition, many of the oldest homes have been subjected to a great deal of change over time. Of the seven settlement-era homes older than the Adams House, four have been moved and several have been substantially altered (see Table 4 for a summary of the 10 oldest houses in Saint Paul). The Adams House, by comparison, has not undergone significant change over time and largely retains the 1855 massing and original materials, roofline, windows, architectural details, and setting. As such, the Adams House clearly reflects its period of significance of 1854-1855, which correspond to the construction dates.

Table 4. Saint Paul's Oldest Houses¹⁴¹

Name	Built	Address	Material	Status
Charles Symonds	1850	234 Ryan Street	Frame	Moved, altered interior and exterior
Humphrey-Willis	1851	240 Ryan Street	Frame	Original site, 1885 remodel
Wright-Pendergast	1851	223 Walnut Street	Frame	Original site, 1906 remodel
Parker-Marshall	1852	30 Irvine Park	Frame	Moved twice
Benjamin Brunson	1852	485 Kennedy Road	Brick	Original site, stuccoed
Cyrus Eaton	1853	53 Irvine Park	Brick	Moved
Simpson-Wood	1853	32 Irvine Park	Brick	Moved, altered interior and exterior
Avery Ward Adams	1854	454 Smith Ave N.	Brick	Original site, largely unaltered
William Dahl	1858	508 Jefferson Street	Frame	Moved, altered exterior
Anton Haas	1858	493 Hopkins Street	Frame	Original site, greatly altered, second story added

The Adams House is significant as a rare and intact example of a settlement-era building in Saint Paul and is recommended individually eligible under *Criterion A*.

Criterion B

To be eligible under *Criterion B: Significant Person*, the property must be associated with a person who made a significant contribution to the development of Minnesota, Ramsey County, or Saint Paul. Research has shown that Avery Ward Adams built the house in 1854. Adams, as the great-nephew of John Quincy Adams, is from a family that is prominent in American political history. However, Avery Ward Adams was a mason by trade who did not contribute significantly to local, state, or national political history. In addition, Adams only resided in Saint Paul from roughly 1852 until 1855, and did not make a significant contribution to the development of the city during that period.

¹⁴¹ Information compiled by James Sazevich, historian and current owner of 454 Smith Avenue North.

Section 4

Results

Research did not reveal that any of the subsequent residents played a significant role in local, state, or national history. The house was occupied by Charles Koch and his wife Christina by 1860. Koch, a Captain in the Union Army, became an early casualty of the Civil War in 1863. Based on research, Koch did not make a significant contribution to the history of Saint Paul, the region, or the nation. Due to the lack of association with persons significant to national, state, or local history, this house is recommended not individually eligible under *Criterion B*.

Criterion C

To be eligible under *Criterion C: Architecture*, the property must represent the work of a master, possess high artistic value, and/or embody the distinctive characteristics of type, period, or method of construction. The Adams House was evaluated as a representative example of broadside Greek Revival architecture. For a resource to be eligible it must clearly exhibit enough characteristics to be considered a true representative example of the style. While the Adams House does exhibit some characteristic elements, such as the symmetrical front facade, prominent friezeboard with dentils, and ornamental brick in the gable end, these details are modest and limited in their expression. In addition, the Adams House was intended to be a wing of a much grander residence. A finished Greek Revival house would better represent the style. Due to the lack of architectural significance, this house is recommended not individually eligible under *Criterion C*.

Integrity

To be eligible as an example of a settlement-era house, the Adams House must clearly reflect its period of significance. With the removal of the late-nineteenth-century enclosed porch, the building has been returned to its 1856 massing. In addition, the house retains its original materials, roofline, fenestration patterns, windows, and setting. Due to relatively unaltered state of the Adams House, it has a high degree of physical integrity and reads as a modest settlement-era house in Saint Paul.

Recommendation

The Adams House is recommended individually eligible for the National Register under *Criterion A: History* as a representative example of a settlement-era home in Saint Paul. The period of significance is 1854, which corresponds to the construction commencement.

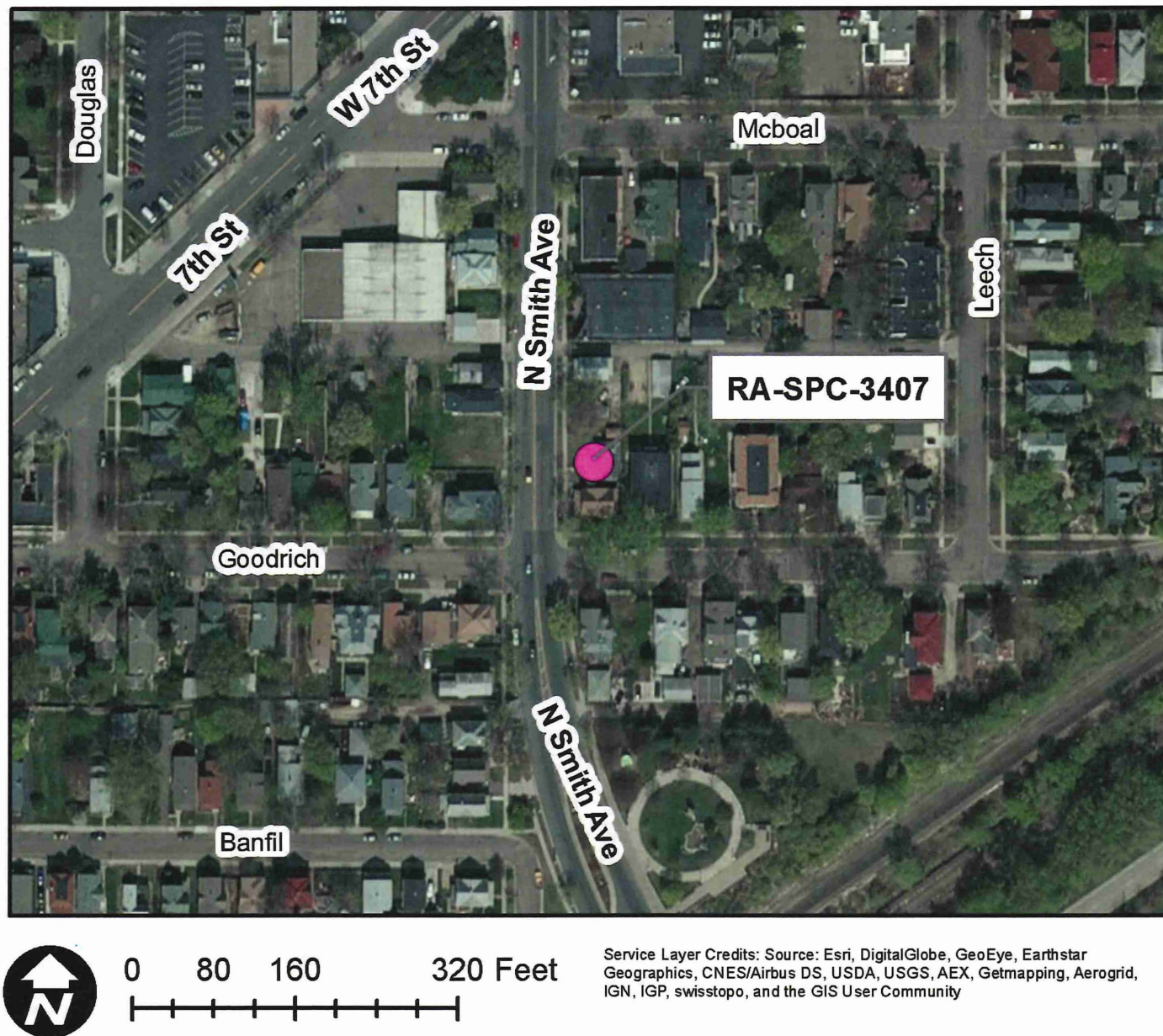


Figure 75. Adams House location map.

4.4.8 Benjamin J. Haag House

MnHPO Inventory Number: RA-SPC-5612

Address: 458 Smith Avenue North

City/Township: Saint Paul

Description

The Benjamin J. Haag House (Haag House) is located at 458 Smith Avenue North, at the northeast corner of the intersection with Goodrich Avenue, in the W. 7th Street neighborhood of Saint Paul, Ramsey County, Minnesota. The house is located on lot 8 within block 8 of Leech's Addition. The front (west) facade is oriented toward the street (see Figure 76). The surrounding neighborhood contains a variety of historic-age homes. The house sits on a flat lot and the surrounding yard is grassy, with several large deciduous and coniferous trees. The side (north) and rear (east) yards feature concrete block retaining walls.



Figure 76. Front (west) facade and side (south) elevation of the Haag House, view facing northeast.

The Haag House is a two-and-one-half-story frame residence with a rectangular plan that was constructed in 1911.¹⁴² The house has an enclosed hip-roof porch on the front (east) facade and a one-story, hip-roof bay on the side (south) elevation (see Figures 76 and 77). The cross-gable roof is covered in asphalt shingles and features eave returns at the corners. A corbelled brick chimney is centrally located. The walls are clad in asbestos shingles and the windows are predominantly one-over-one, double-hung, vinyl or metal sash. The house rests on a limestone block foundation.

¹⁴² Sazevich, *Uppertown Survey*.

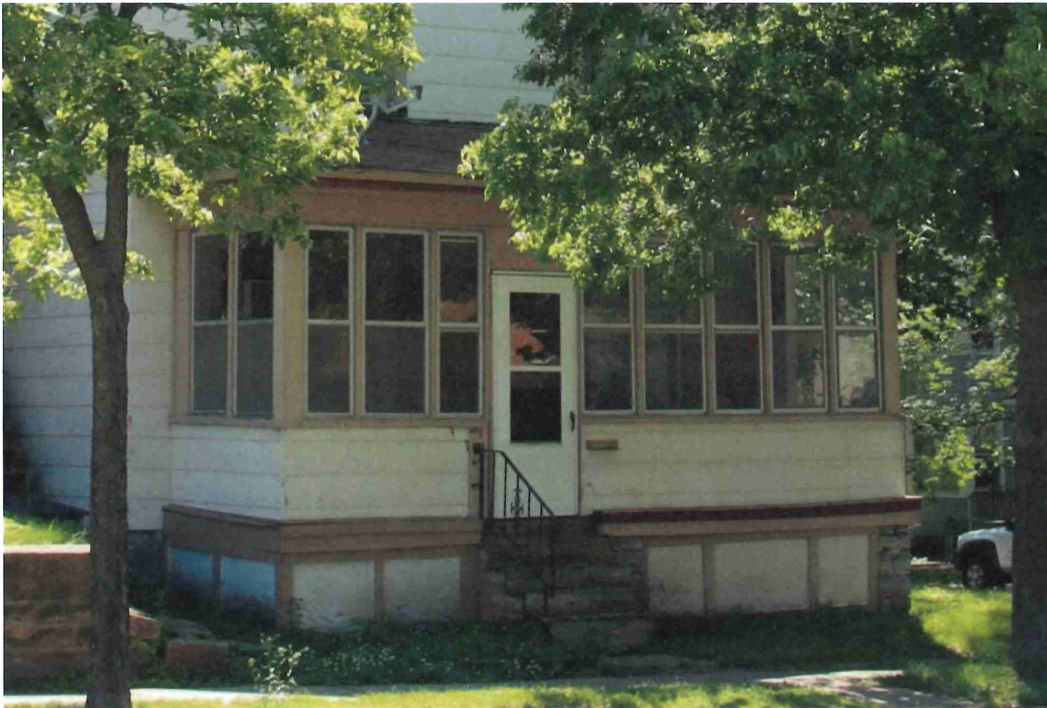


Figure 77. Detail of enclosed porch on front (west) facade, view facing southeast.

The front (west) facade is dominated by an enclosed one-story porch that spans the length of the building. The hip-roof porch features square corner posts resting on a frame knee wall. Banks of one-over-one, double-hung, metal sash windows flank an asymmetrically placed door. The second story features two, one-over-one, double-hung windows, and a single-pane, fixed sash window is located in the gable end, all with simple wood surrounds (see Figure 78).



Figure 78. Detail of second story and gable windows.

The side (north) elevation is largely obscured by vegetation (see Figure 79). A pair of one-over-one, double-hung, metal sash windows with a simple wood surround is visible on the first story. A modern exterior wood staircase leads to a secondary entrance that consists of a modern metal door. A one-over-one, double-hung, metal sash window is visible on the second story and a single-pane, fixed sash window is in the gable end, all with simple wood surrounds.



Figure 79. Side (north) elevation, view facing southeast.

The side (south) elevation is partially obscured by foliage (see Figure 80). The most prominent feature on the first floor is a hip-roof bay with muted classical detailing (see Figure 81). The bay features a wide frieze over a central picture window with transom flanked by one-over-one, double-hung, metal sash windows. Two small, rectangular, fixed sash windows are located on the first floor, one on each side of the bay window. The southeast corner features a corner board pilaster. Windows set within the foundation are single-pane and three-pane wood sash, while one window is boarded with plywood. The second story features two, one-over-one, double-hung, vinyl sash windows set within reduced window openings, and a single-pane, fixed sash window is in the gable end, all with the simple wood surrounds.



Figure 80. Side (south) elevation, view facing north.

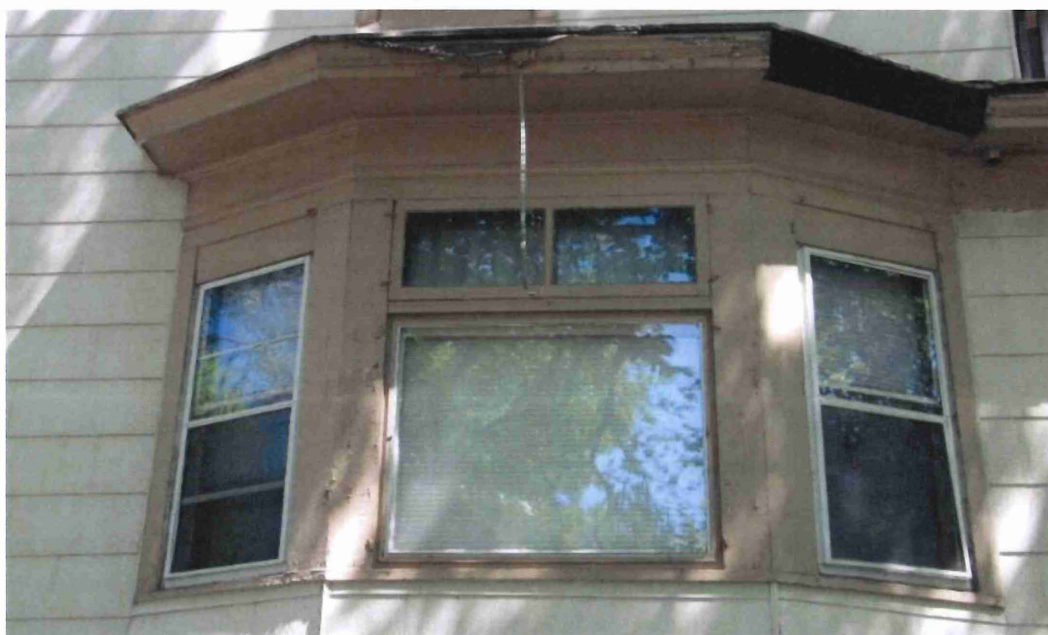


Figure 81. Detail of bay, view facing north.

The rear (east) elevation features two small, one-over-one, double-hung, metal sash windows on the first story (see Figure 82). A second-story porch spans the width of the building. The hip roof, which features wide eaves and a plain frieze, is supported by slender square columns and features a wood balustrade. Features set within the porch include a one-over-one, double-hung, metal sash window and an entry door

providing access to the porch. A single-pane, fixed sash window with simple wood surround is located in the gable end.



Figure 82. Rear (back) elevation, view facing northwest.

The Haag House exhibits a limited number of muted, classically inspired architectural details. These include the eave returns in the gables, corner pilaster, and frieze on the bay window and second-story porch. However, these details are modest and limited in their expression. In addition, alterations to the building over time have obscured strong reference to a particular architectural style. The enclosure of the front porch, replacement of original siding, and replacement of most windows all represent a loss of original fabric, which further conceal the original architectural style. Alterations to the Haag House have resulted in a loss of physical integrity.

History

The Haag House was an early-twentieth-century addition to the W. 7th Street neighborhood, one of the oldest neighborhoods in Saint Paul. The house is located in Leech's Addition, which was platted in the 1850s. By the turn of the twentieth century the W. 7th Street neighborhood had largely been developed, with room for infill on select lots (see Figure 83). Construction was robust through the 1920s, with Colonial Revival and Craftsman style dwellings gaining favor in the Uppertown and W. 7th Street neighborhoods.

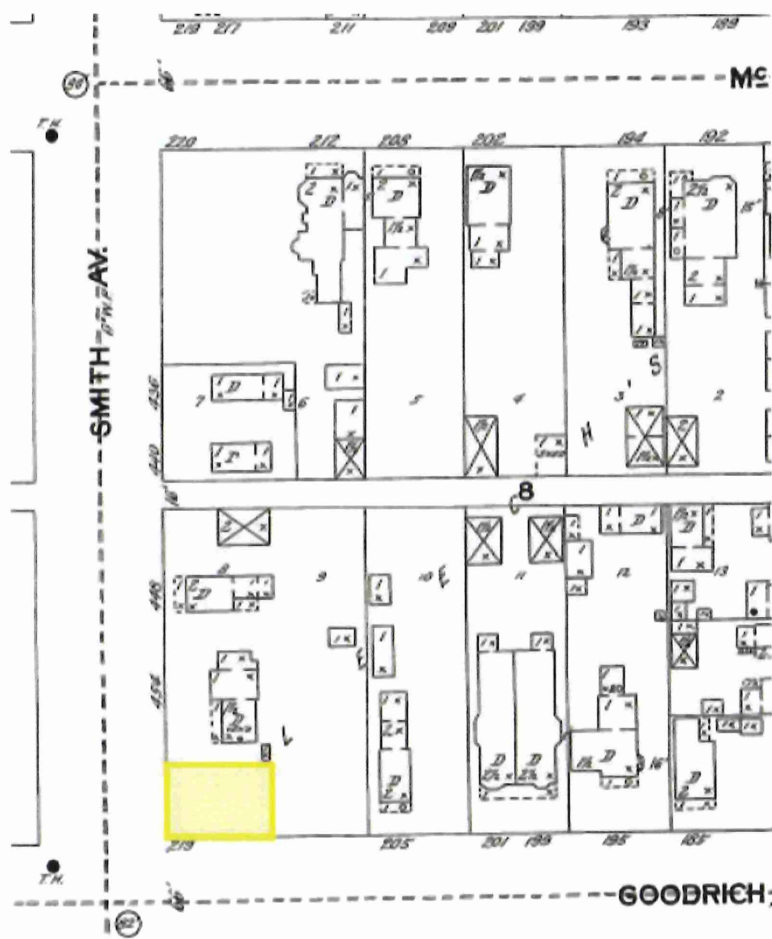


Figure 83. 1903 Sanborn map showing the east side of Smith Avenue North.¹⁴³ Note the unimproved lots along the street including the future site of the Haag House shown in yellow.

Today Smith Avenue North is a busy, tree-lined thoroughfare within a predominantly residential neighborhood that developed between the 1850s through the 1920s. This segment of Smith Avenue features homes that reflect the Federal, Greek Revival, Italianate, Queen Anne, and Craftsman styles, as well as vernacular homes. A mid-nineteenth-century saloon, an early-twentieth-century apartment building, and a former garage are also present along the street. The eclectic mix of styles, periods of construction, and building use seen in this segment of Smith Avenue North reflect the early mixed-use history of the W. 7th Street neighborhood.

Building history and owners

The Haag House was constructed in 1911 at a cost of \$2,500 and is named for its first owner, Benjamin J. Haag.¹⁴⁴ It is unknown if an architect was involved in the design of the house. Little is known of Benjamin Haag or subsequent occupants. Based on city directory research, it appears the house may have had an apartment or been converted into two residential units around 1912. In 1912 telephone operator Dennis Galvin and his wife Julia, a seamstress, lived in the house. Anna Galvin, who worked as

¹⁴³ "Sanborn Insurance Map of Saint Paul, Minnesota," revised through 1925 1903.

¹⁴⁴ Sazevich, *Uppertown Survey*.

a clerk, resided here with the family through 1915. From 1918 to 1924 Lloyd Harding, who worked as an electrician, lived in the house. The Reuscher family also made 458 Smith Avenue North home between 1919 and 1925. Joseph Reuscher worked as a janitor, while his wife Josephine worked as a clerk. A series of occupants resided in the home between the mid-1920s and 1950s.¹⁴⁵ Little is known of late-twentieth-century residents of the house. The current owner, Kevin J. Ayotte, has resided in the home since the early 1990s.¹⁴⁶ Figure 84 shows the house on a 1926 Sanborn map.

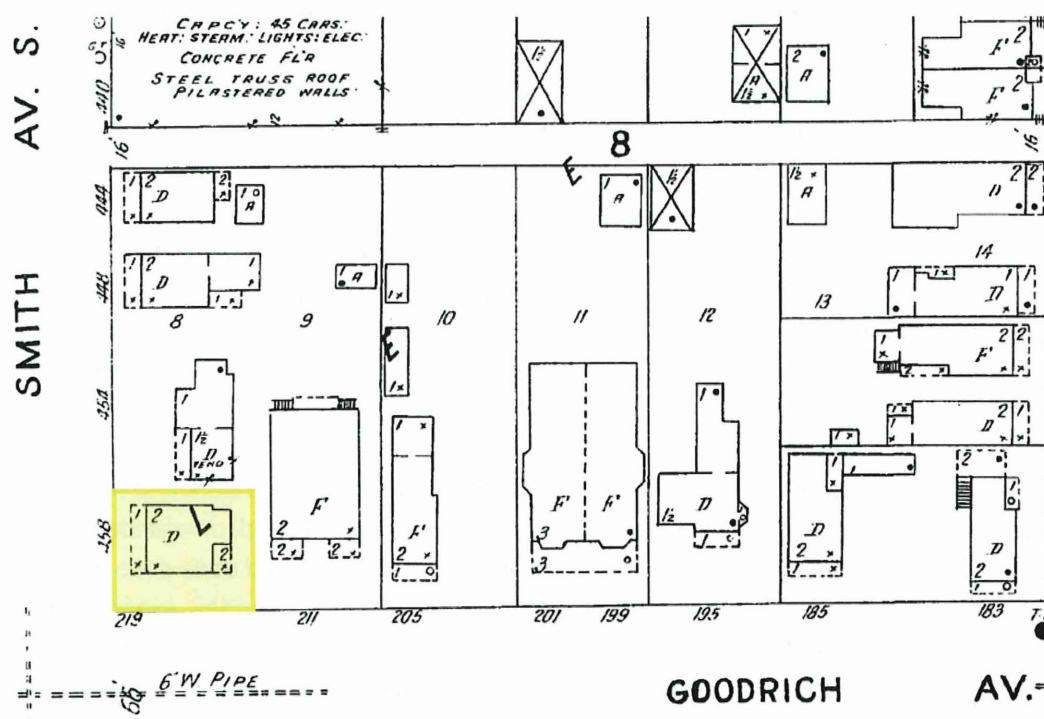


Figure 84. 1926 Sanborn map showing 458 Smith Avenue North in yellow.¹⁴⁷

The Haag House was converted from a single-family residence to a duplex by 1912.¹⁴⁸ Other early changes to the property include the asbestos shingle siding, which was likely installed sometime between the 1930s and the late 1960s. The metal windows seen on the enclosed front porch and the body of the house were likely installed in the 1970s. More recent alterations include the installation of select vinyl windows, which likely occurred in the 1990s or later. Other modifications include the exterior staircase and the modern, metal, secondary entry door on the side (north) elevation of the house.

Evaluation

The Haag House is a contributing building within the National Register-eligible Uppertown Historic District in Saint Paul. As a result of MnDOT's improvement project, National Register eligibility evaluations were

¹⁴⁵ Review of 458 Smith Avenue North in Saint Paul City Directories from the years 1911-1995, *Ancestry.com*.

¹⁴⁶ Sazevich, *Uppertown Survey*.

¹⁴⁷ "Sanborn Insurance Map of Saint Paul, Minnesota" (New York: Sanborn Map Company, 1926).

¹⁴⁸ "Ramsey County Interactive Property Map."

conducted for contributing resources within the district. The Haag House was evaluated for individual listing in the National Register under *Criteria A, B, and C*.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history, as well as demonstrate that the event was important to the development of Minnesota, Ramsey County, or Saint Paul. From 1911 to the present the Haag House has served as a residence within the W. 7th Street neighborhood, and was converted to a duplex by 1912. Research did not reveal any event significant in the history of Minnesota, Ramsey County, or Saint Paul that occurred at the house. Therefore, the Haag House is recommended not individually eligible for the National Register under *Criterion A*.

Criterion B

To be eligible under *Criterion B: Significant Person*, the property must be associated with a person who made a significant contribution to the development of Minnesota, Ramsey County, or Saint Paul. The Haag House does not appear to be associated with any person who made a significant contribution to local, regional, or state history. As such, it is recommended not individually eligible under *Criterion B*.

Criterion C

To be eligible under *Criterion C: Architecture*, the property must represent the work of a master, possess high artistic value, and/or embody the distinctive characteristics of type, period, or method of construction. The Haag House is not associated with any particular architect or builder, and does not exhibit characteristic elements of any particular architectural style. The house is a modest example of a common architectural form. As such, details are muted and limited in their expression. In addition, changes to the house over time, including enclosing the original porch and replacement of the original siding and most windows has resulted in a loss of historic fabric and architectural details. Due to the lack of architectural significance and the loss of physical integrity, the Haag House is recommended not individually eligible under *Criterion C*.

Integrity

The Haag House is not significant under *Criteria A, B, or C*; therefore, review of integrity is not warranted.

Recommendation

The Haag House is recommended not individually eligible for the National Register under *Criteria A, B, or C*.



Figure 85. Haag House location map.

4.4.9 Emil F. Henskl House

MnHPO Inventory Number: RA-SPC-5613

Address: 463 Smith Avenue North

City/Township: Saint Paul

Description

The Emil F. Henskl House (Henskl House) is located at 463 Smith Avenue North in the W. 7th Street neighborhood of Saint Paul, Ramsey County, Minnesota. The house is located on the northern half of lots 1 and 2 within block 2 of Leech's Addition. The front (east) facade is oriented toward the street (see Figure 86). The surrounding neighborhood is a mixture of other historic-age houses and commercial buildings. The house sits on a corner lot and a concrete path leads to the main entrance. The front and side (north) yards are bound by a chain-link fence and feature grass and deciduous trees, while a wood privacy fence encloses the side (south) and back (west) yards. A detached garage is located at the back (west) of the lot.



Figure 86. Front (east) facade and side (north) elevation of the Henskl House, view facing southwest.

The Henskl House is a two-and-one-half-story frame residence with a rectangular plan that was constructed in 1905.¹⁴⁹ The house has an enclosed, hip-roof porch on the front (east) facade and a one story hip-roof extension on the side (south) elevation that was likely an open porch at one time (see Figures 86 and 87). The hip roof is covered in asphalt shingles and features narrow, slightly flared eaves and a continuous fascia board with molding. Other roof details include two prominent gable wall dormers on the front (east) facade and side (north) elevations, and an interior brick chimney. The walls are clad in

¹⁴⁹ Sazevich, *Uppertown Survey*.

asbestos shingles and the windows are predominantly one-over-one, double-hung, vinyl sash. The house rests on a limestone block foundation while the enclosed front porch has a concrete block foundation.



Figure 87. Front (east) facade, view facing west.

The front (east) facade is characterized by a prominent gable wall dormer that features a small, one-over-one, double-hung window (see Figure 87 above). Two windows are symmetrically located on the second story, all with simple wood surrounds. The first story is dominated by an enclosed hip-roof porch that extends the width of the house. The porch features slim square wood corner posts over a lower frame knee-wall that is clad in asbestos siding. The main entrance, a modern metal storm door set asymmetrically in the porch, is flanked by banks of one-over-one, double-hung, aluminum sash windows.

The side (north) elevation is partially obscured by vegetation (see Figure 88). A large bush almost completely blocks a bank of three, one-over-one windows on the first story, while the second story has three, one-over-one windows, all with simple wood surrounds. The prominent gable features a one-by-one, sliding sash vinyl window (see Figure 89). A small addition is located at the northwest corner. The c.1950 addition is a one-story, frame, front-gable, secondary entrance vestibule.



Figure 88. Side (north) elevation, view facing south. Note how the vegetation obscures architectural details of the house.



Figure 89. Detail of side (north) elevation gable with sliding sash window.

The side (south) elevation is largely obscured by a wood privacy fence, a small shed, and a tree (see Figure 90). A bank of four, one-over-one, double-hung windows with a simple wood surround can be seen on the first story. The hip-roof extension features a pair of small one-over-one windows and two

larger, one-over-one, double-hung windows. The walls are clad in both asphalt shingles and vertical boards.



Figure 90. Side (south) elevation, view facing northwest.

The rear (west) elevation is partially obscured by a wood privacy fence and the detached garage (see Figure 91). An at-grade entrance is barely visible above the wood privacy fence. A one-over-one, double-hung window is visible on the first story and a one-over-one, double-hung window is located on the second story, both with simple wood surrounds.



Figure 91. Back (west) elevation, view facing southeast.

A c.1980, frame, two-car garage is located at the rear (west) portion of the lot and fronts Goodrich Avenue to the north (see Figure 92). The front-gable roof is covered with asphalt shingles and the walls are clad in engineered wood siding. The garage features an up-and-over garage door. A metal, one-by-one, sliding sash window is located on the east elevation of the garage.



Figure 92. Detached garage at 463 Smith Avenue North, view facing southwest.

Section 4 Results

The Henskl House does not exhibit characteristic elements of any particular architectural style. Although the massing, period of construction, and roofline suggest the influence of the Colonial Revival style, alterations over time have obscured most of the physical evidence of its original appearance. The enclosure of the front porch obscures details that may have referenced an architectural style, and the replacement of the original siding and windows has resulted in a significant loss of original fabric. As a result, the Henskl House does not reflect its original architectural style and the loss of original materials, decorative details, and windows has resulted in a loss of physical integrity.

History

The Henskl House was an early-twentieth-century addition to the W. 7th Street neighborhood, one of the oldest neighborhoods in Saint Paul. The house is located in Leech's Additions, which was platted in the 1850s. By the turn of the twentieth century the West Seventh Street neighborhood had largely been developed, with room for infill on select lots (see Figure 93). Construction was robust through the 1920s, with Colonial Revival and Craftsman style dwellings gaining favor in the Uppertown and W. 7th Street neighborhoods.

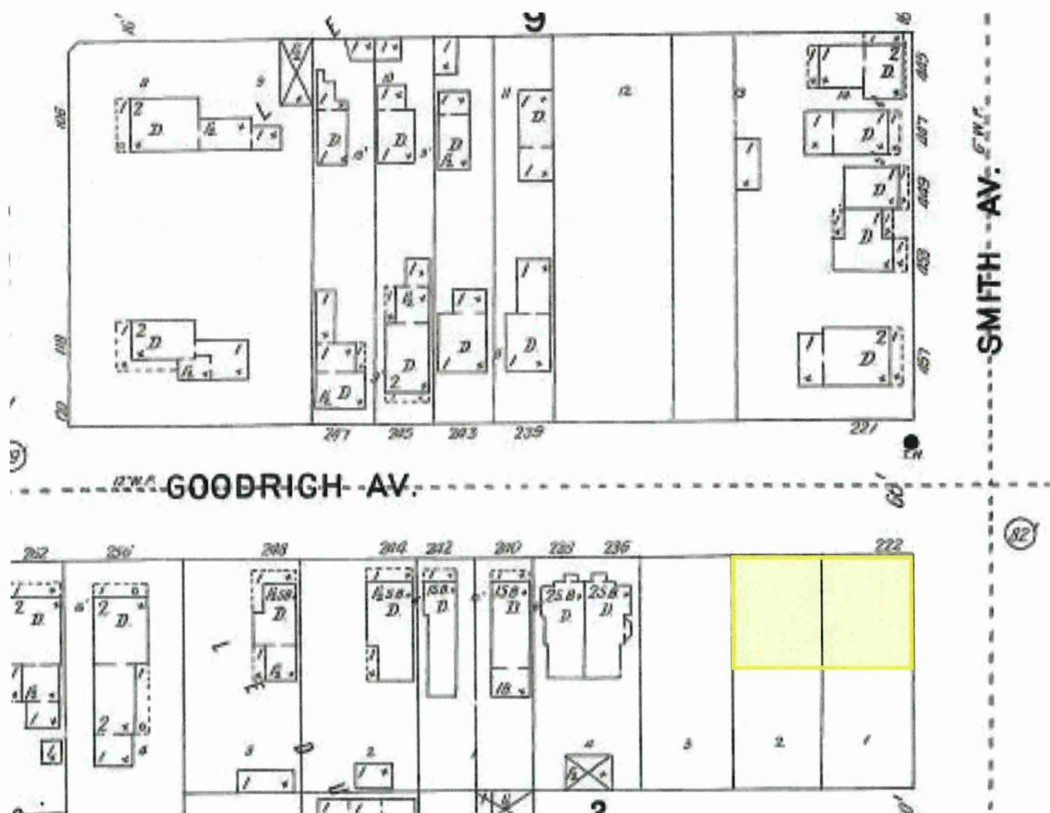


Figure 93. 1904 Sanborn map showing the west side of Smith Avenue North. The following year the Henskl House is built on the northern half of lots 1 and 2, shown in yellow.¹⁵⁰

¹⁵⁰ "Sanborn Insurance Map of Saint Paul, Minnesota" (Saint Paul, Minnesota: Sanborn Map Company, 1903 revised through 1925), sheet 26.

Today Smith Avenue North is a busy, tree-lined thoroughfare within a predominantly residential neighborhood that developed between the 1850s through the 1920s. This segment of Smith Avenue features homes that reflect the Federal, Greek Revival, Italianate, Queen Anne, and Craftsman styles, as well as vernacular homes. A mid-nineteenth-century saloon, an early-twentieth-century apartment building, and a former garage are also present along the street. The eclectic mix of styles, periods of construction, and building use seen in this segment of Smith Avenue North reflect the early mixed-use history of the W. 7th Street neighborhood.

Building history and owners

The Henskl House was constructed in 1905 and is named for its first owner, Emil F. Henskl.¹⁵¹ It is unknown if an architect was involved in design of the house. Little is known of Emil Henskl or his occupancy of the house. By 1916 the house was owned by the Bailey family. Raymond Bailey worked as a bookkeeper, Gertrude as a stenographer, and Andrew as a laborer. The Baileys resided at 463 Smith Avenue North through the mid-1930s. In 1959 Harold Hurge and his wife Eliz lived in the residence. Little is known of who lived in the house between the Baileys and the Hurges, or of later-twentieth-century residents.¹⁵² In 1992 Ramon Valdez Jr. owned the Henskl House, and by 1993 Diane and Derek Lawver had purchased the property.¹⁵³

Early changes to the property include the asbestos shingle siding, which was likely installed sometime between the 1930s and the late 1960s. At some point the open porch on the side (south) elevation (present on the 1926 Sanborn, see Figure 94) was enclosed and the small secondary entry vestibule on the side (north) elevation was added. In the 1970s the front porch was enclosed with aluminum windows, and in the 1980s the two-car garage was constructed. Changes to the house in recent years include the replacement of original windows with vinyl, one-over-one, double-hung sash windows.

¹⁵¹ Sazevich, *Uppertown Survey*.

¹⁵² Review of 463 Smith Avenue North in Saint Paul City Directories from the years 1905-1995, *Ancestry.com*.

¹⁵³ Sazevich, *Uppertown Survey*; "Ramsey County Interactive Property Map."

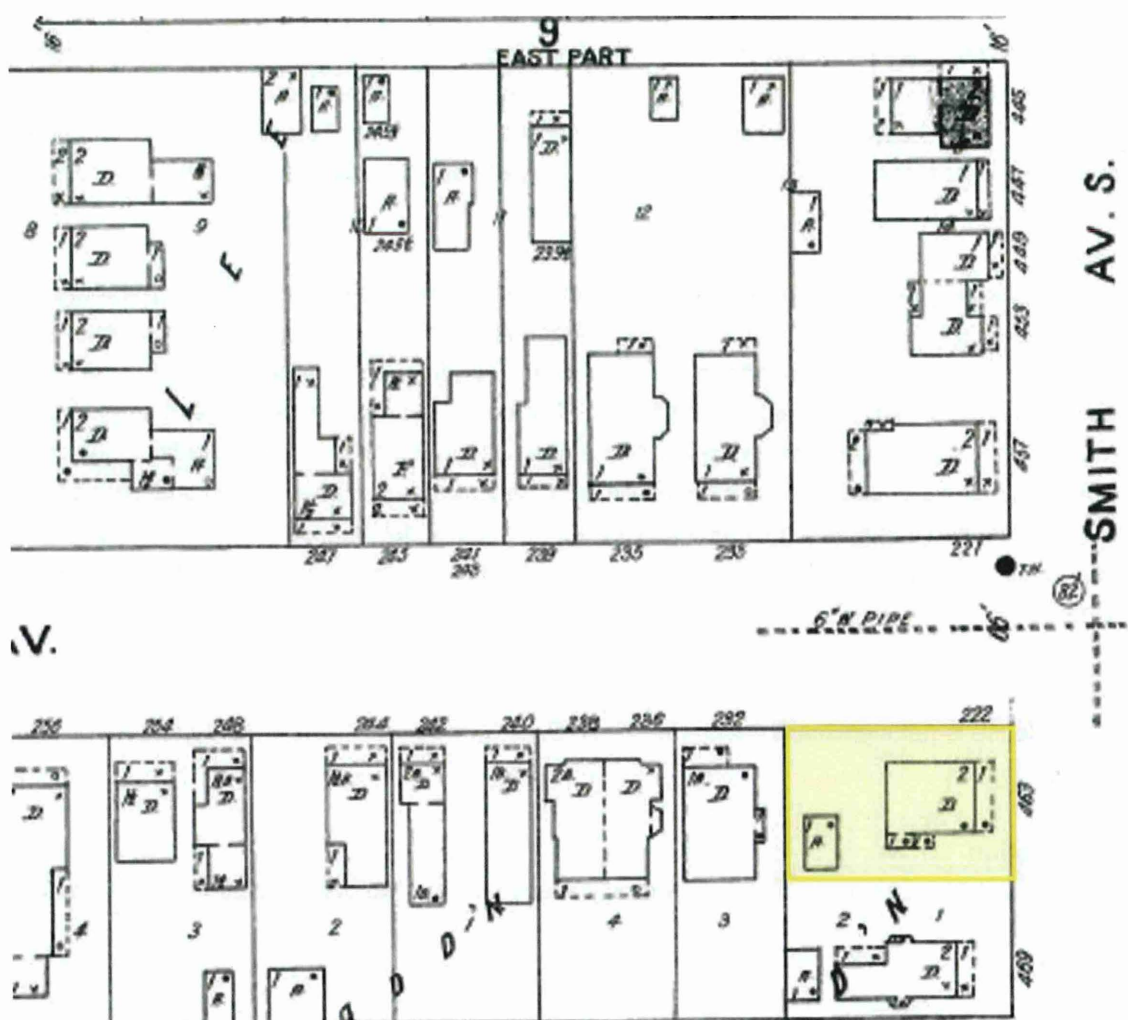


Figure 94. 1926 Sanborn map showing 463 Smith Avenue North in yellow.¹⁵⁴

Evaluation

The Henskl House is a contributing building within the National Register-eligible Uppertown Historic District in Saint Paul. As a result of MnDOT's improvement project, National Register eligibility evaluations were conducted for contributing resources within the district. The Henskl House was evaluated for individual listing in the National Register under *Criteria A, B, and C*.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history, as well as demonstrate that the event was important to the development of Minnesota, Ramsey County, or Saint Paul. Research did not reveal significant historic events that occurred at the house, and with a construction date of 1905 it does not represent early settlement patterns. As such, the Henskl House is recommended not individually eligible for the National Register under *Criterion A*.

¹⁵⁴ "Sanborn Insurance Map of Saint Paul, Minnesota," 1926.

Criterion B

To be eligible under *Criterion B: Significant Person*, the property must be associated with a person who made a significant contribution to the development of Minnesota, Ramsey County, or Saint Paul. The Henskl house does not appear to be associated with any person who made a significant contribution to local, regional, or state history. As such, it is recommended not individually eligible under *Criterion B*.

Criterion C

To be eligible under *Criterion C: Architecture*, the property must represent the work of a master, possess high artistic value, and/or embody the distinctive characteristics of type, period, or method of construction. The Henskl House does not exhibit strong features of any particular architectural style. It is unknown if an architect was involved with the design of the house. The house is a modest example of a common architectural form. As such, its details are modest and limited in their expression. Additionally, changes to the house over time, including enclosing the original porch and replacement of original siding and most windows, has resulted in a loss of historic fabric and architectural details. Due to the loss of physical integrity and lack of architectural significance, the Henskl House is recommended not individually eligible under *Criterion C*.

Integrity

The Henskl House is not significant under *Criteria A, B, or C*; therefore, review of integrity is not warranted.

Recommendation

The Henskl House is recommended not individually eligible for the National Register under *Criteria A, B, or C*.

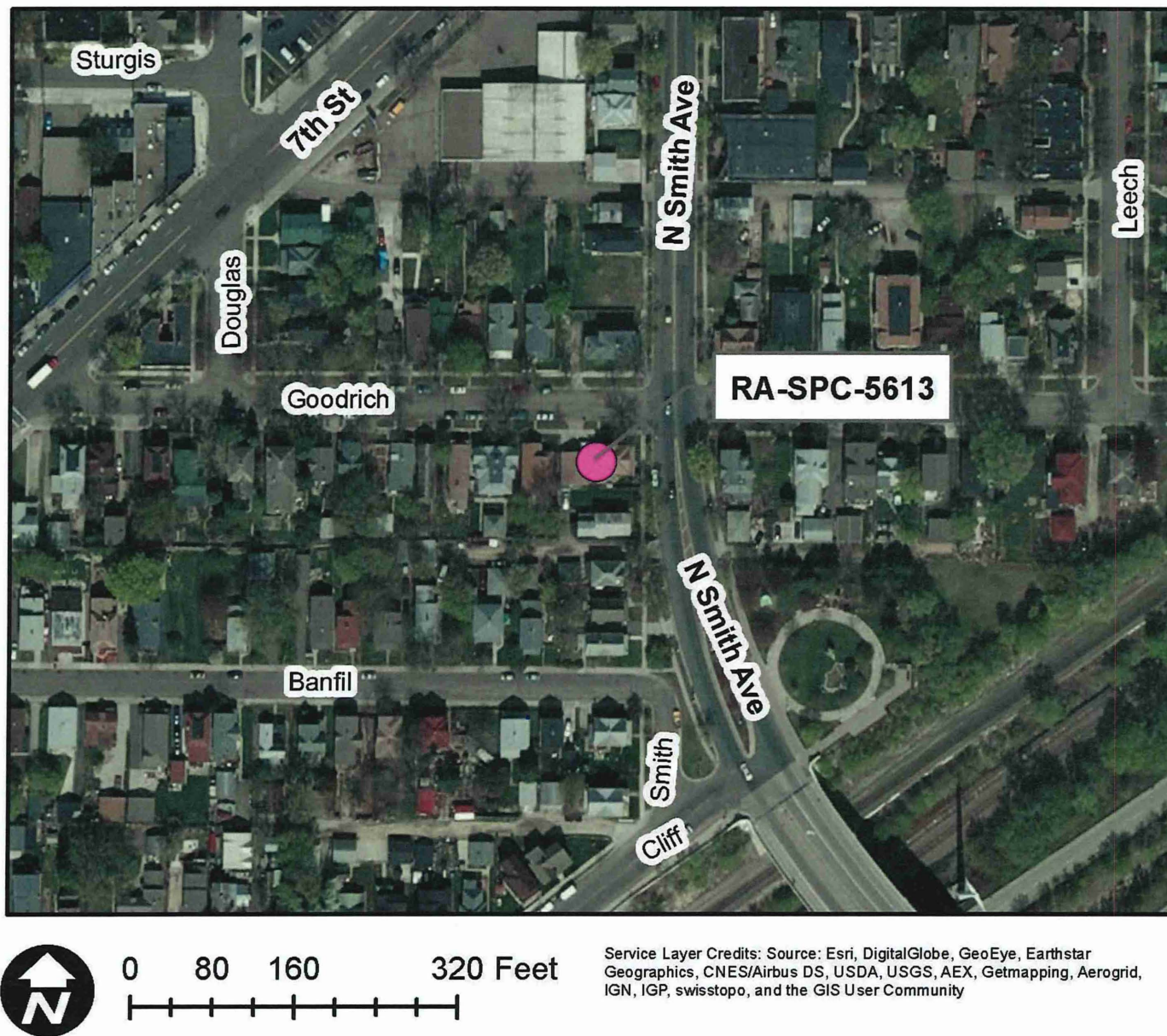


Figure 95. Henskl House location map.

4.4.10 Arthur L. Phillips House

MnHPO Inventory Number: RA-SPC-1527

Address: 218 Goodrich Avenue

City/Township: Saint Paul

Description

The Arthur L. Phillips House (Phillips House) is located at 218 Goodrich Avenue in the W. 7th Street neighborhood of Saint Paul, Ramsey County, Minnesota. The house is situated on lot 11 of block 1 of the Bernheimer Addition at the southeast corner of the intersection at Goodrich Avenue and Smith Avenue North, and is approximately one block north of the Smith Avenue High Bridge. The front (north) facade is oriented towards Goodrich Avenue. The W. 7th Street neighborhood is characterized by a mix of residential and commercial buildings. Early-twentieth-century, two-story residential homes are adjacent to the house, and Highbridge Park North is directly south. A paved walkway extends from the sidewalk to the porch. The front and side (west) yards are landscaped with bushes and deciduous trees. An unpaved alley runs the length of the southern lot line, and a historic detached garage is located at the rear of the lot.

Built in 1886, the Phillips House is a two-and-one-half-story, wood-frame structure with an irregular plan (see Figure 96).¹⁵⁵ The house exhibits features of the Queen Anne style of architecture as seen in the massing, the wall textures and elaborate porch details, and the irregular windows. The irregular roof features a prominent gable on the projecting two-story corner bay, clipped gable dormers on the side (east and west) elevations, and a steep pyramidal roof on the square tower. The roof is covered in diamond-patterned asphalt shingles and features narrow eaves, a simple cornice and a brick ridgeline chimney. Windows are predominantly one-over-one, double-hung, wood sash and some vinyl replacement. The walls are clad in narrow wood clapboard siding with fishscale shingles in the gable ends. The foundation is limestone and some sections have been covered in cement.

¹⁵⁵ Sazevich, *Uppertown Survey*.



Figure 96. Front (north) facade and side (west) elevation, view facing southeast.

The front (north) facade is characterized by a square tower at the northeast corner and a projecting front-gable, two-story bay at the northwest corner (see Figure 97). The tower features a gable detail with a sunburst over a fixed, multi-light, wood sash window and detailed corner brackets (see Figure 98). The prominent gable on the front facade features false timbering, fishscale shingles, and a one-over-one, double-hung, wood sash window. An integrated two-story porch provides access to the original entry door and second story, and features turned wood posts, balustrades, and spindlework. The projecting bay has a cutaway corner that features a single-pane, fixed, wood sash window with a shingled hood on the first story. Windows on the second story are multi-light-over-one, double-hung, wood sash, and windows on the first story are one-over-one, double-hung, wood sash, all with simple wood surrounds. A ramp has been added to the front facade.



Figure 97. Front (north) facade and side (east) elevation, view facing southwest.



Figure 98. Detail of tower at northeast corner. Note the gable detail over the fixed window.

The side (west) elevation has a two-story square bay with a clipped gable roof (see Figure 99). One-over-one, double-hung, wood sash windows arranged in pairs are located on the bay. A one-and-one-half-story wing and a one-story extending bay with a shed-roof porch extend from the rear (south) elevation. The wing features a truncated hip roof with a gable dormer that pierces the roofline. The

dormer has scalloped shingles in the gable and a two-over-two, fixed, wood sash window (see Figure 100). Other fenestration on the wing are vinyl replacement windows. The one-story bay has a clipped gable roof and the porch features a turned wood post. The side (east) elevation also features a two-story square bay with a clipped gable roof. Windows are predominantly one-over-one, double-hung, wood sash. This elevation was partially obscured by scaffolding and vegetation at the time of the fieldwork.

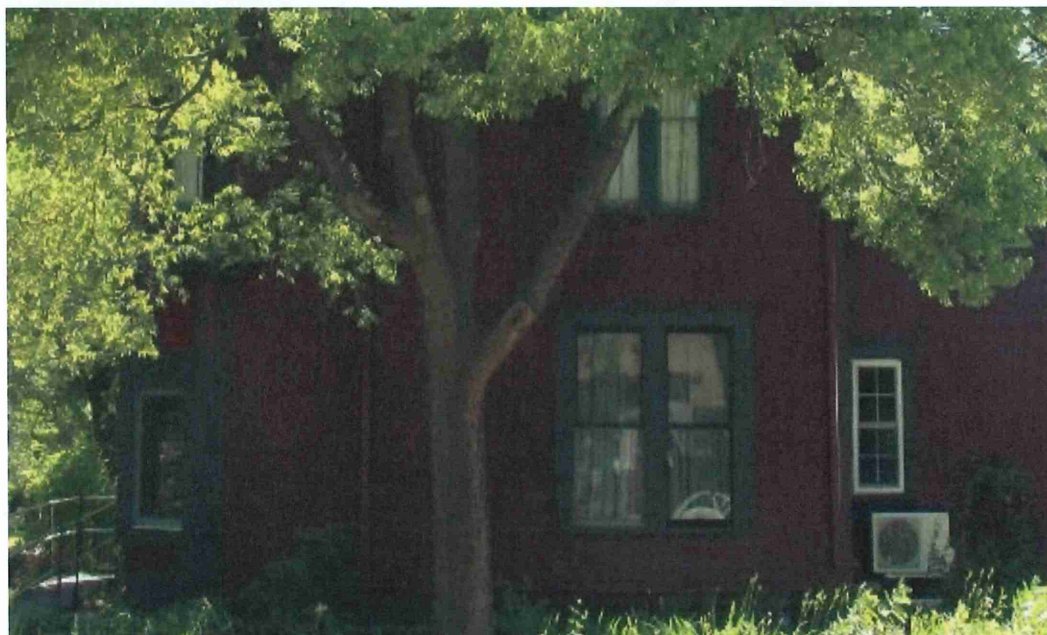


Figure 99. Side (west) elevation, view facing east.



Figure 100. Detail of west elevation dormer.

The rear (south) elevation is dominated by the telescoping one-and-one-half-story wing and one-story extending bay with porch (see Figure 101). A tall corbelled brick chimney rises from the truncated hip

roof. A one-over-one, double-hung, wood sash window is asymmetrically positioned in the gable end. Other fenestration includes two-over-two, fixed, wood sash; two-over-two, double-hung, wood sash; and one-over-one, vinyl sash windows.



Figure 101. Rear (south) and side (west) elevations, view facing northeast.

The rear yard is not fenced. A c.1900 one-car garage is located at the back of the lot (see Figure 102). The one-story frame building features a hip roof and a square plan; it is accessed via Smith Avenue North on the west elevation, which features a modern retractable garage door. The walls are covered in narrow wood clapboard siding except for the south elevation, which is clad in composite wood paneling. The south elevation has a painted mural featuring the word “UPPERTOWN” and decorative scrolls.

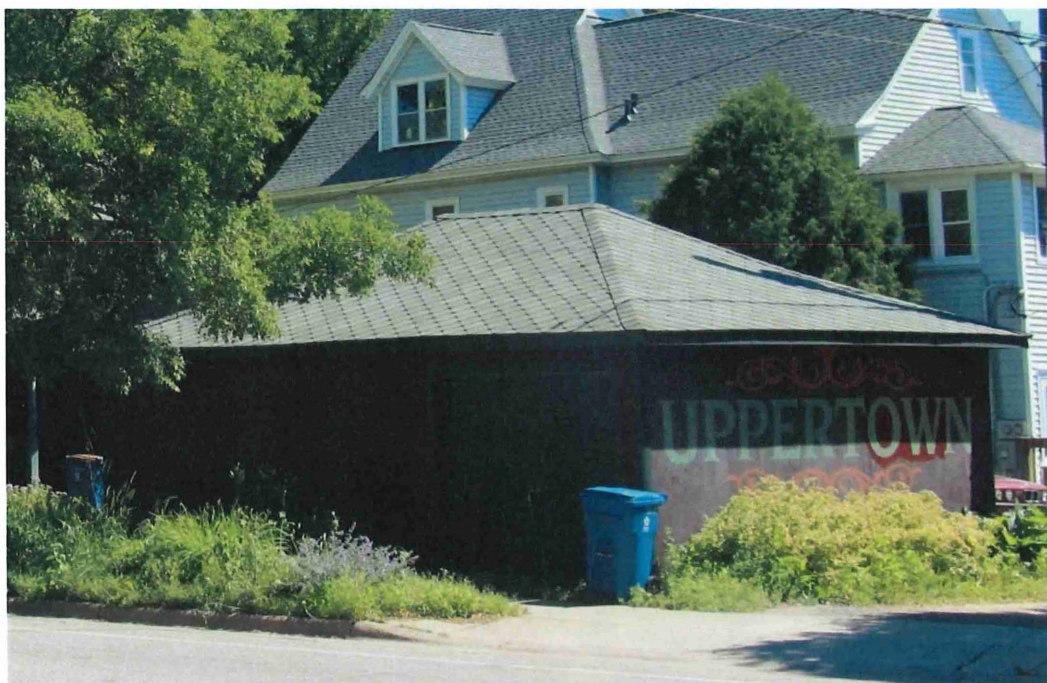


Figure 102. Detached garage, view facing northeast.

The Phillips House features muted elements of the spindlework subtype of the Queen Anne architectural style. The spindlework subtype is distinguished on the basis of decorative detailing to include the use of delicate spindlework in the balustrade or spindlework ornamentation. Other characteristics include gable ornamentation, decorative incised elements, corner brackets, drop-beads, finials, and roof cresting. The Phillips House represents this subtype, displaying the double balcony with spindlework balustrade and frieze, the gable ornamentation, and corner brackets.

Overall, the Phillips House retains good integrity and some modest elements of the spindlework Queen Anne architectural style. The house largely retains the original massing, roofline, fenestration pattern, materials, and setting. Aside from the replacement of select windows and roofing material, the exterior of the house is unaltered.

History

This property is located on Goodrich Avenue within the W. 7th Street neighborhood of Saint Paul, one of the city's earliest neighborhoods. It is located in Bernheimer's Addition, which was platted in the 1840s and 1850s. After the Civil War, neighborhoods filled in during periods of population growth and prosperity that followed in the later decades of the nineteenth century. Figure 103 shows the area on a 1928 Sanborn map (updated to 1959).

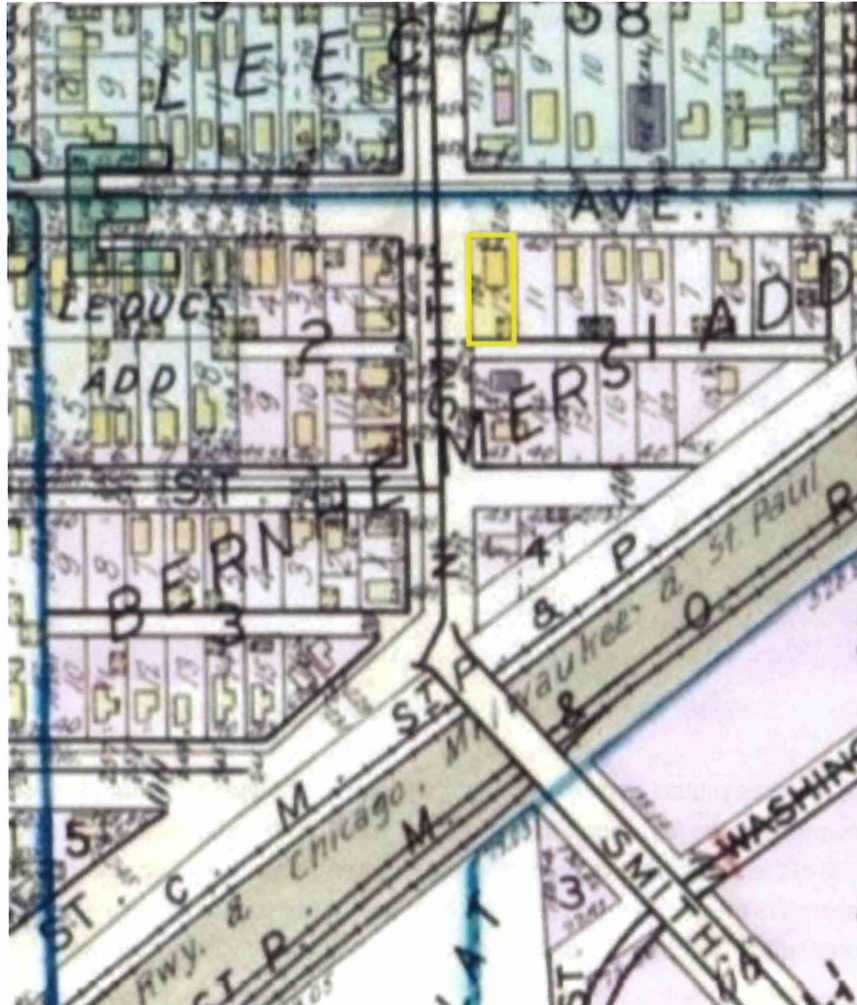


Figure 103. 1928 updated to 1959 map of Smith Avenue North between McBoal Street and the Smith Avenue High Bridge. Note 218 Goodrich Avenue highlighted in yellow.¹⁵⁶

The Phillips House sits on a lot at the intersection of Goodrich Avenue and Smith Avenue North. Smith Avenue North is a busy, tree-lined thoroughfare within a predominantly residential neighborhood that developed between the 1850s through the 1920s. This area features homes that reflect the Federal, Greek Revival, Italianate, Queen Anne, and Craftsman styles, as well as vernacular homes. A mid-nineteenth-century saloon, an early-twentieth-century apartment building, and a former garage are also present along the street. The eclectic mix of styles, periods of construction, and building use seen in this area reflect the early mixed-use history of the W. 7th Street neighborhood.

Building history and owners

The Phillips House was constructed in 1886 at the height of Saint Paul's late-nineteenth-century population boom. During this period, larger homes were being built in the Uppertown, Irvine Park, and W. 7th Street neighborhoods on larger lots in styles popular in Minnesota and nationally, including Italianate, Queen Anne, and Second Empire styles. Although the lot at 218 Goodrich is not overly expansive, the

¹⁵⁶ G.M. Hopkins Co., "C.L. Real Estate Atlas of the City of Saint Paul, Minnesota."

home was constructed in the Queen Anne style. It is unknown if an architect was involved in the design of the house, or if the house was designed by builder-contractor A. MacDonald. The home was constructed at a cost of \$3,000.¹⁵⁷

The residence is named for the original owner and occupant, Arthur L. Phillips. Phillips, a railroad engineer, and his wife Clara took in boarders during their short tenure in the house. In 1890 the Mara family also lived in the house. The residence continued to house multiple families after the Phillips moved to Grand Rapids, Michigan, in 1895, which suggests it may have been converted into two units at one point. The Saint Paul City Directories from 1890 to 1960 show a steady stream of blue collar and professional residents lived at the Phillips House, including engineer Michael Mattocks in 1898, pressman Charles Griffith in 1907, carpenter Emil Casperson in 1925, and teacher Georgia Casey in 1937. Little is known of later-twentieth-century residents.¹⁵⁸ The house retains its historic use as a residence and is currently owned by Lorraine K. Harris.¹⁵⁹

Beyond routine maintenance, the house has experienced relatively few alterations through the years. Select windows on the rear (south) elevation and the west portion of the rear one-and-one-half-story wing have been replaced with vinyl, one-over-one, double-hung, sash windows. Other than these alterations, the house's exterior remains largely unaltered.

The spindlework Queen Anne style

The design of the Phillips House reflects the Queen Anne architectural style, which was popular between 1880 and 1910. Characteristic features of the style include an asymmetrical facade, steeply pitched roof, irregular massing, and dominant front-facing gable. The style is identified through its ornamentation, including the presence of a partial, full-width, or wrap-around porch; cutaway bay windows; towers; and the use of varied wall surfaces as decorative elements.

There are four subtypes of the Queen Anne style that are based on the decorative detailing: spindlework, free classic, half-timbered, and patterned masonry.¹⁶⁰ The Phillips House exhibits muted spindlework characteristics, a subtype that became popular in the early 1880s. The spindlework subtype is distinguished through the use of delicate turned wood elements, such as turned wood posts and spindlework ornamentation expressed in porch balustrades and suspended friezes. Ornamentation can occur in gables or at cutaway corners, and corner brackets and roof cresting are also frequently seen with this subtype. The Queen Anne style, including the subtypes, was popular throughout Saint Paul in the 1880s and 1890s. More high style examples are found within nearby neighborhoods.

¹⁵⁷ Sazevich, *Uppertown Survey*.

¹⁵⁸ Review of 218 Goodrich Avenue in Saint Paul City Directories from the years 1886-1995, *Ancestry.com*.

¹⁵⁹ "Ramsey County Interactive Property Map."

¹⁶⁰ Virginia McAlester et al., *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*, Revised and expanded edition/second edition (New York: Alfred A. Knopf, 2013).

Evaluation

The Phillips House is a contributing building within the National Register-eligible Uppertown Historic District in Saint Paul. As a result of MnDOT's improvement project, National Register eligibility evaluations were conducted for contributing resources within the district. The Phillips House was evaluated for individual listing in the National Register under *Criteria A, B, and C*.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history that was important to the development of Minnesota, Ramsey County, or Saint Paul. Research did not reveal significant historic events that occurred at the Phillips House. While the house has served as a residence within the W. 7th Street neighborhood of Saint Paul, it does not represent early settlement patterns. As such, the Phillips House is recommended not individually eligible under *Criterion A*.

Criterion B

To be eligible under *Criterion B: Significant Person*, the property must be associated with a person who made a significant contribution to the development of Minnesota, Ramsey County, or Saint Paul. The Phillips House does not appear to be associated with significant individuals in Saint Paul's history. Although Arthur L. Phillips was a railroad engineer, he was not particularly noteworthy. The Phillips did not play a significant role in the history of the neighborhood or the city of Saint Paul. Builder-contractor A. MacDonald also did not play a significant role in the development of the neighborhood, or in the history of Saint Paul or the nation. Therefore, the property is not recommended individually eligible under *Criterion B*.

Criterion C

To be eligible under *Criterion C: Architecture*, the property must represent the work of a master, possess high artistic value, and/or embody the distinctive characteristics of type, period, or method of construction. It is not known whether the Phillips House is architect-designed; however, it was built by a local builder-contractor. Research did not reveal that builder-contractor A. MacDonald was significant to the development of Saint Paul's residential neighborhoods or influenced architectural design styles in the W. 7th Street neighborhood, or other neighborhoods in the city. As such, the Phillips House is not significant as a work of a master. In addition, the Phillips House does not appear to be an example of high artistic value. The house is modest in ornamentation and design, and other local Queen Anne properties more fully express the architectural style.

The Phillips House was evaluated as a representative example of the spindlework Queen Anne architectural style. For a resource to be eligible it must clearly exhibit enough characteristics to be considered a true representative example of the style. While the Phillips House does exhibit some characteristic elements such as delicate turned posts and spindlework ornamentation in the balustrade and frieze of the partial porch, these details are modest and limited in their expression.

A comparative analysis of Queen Anne houses in the W. 7th Street and adjacent Irvine Park neighborhood was conducted to place the Phillips House within an appropriate architectural context. Research revealed that the Queen Anne style and its spindlework subtype are not uncommon in Saint Paul or the W. 7th

Street and Irvine Park neighborhoods. Examples similar to the Phillips House that better represent the spindlework subtype are present. These examples include the Gardener House, 192 McBoal Street (RA-SPC-4350), which is of a similar scale as 218 Goodrich Avenue and constructed during the same time period. The Gardener House is a strong example of spindlework Queen Anne style due to the inclusion of additional characteristic elements of the subtype, including drop bead details and ornamentation at cutaway corners (see Figures 104 and 105). The Gardener House was previously evaluated by the MnHPO and determined eligible for the National Register.¹⁶¹



Figure 104. The Gardener house, located at 192 McBoal Street is a strong example of the spindlework Queen Anne style. Note the turned posts of the balcony.

¹⁶¹ *Historic Architecture Inventory List* (Saint Paul, Minn.: Minnesota Historical Society, 2016).

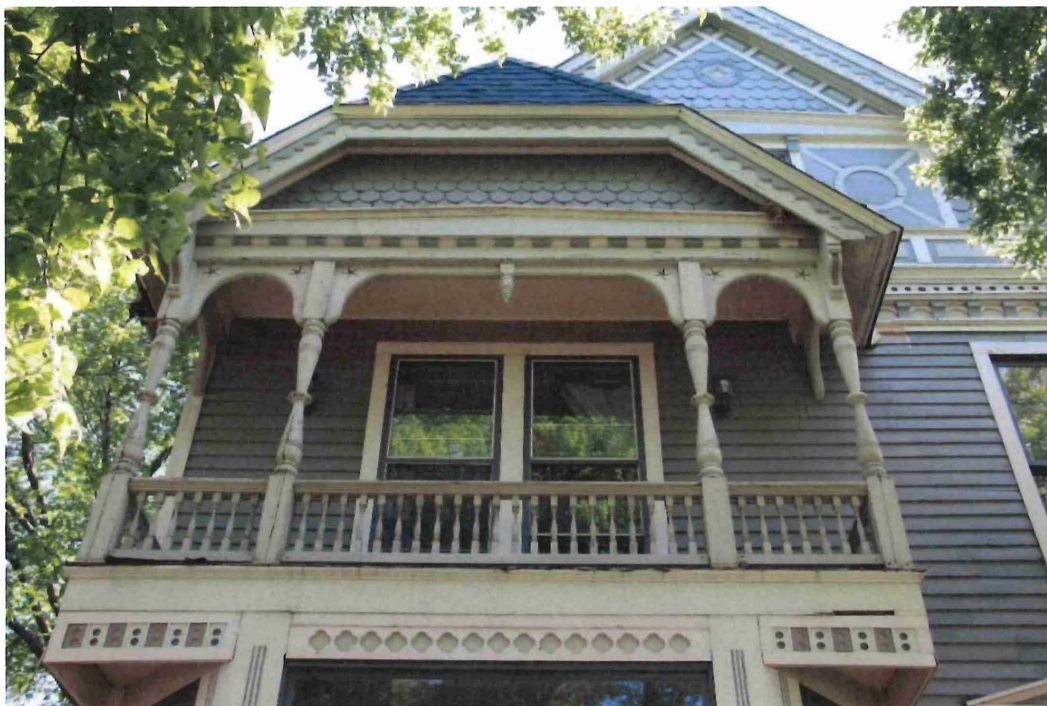


Figure 105. Detail of balcony at the Gardener House. Note the corner brackets and drop-bead detail, delicate balustrade, and details at the cutaway windows.

The Irvine Park neighborhood contains several lavishly expressed Queen Anne style homes. An example of the spindlework subtype can be seen in the Murray-Lanpher House at 35 Irvine Park (RA-SPC-1938, see Figure 106). The house is listed in the National Register as a contributing building within the Irvine Park Historic District.¹⁶²

¹⁶² Historic Architecture Inventory Form and National Register of Historic Places, Multiple Property Documentation Form, "Irvine Park Historic District," Ramsey County, Minnesota.



Figure 106. The Murray-Lanpher House at 35 Irvine Park is an example of the Queen Anne spindlework subtype present in the Irvine Park neighborhood. Note the finial on the tower and the elaborate trim on the porch and balcony.

The Murray-Lanpher House exhibits a high degree of detail seen in the wall textures, trim, and decorative elements. Although this home is larger in scale than 218 Goodrich Avenue, it was constructed in the same time period with similar materials. The Murray-Lanpher House exhibits a higher degree of ornamentation and contains additional elements characteristic of spindlework Queen Anne architecture, including the finial on the tower, bands of incised ornamentation, and elaborate decorative details on the balcony and porch.

Based on this review of other listed and eligible spindlework Queen Anne dwellings in the W. 7th Street and Irvine Park neighborhoods, the Phillips House appears to be a modest representation of the style. Ornate and architecturally distinguished examples, such as those at 192 McBoal Street and 35 Irvine Park, better represent the style. In contrast, the Phillips House is restrained in ornamentation and characteristics, and lacks the finial and drop-bead details, incised ornamentation, and lacy bargeboard elements that are characteristic of the subtype. As such, the Phillips House is not a particularly notable example of the spindlework Queen Anne style and is recommended not individually eligible under *Criterion C*.

Integrity

The Phillips House is not significant under *Criteria A, B, or C*; therefore, review of integrity is not warranted.

Recommendation

The Phillips House is recommended not individually eligible for the National Register under *Criteria A, B, or C*.

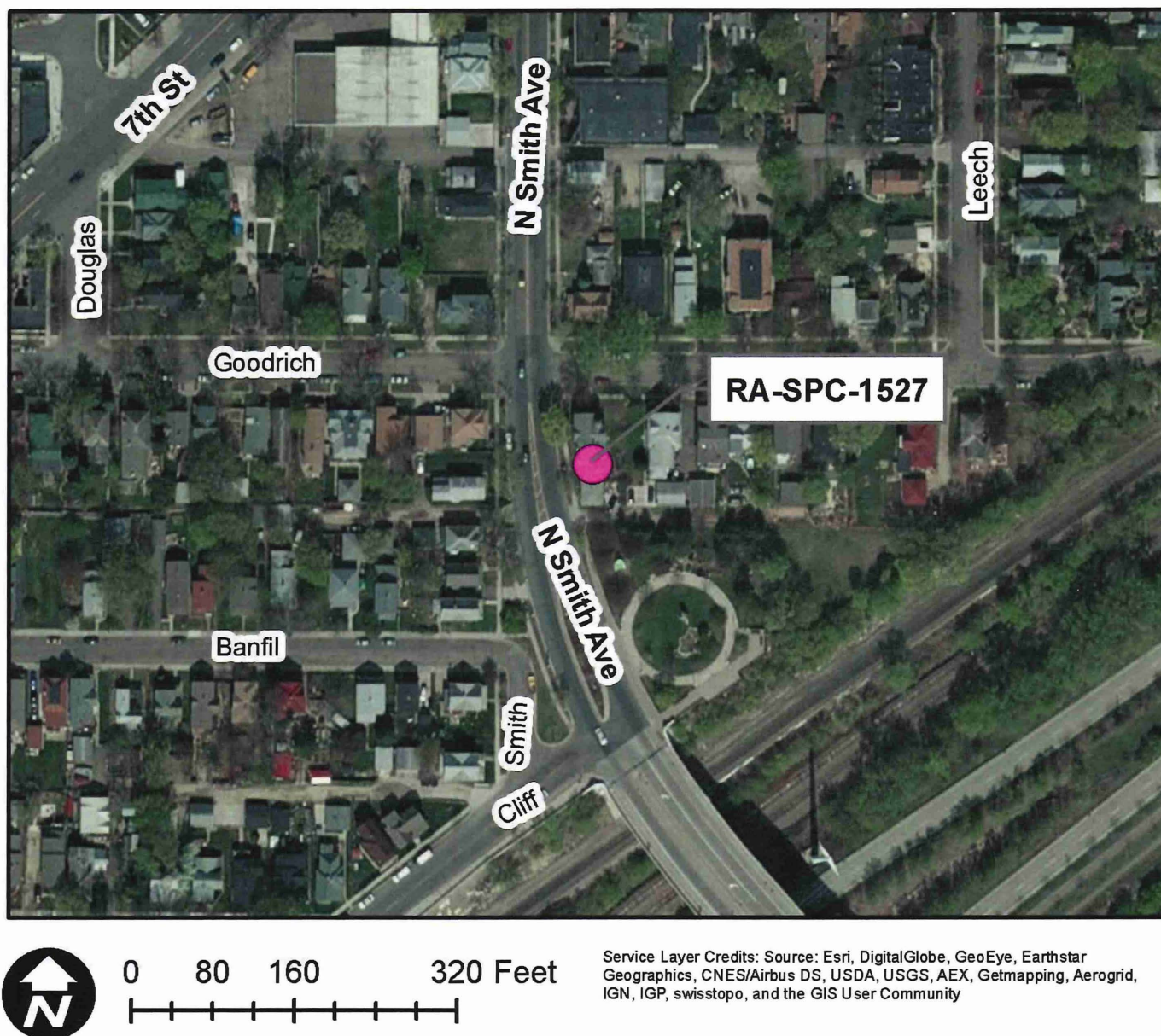


Figure 107. Phillips House location map.

4.4.11 Mohawk Theater

MnHPO Inventory Number: RA-SPC-3411

Address: 627-631 Smith Avenue

City/Township: Saint Paul

Description

The Mohawk Theater, constructed in 1922 and initially referred to as the Cherokee Theater, currently serves as an event space.¹⁶³ It is located at 627-631 Smith Avenue South in Saint Paul, approximately three blocks south of the Smith Avenue Bridge. The theater is found in the Cherokee Heights neighborhood, which is characterized by a mix of residential and commercial buildings. Early-twentieth-century, two-story, residential homes and one-story, brick-veneer, commercial and modern commercial buildings are adjacent to the theater.

Exterior

The Mohawk Theater is a two-story, three-bay, brick-veneer structure (see Figure 108). It rests on a concrete slab and has a flat roof. The front (east) facade features decorative brickwork and terra cotta carvings in the Beaux Arts style along a stepped parapet, which features a prominent arch at its center (see Figure 109). Terra cotta reliefs in the parapet include a rose and diamond panel, round cartouches with "CT" inscribed within a shield, and large oval cartouches within a recessed terra cotta frame with carved theater masks above (see Figure 110). Below the parapet in the central bay are three original, double-hung, wood sash windows. A series of soldier bricks frame the windows and extend vertically down the facade.

¹⁶³ Historical renderings indicate the theater was to be called the Cherokee Theater; however, the name either was never formally adopted or it changed soon after construction, as the 1923 *Saint Paul City Directory* lists the building as the Mohawk Theater. For the purposes of this report, the property will be referred to as the Mohawk Theater.



Figure 108. Front (east) facade and side (north) elevation of the Mohawk Theater.

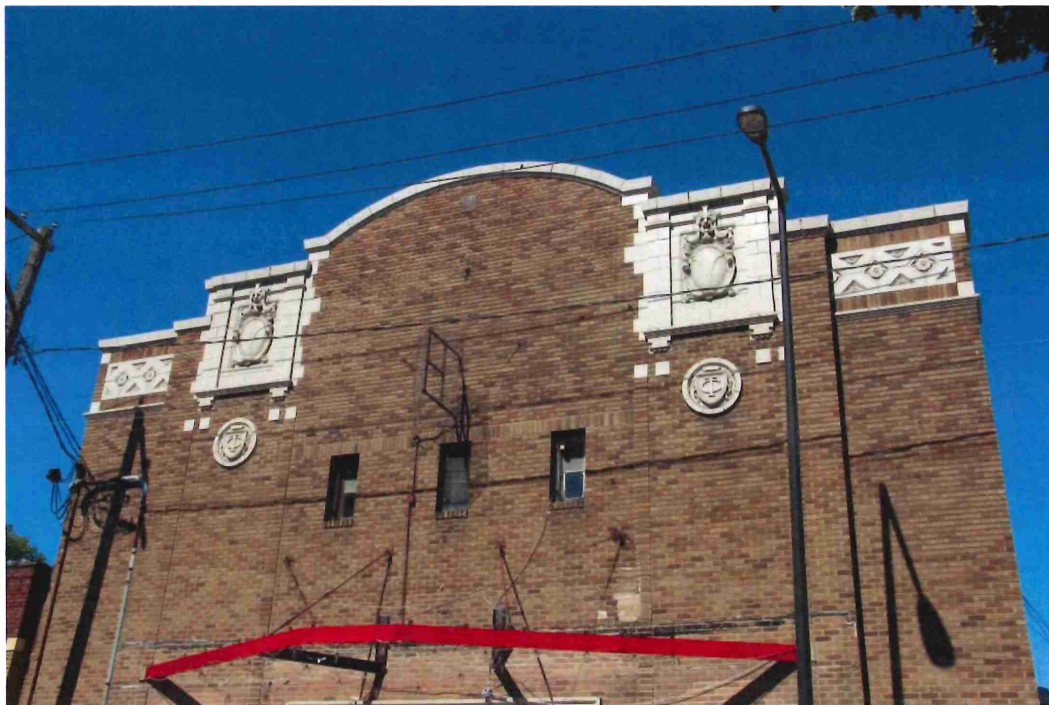


Figure 109. Decorative parapet on the front (east) facade.



Figure 110. Detail of the decorative cartouches along the parapet.

Steel framework that likely supported a mid-twentieth-century marquee, which replaced the original projecting entryway canopy, is mounted above the primary entry and extends over the sidewalk (see Figure 111). The building's primary entry is located within the center bay and features decorative laced floral terra cotta carvings. The entry, likely reconfigured in the mid-twentieth century, is recessed with angled walls; doors are replacement steel. The building historically featured two additional doors, likely to exit from the theater, on the front (east) facade. These exit doors, which flank the primary entry and have decorative terra cotta panels similar to those surrounding the primary entry, are enclosed with brick, and portions of their decorative arched door hoods have been removed (see Figure 112). Original blind windows are located in the outer bays and feature ornamental terra cotta leaf panels and simple keystones. These blind windows historically served as display frames, also called poster cases, for movie posters (see Figure 113). A granite kick plate extends along the front facade.

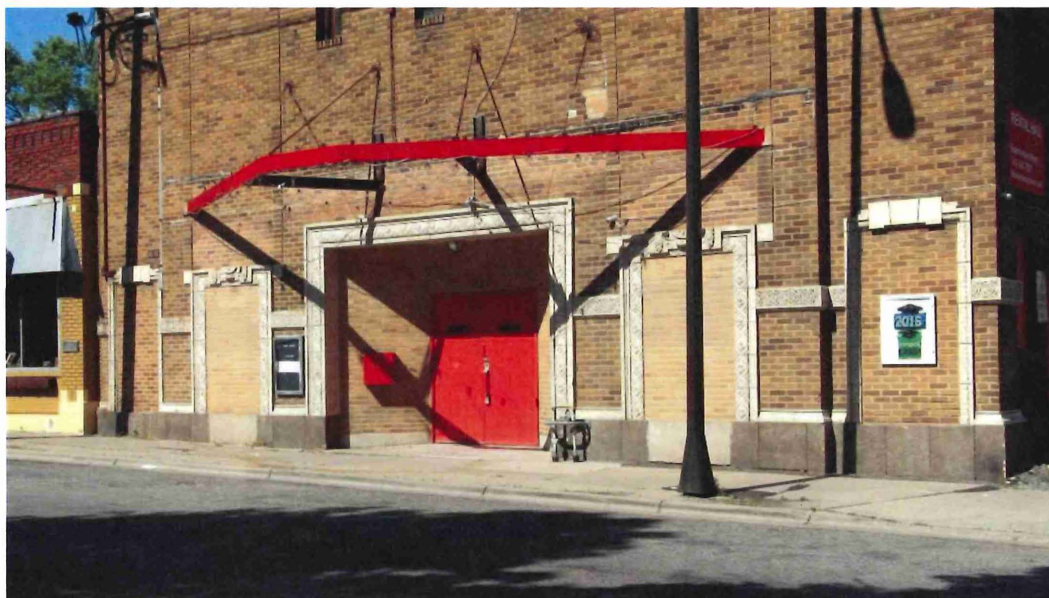


Figure 111. Street level of the front (east) facade. Note the mid-twentieth-century steel marquee, which replaced the original flat roof projecting entryway canopy, over the altered primary entry.

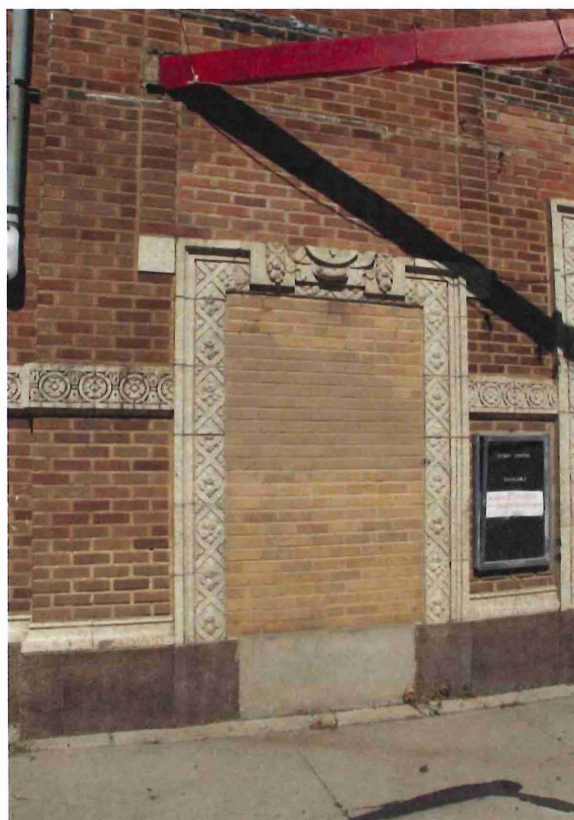


Figure 112. Detail of the altered doorway including removal of the original terra cotta door hood. Note the various terra cotta ornamental panels around the door and extending horizontally across the facade.

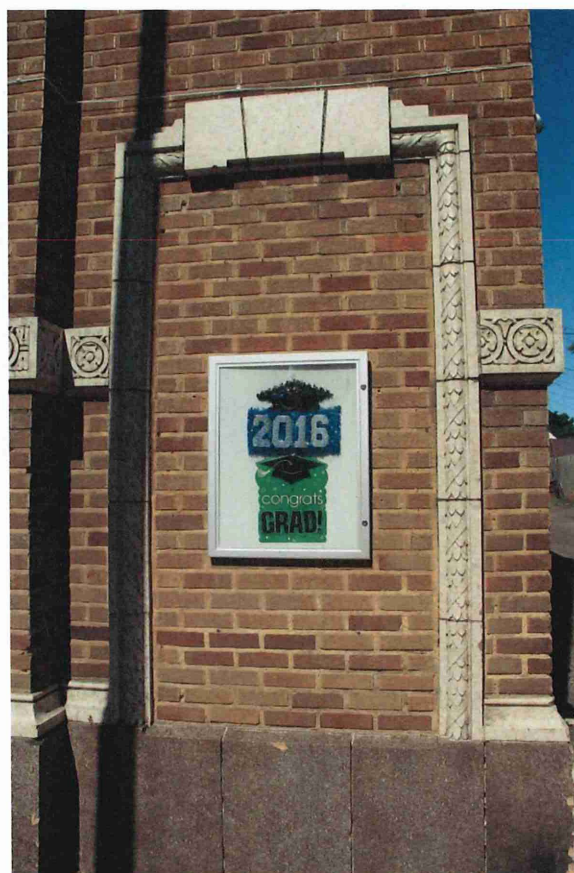


Figure 113. Detail of the original display frames with decorative terra cotta panels.

The side (south and north) elevations are unadorned. The south elevation is largely obscured by an adjacent single-story commercial building (see Figure 114). An exterior brick side chimney, which extends above the roof, is the only visible feature on the south elevation. The north elevation features entrances, two of which feature the original five-panel wood doors (see Figure 115). The third entry is a replacement steel door. Two windows located at the northeast corner and northwest corners of the elevation have been covered with steel (see Figure 116). The rear (west) elevation is unadorned. A residential garage obscures view of any possible openings in the lower level of the elevation (see Figure 117).



Figure 114. View of side (south) elevation and front (east) facade.

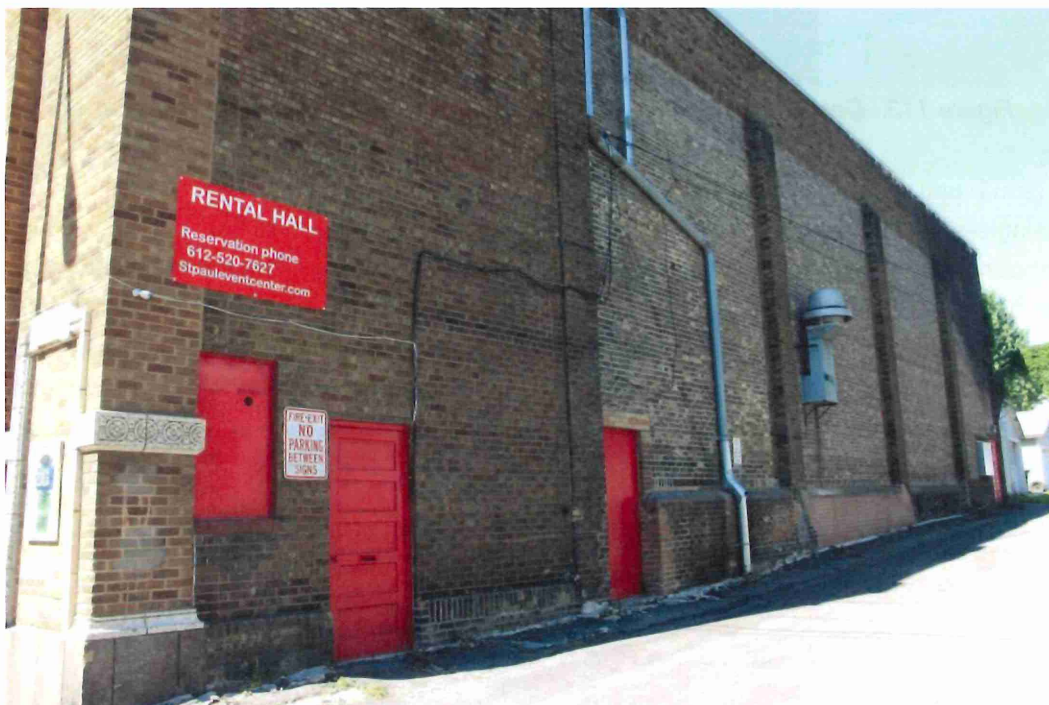


Figure 115. View of side (north) elevation.

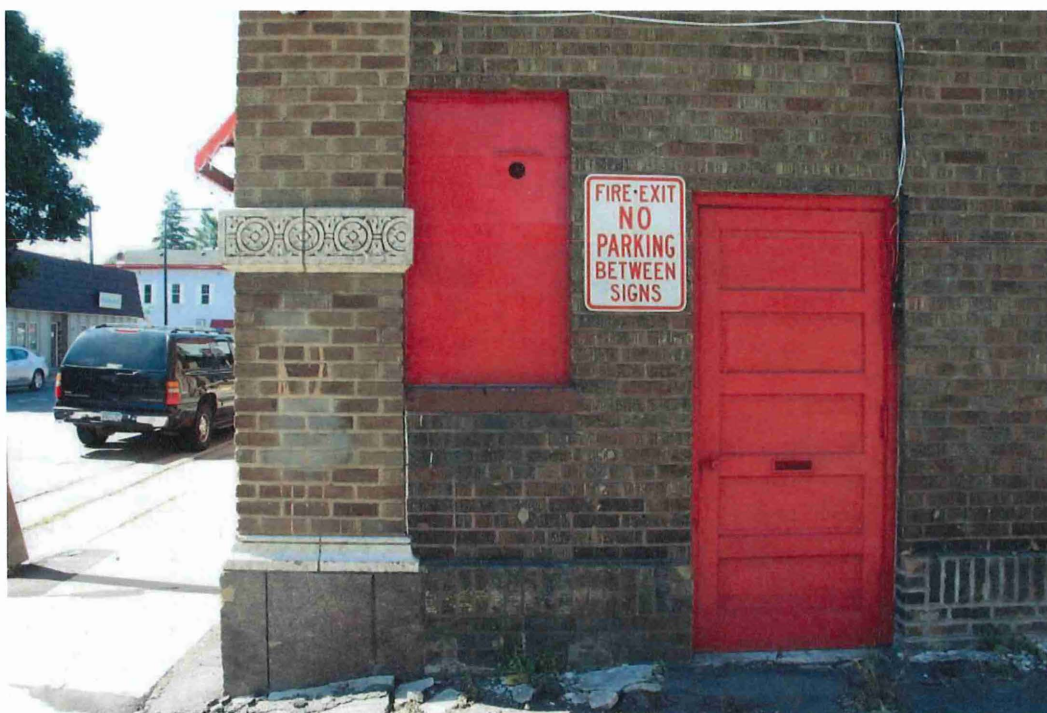


Figure 116. Detail of an original door and covered window on the side (north) elevation.



Figure 117. View of rear (west) elevation.

Interior

The interior of the theater has been renovated into an event space and all original theater spaces have been reconfigured. Historically the theater featured a large theater space with a second-story balcony, accessed via a staircase. At an unknown time the building was divided into two full floors with the original

Section 4 Results

staircase retained. Both floors feature similar floor plans, including large ballroom spaces with an attached galley kitchens and storage spaces. A small, unoriginal, elevated stage is located at the far end of each hall. Lighting is modern and the floors are covered with linoleum or carpeting. There are no exterior windows within the hall spaces. Restrooms are located on the first floor and a small meeting space on the second. Interior doors are replacement steel or wood with opaque glass (see Figures 118-121).

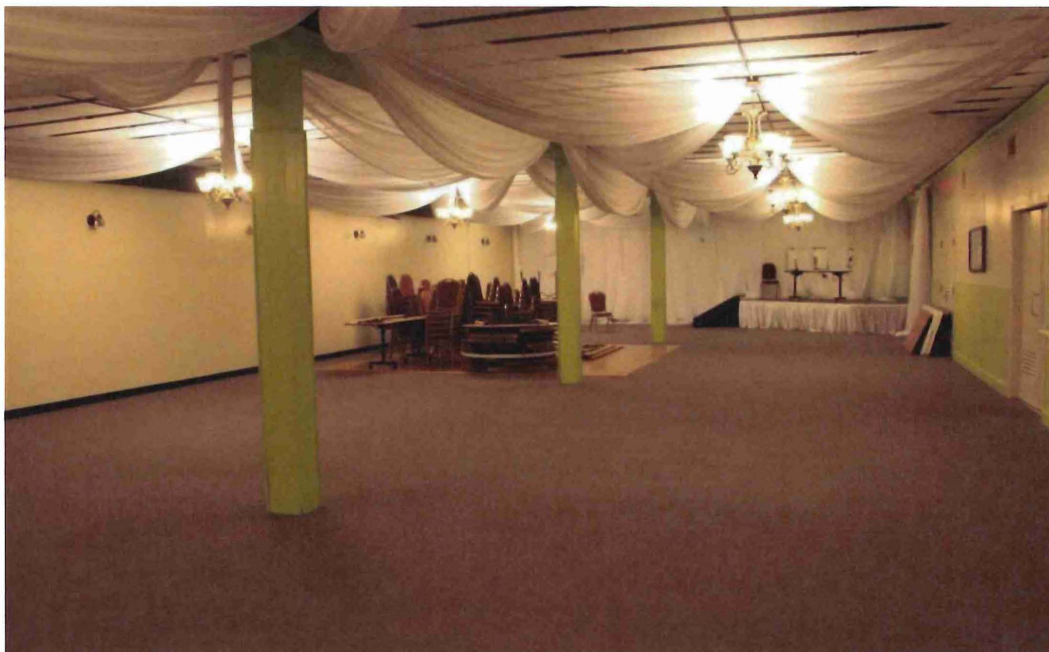


Figure 118. First floor hall. Historically this space would have been open with a sloped floor.



Figure 119. Second floor interior hall. Note the small stage in the background. Historically this space would have been a balcony overlooking the first floor auditorium below.



Figure 120. Typical galley kitchen in the building.



Figure 121. Interior meeting space.

Integrity

The theater features modest Beaux Arts architectural style, as evidenced through the series of decorative, glazed, terra cotta carvings, finished to replicate marble, located on the front facade. The terra cotta ornamentation is largely intact, except where decorative window hoods have been removed.

Section 4 Results

Other alterations include reconfiguration of the original entry with a recessed and angled entry, enclosure of two original exit doors, and removal of the original flat roof entryway canopy. Repairs have been made to the brick along the north elevation and one original wood door has been replaced with a steel door. Remodeling of the interior space resulted in the loss of almost all of the original historic fabric and features that define the theater property type. The only vestiges of the building's use as a theater are a staircase leading to the second level, which accessed a projection room and balcony space, and a handful of original theater chairs (see Figures 122 and 123).



Figure 122. Original theater chairs.



Figure 123. Entry vestibule with the original, but likely modified, staircase.

History

At the turn of the twentieth century a new form of entertainment, the motion picture, entranced the nation and citizens in the Twin Cities. The first film screened in the Twin Cities occurred in 1896 at the Bijou Opera House in Minneapolis. Citizens were immediately hooked.¹⁶⁴ Playhouses, originally constructed for dramatic performance, vaudeville shows, and burlesque acts, transformed into “photoplay” houses. Entrepreneurs looking to capitalize on the public’s fascination with film opened small store-front nickelodeons dedicated to showing motion picture films.¹⁶⁵ Quickly, the number of smaller motion picture theaters and nickelodeons outstripped the larger playhouses. As reported by Twin Cities movie theater historian Dave Kenney, “Between 1906 and 1909, twenty similarly simple storefront motion picture theaters opened in Minneapolis and St. Paul. By the end of the decade they accounted for nearly half of all Twin Cities’ theaters.”¹⁶⁶

In the early years of the twentieth century the majority of motion picture houses and nickelodeons were located in downtown Minneapolis and Saint Paul. However, savvy entrepreneurs began constructing theaters along busy streetcar lines within neighborhoods outside of downtown. By 1911, 50 motion picture theaters, exclusively dedicated to showing silent films, were scattered throughout Minneapolis

¹⁶⁴ Dave Kenney, *Twin Cities Picture Show: A Century of Moviegoing* (St. Paul, Minn.: Minnesota Historical Society Press, 2007), 4.

¹⁶⁵ Kirk J. Besse, *Show Houses: Twin Cities Style*, 1st ed. (Minneapolis, Minn.: Victoria, 1997), 1; Kenney, *Twin Cities Picture Show*, 13.

¹⁶⁶ Kenney, *Twin Cities Picture Show*, 14.

alone. A *Minneapolis Journal* reporter noted, "The theater has become a neighborhood institution and a part of the routine of life rather than a luxury."¹⁶⁷

The golden era of movie picture theater construction in Minneapolis-Saint Paul occurred between 1911 and 1919, with approximately 138 new theaters built. Approximately 60 percent of these were constructed in Minneapolis.¹⁶⁸ In the 1920s the number of theaters constructed in the Twin Cities waned, with only a total of 55 built. However, many of the theaters constructed during this period were large movie palaces that could seat thousands of movie-goers. Opulent movie palaces such as the Capitol, located in the Hamm Building in Saint Paul, and the State, Orpheum, and the Minnesota, each located in downtown Minneapolis, dazzled patrons. Regardless of size, architects utilized styles and materials that represented the lavishness and glamour of the roaring 1920s. Architects employed richly ornamented styles, such as Beaux Arts, Spanish Renaissance, Egyptian Revival, and Italian Renaissance, to impress patrons and help transport audiences into the fantasy of the film. Interior spaces were often similarly luxurious and decorated in marble, tile, terra cotta, and gold gilding.¹⁶⁹

Design and construction of the Mohawk Theater

In 1921 Cherokee State Bank President William J. Christians approached the St. Paul-based engineering and architecture firm of Toltz, King, and Day (TKD) to design a new motion picture theater in Saint Paul. Christians purchased lot 19 and a portion of lot 18 of the Marion Addition in the Cherokee Heights neighborhood for the new building.¹⁷⁰ The location along Smith Avenue followed the larger trend in the Twin Cities to erect movie picture theaters along prominent streetcar lines. Located along the Cherokee Heights Streetcar line, which extended from downtown Saint Paul through Cherokee Heights to Annapolis Street, the new theater was sure to attract attention.¹⁷¹

Christians's choice of architect is not surprising as TKD designed and constructed a number of other movie picture theaters, both large and small, within Saint Paul. Review of the TKDA (formerly TKD) photo and drawings collection revealed five other designs for motion picture theaters, all of which were located in Saint Paul. These theaters, constructed between 1913 and 1921, included the Ideal Theater (1913), Como Theater (1914), Verdi Theater (1914), the Capitol Theater's exterior, which was a continuation of the larger Hamm Building designed by TKD (1919-1920), and the Tower Theater (1921).¹⁷² Figures 124 through 128 show known TKD-designed theaters.

¹⁶⁷ Kenney, *Twin Cities Picture Show*, 16, 38.

¹⁶⁸ Based on a review of the dates of construction for theaters in the Twin Cities and surrounding metro area compiled in the Appendix of Kenney, *Twin Cities Picture Show*, 217–230.

¹⁶⁹ For detailed descriptions of movie palaces constructed in the Twin Cities in the 1920s see Besse, *Show Houses*, 41–71.

¹⁷⁰ John W. Diers and Aaron Isaacs, *Twin Cities by Trolley: The Streetcar Era in Minneapolis and St. Paul* (Minneapolis: University of Minnesota Press, 2007), 290–291; "Building Permit - 627 Smith Avenue South" (City of Saint Paul, Bureau of Public Buildings, August 1, 1921), Building Permit index, Ramsey County Historical Society.

¹⁷¹ Diers and Isaacs, *Twin Cities by Trolley*, 291.

¹⁷² Toltz, King, and Day, Architects, "Toltz, King, and Day Papers," 1995 1910, available at the Andersen Library, University of Minnesota, Northwest Architecture Archives.



Figure 124. Ideal Theater (1913).¹⁷³



Figure 125. Como Theater (1914).¹⁷⁴

¹⁷³ Toltz, King, and Day, Architects, "N92 - T.K.D.A Photos, Photos I-L," 1995 1910, Box 4, available at the Andersen Library, University of Minnesota, Northwest Architecture Archives.

¹⁷⁴ Toltz, King, and Day, Architects, "N92 - T.K.D.A Photos, Photos A-H," 1995 1910, Box 2, available at the Andersen Library, University of Minnesota, Northwest Architecture Archives.



Figure 126. Verdi Theater (1914).¹⁷⁵



Figure 127. Capitol Theater (1919-1920).¹⁷⁶



Figure 128. Rendering of the
Tower Theater (1921).¹⁷⁷

¹⁷⁵ Toltz, King, and Day, Architects, "N92 - T.K.D.A Photos, Miscellaneous Photos," 1995 1910, Box 1, available at the Andersen Library, University of Minnesota, Northwest Architecture Archives.

¹⁷⁶ Toltz, King, and Day, Architects, "N92 - T.K.D.A Photos, Hamm Building," 1995 1910, Box 3, available at the Andersen Library, University of Minnesota, Northwest Architecture Archives.

¹⁷⁷ Toltz, King, and Day, Architects, "N92 - T.K.D.A Photos, Miscellaneous Photos."

Little research is available about the collaborative design process between Christians and TKD architects/engineers, and archival research revealed only one rendering of the Mohawk Theater (see Figure 129).¹⁷⁸ In its design, the Mohawk featured a prominent front entry flush with the facade with two sets of double doors and an overhanging entryway canopy, two additional exit doors, and display frames. Decorative shields, ornamental tile work, flags, and the name “The Cherokee” (the building’s original name) defined the building’s parapet, although the signage may have just been part of the building’s conceptual design. While the available design for the theater is a rendering and not a photograph, evidence of most depicted features are found on the building. Replacement brick outlines the locations of the decorative window hoods, entryway canopy, and doors. Decorative terra cotta tile work, shields, and cartouches remain.

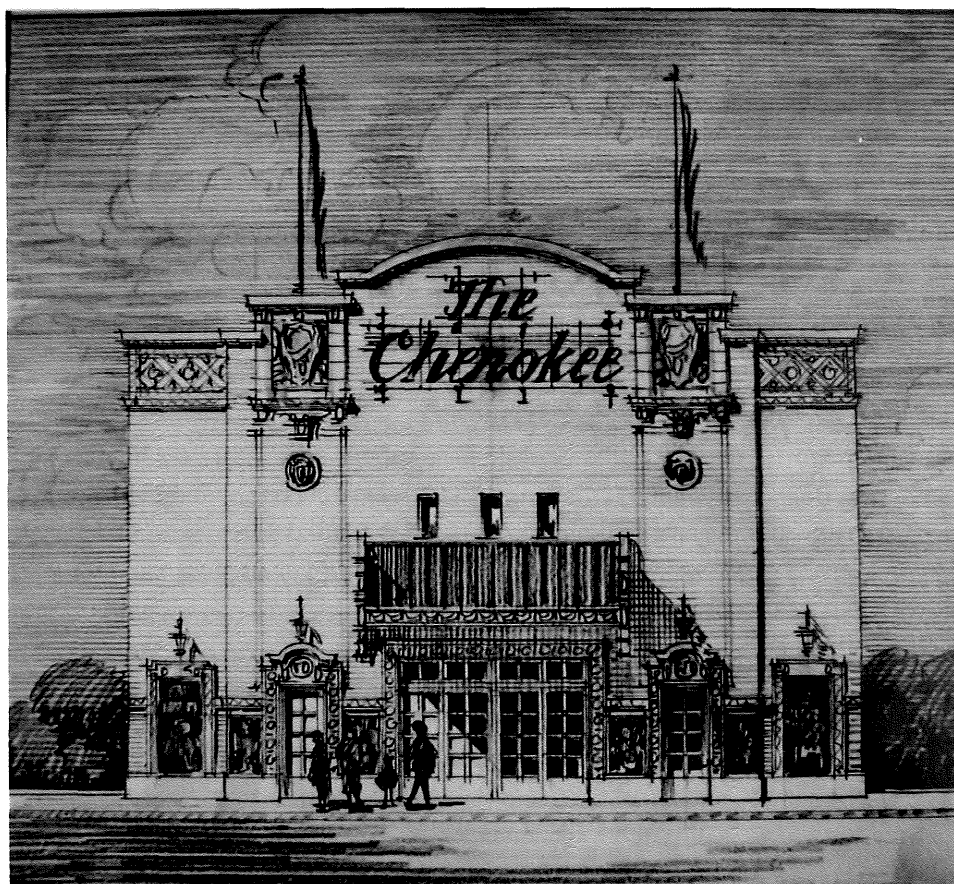


Figure 129. Rendering of the Cherokee Theater (now the Mohawk Theater), as designed by TKD in 1921.¹⁷⁹

In both the rendering and the executed design the theater featured Beaux Arts stylistic influences. Beaux Arts, a popular architectural style following World War I, was well-suited to theaters as it reflected the glamour and allure of motion pictures. Common characteristics of the style included use of classical columns, arched windows, quoins, and balconies; elaborate moldings, ornamental keystones and

¹⁷⁸ Toltz, King, and Day, Architects, “N92 - T.K.D.A Photos, Photos A-H.”

¹⁷⁹ Toltz, King, and Day, Architects, “N92 - T.K.D.A Photos, Photos A-H.”

cartouches, floral or leaf decoration in window and door surrounds; and use of terra cotta and stone for both building materials and ornamentation.¹⁸⁰ These features closely resemble details found on TKD-designed theaters in the late 1910s and 1920s, including use of terra cotta and stone details, an arched parapet, ornamental carvings, balconies, decorative window hoods, and opulent entryway canopies.

In early August 1921 Christians applied for a building permit with the City of Saint Paul's Bureau of Public Buildings. According to the permit, the proposed building measured approximately 52 feet wide, 104 feet deep, and 42 feet tall. While the permit did not specify interior spaces or finishes, an inspection record notes that the building included a balcony. Christians estimated the cost of construction at \$30,000 and listed himself as the contractor. Construction efforts took place over the next year, with Christians completing work in June 1922.¹⁸¹ Upon its completion, the theater joined a number of other businesses along Smith Avenue in Saint Paul, including a grocery, drug store, bank, and other retailers.¹⁸²

Occupancy and alterations

Research revealed little information about the everyday operation of the theater following its opening in 1922. Christians served as property manager until c.1929, when duties shifted to George Carish.¹⁸³ Under Carish's management, improvements to the building's electrical system occurred between 1929 and 1931. Additionally, building permit records indicate Carish made alterations to the building in 1941; however, details on improvements are not specified within the permit.¹⁸⁴

In 1953 the Mohawk Theater closed its doors due to unknown circumstances. In the postwar period, nationally and in the Twin Cities, many of the large movie palaces and neighborhood motion picture theaters constructed in the 1910s and 1920s closed. Minneapolis and Saint Paul theater attendance dropped in the postwar period as twenty-somethings, the largest contingent of movie goers, started families and moved to the suburbs. The growing popularity of drive-in theaters and television, and the lack of parking and aging theaters found in downtowns and along busy neighborhood streets, impacted ticket sales.¹⁸⁵ As a result, 18 of the 37 operating theaters in the Saint Paul area alone closed between 1948 and 1960, including the Mohawk. In contrast, during this same period entrepreneurs opened 12 new drive-in theaters, all of which, excepting the Corral Drive-in at Robert Street and Mendota Road, were constructed in the metro suburbs.¹⁸⁶

¹⁸⁰ McAlester et al., *A Field Guide to American Houses*, 477–479.

¹⁸¹ "Building Permit - 627 Smith Avenue South."

¹⁸² Diers and Isaacs, *Twin Cities by Trolley*, 291.

¹⁸³ Christians died two years later in 1932. R.L. Polk & Co., *Polk's St. Paul City Directory* (St. Paul, Minn.: R.L. Polk & Co., 1922); R.L. Polk & Co., *Polk's St. Paul City Directory* (St. Paul, Minn.: R.L. Polk & Co., 1930); State of Minnesota, *Minnesota Death Index, 1908-2002*. (Minneapolis, Minn.: Minnesota Department of Health, 1932), available at Ancestry.com.

¹⁸⁴ "Building Permit - 627 Smith Avenue South."

¹⁸⁵ Kenney, *Twin Cities Picture Show*, 121–122, 125, 126.

¹⁸⁶ Based on a review of listed closing dates and construction of drive-in theaters as reported in Kenney, *Twin Cities Picture Show*, 226–231.

The Mohawk remained vacant until 1964, when Shenkinah Masonic Lodge No. 171 purchased the property.¹⁸⁷ It is likely that the alterations to the theater, including removal of the set of double-entry doors and construction of the recessed entry, removal and replacement of the original entryway canopy with a steel marquee, enclosure of doors, and removal of door hoods occurred during this time. It is unclear if interior alterations, including the separation of the main theater space into two floors, occurred during the Shenkinah's ownership. The building served as a Masonic Temple until around 1993, when it was converted to an event space.¹⁸⁸ It has remained a rental hall since, though under different ownership following a few years of vacancy. The current owners indicated that the interior spaces had already been remodeled when they purchased the property in 2015.¹⁸⁹

Evaluation

The Mohawk Theater was evaluated for listing in the National Register under *Criteria A, B, and C*.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history, as well as demonstrate that the event was important to the development of Minnesota, Ramsey County, or Saint Paul. Research did not reveal any significant historic events that occurred at the Mohawk Theater. While it served as a place of entertainment and recreation for residents in Saint Paul, multiple movie picture theaters provided similar entertainment opportunities in the area. Additionally, Christians constructed the Mohawk toward the end of the motion picture theater construction boom; therefore, it is not an early representative example of the motion picture theater construction trend in the Twin Cities. As such, the Mohawk Theater is recommended not eligible under *Criterion A*.

Criterion B

To be eligible under *Criterion B: Significant Person*, the property must be associated with a person who made a significant contribution to the development of Minnesota, Ramsey County, or Saint Paul. Cherokee State Bank President William Christians commissioned the construction of the Mohawk Theater; however, research did not reveal that Christians served as a notable individual in local, regional, or state history. As such, the Mohawk Theater is recommended not eligible under *Criterion B*.

Criterion C

To be eligible under *Criterion C: Architecture*, the property must represent the work of a master, possess high artistic value, and/or embody the distinctive characteristics of type, period, or method of construction. The architecture/engineering firm of TKD (continuing today as TKDA) prepared the design for the Mohawk Theater. TKD is noted in architectural historian Alan Lathrop's *Minnesota Architects: A Biographical Dictionary* as "One of the most important architecture and engineering firms in Minnesota." The firm, established by Max Toltz in 1910, largely designed and constructed bridges, power plants, and

¹⁸⁷ R.L. Polk & Co., *South St. Paul and West St. Paul City Directory* (St. Paul, Minn.: R.L. Polk & Co., 1964).

¹⁸⁸ R.L. Polk & Co., *Polk 1994 St. Paul, Minnesota City Directory* (Dallas, Tex.: R.L. Polk & Co., 1994).

¹⁸⁹ Mahamud Mahamed, Interview with Mead & Hunt, Inc., 627 Smith Avenue South, June 14, 2016.

commercial buildings.¹⁹⁰ The Mohawk Theater is a modest representation of the firm's work within the Twin Cities and one of a number of small-scale residential theaters the firm designed. Other larger and more elaborate commercial building examples, such as the Hamm Building (408 St. Peter Street; 1919-1920) and the Saint Paul Gas Light Company Building (now Xcel Energy; 825 Rice Street; 1924), are better representative examples of their commercial work. As such, the Mohawk Theater is recommended not eligible as a work of a master.

The Mohawk Theater features modest Beaux Arts architectural styling. The Beaux Arts style, popular from 1885-1930, was based on lavish ornamentation and classical detailing. While the Mohawk Theater displays some characteristics of the Beaux Arts style, including decorative terra cotta cartouches, panels, and surrounds, the overall detailing on the building is modest compared to other local examples. Additionally, alterations, including the removal of decorative window hoods, diminish the architectural character of the building. Better representative examples of the Beaux Arts style that retain integrity in the Twin Cities include:

- Hamm Building (408 St. Peter Street, Saint Paul; 1919-1920)
- Fitzgerald Theater (494 Wabasha Street, Saint Paul; 1910)
- State Theater (at 805 Hennepin Avenue, Minneapolis; 1920)

In order for the property to be representative of an early-twentieth-century motion picture theater it must possess the distinctive characteristics of the property type. Based on a review of other motion picture theaters constructed during the 1910s and 1920s, common exterior characteristics of theaters include a prominent front entry, typically with a set of two or three double doors; location for display frames; an overhanging flat-roof entryway canopy; and large sign attached to the building or projecting from the facade. While it is not necessary for the interior of a theater to be intact, it is an important component of the property's ability to convey significance and the historic function of the building. As such, intact interior components such as the lobby, large auditorium space, screen, stage, seating, balcony, and projection booth convey the property's use.

The Mohawk Theater, constructed in 1922, retains some, but not all, of the exterior characteristics that represent the property type. The building itself retains its central entrance and display frames; however, the original set of double doors has been removed and replaced with an angled entry, the original flat roof entryway canopy and sign have been removed, and exit doors have been enclosed. The interior space is also completely reconfigured and no longer retains a large, open auditorium space, stage, second level projection room, or balcony. With the alterations to the exterior and interior spaces, the Mohawk Theater is not considered a good representative example of the motion picture theater property type. Better representative examples of motion picture theaters constructed in the 1910s and 1920s in the Twin Cities that retain a higher degree of integrity include:¹⁹¹

¹⁹⁰ Alan K. Lathrop, *Minnesota Architects: A Biographical Dictionary* (Minneapolis: University of Minnesota Press, 2010), 213–214.

¹⁹¹ Based on a review of extant and previously surveyed theaters listed in the MnHPO database with construction dates from 1915-1930.

Section 4

Results

- State Theater (805 Hennepin Avenue, Minneapolis; 1920)
- Loring Theater (1405 Nicollet Avenue S, Minneapolis; 1920)
- Granada Theater (3020 Hennepin Avenue S, Minneapolis; 1928)
- Ritz Theater (345 13th Avenue NE, Minneapolis; 1926)
- Victoria Theater (825 University Avenue West, Saint Paul; 1915)

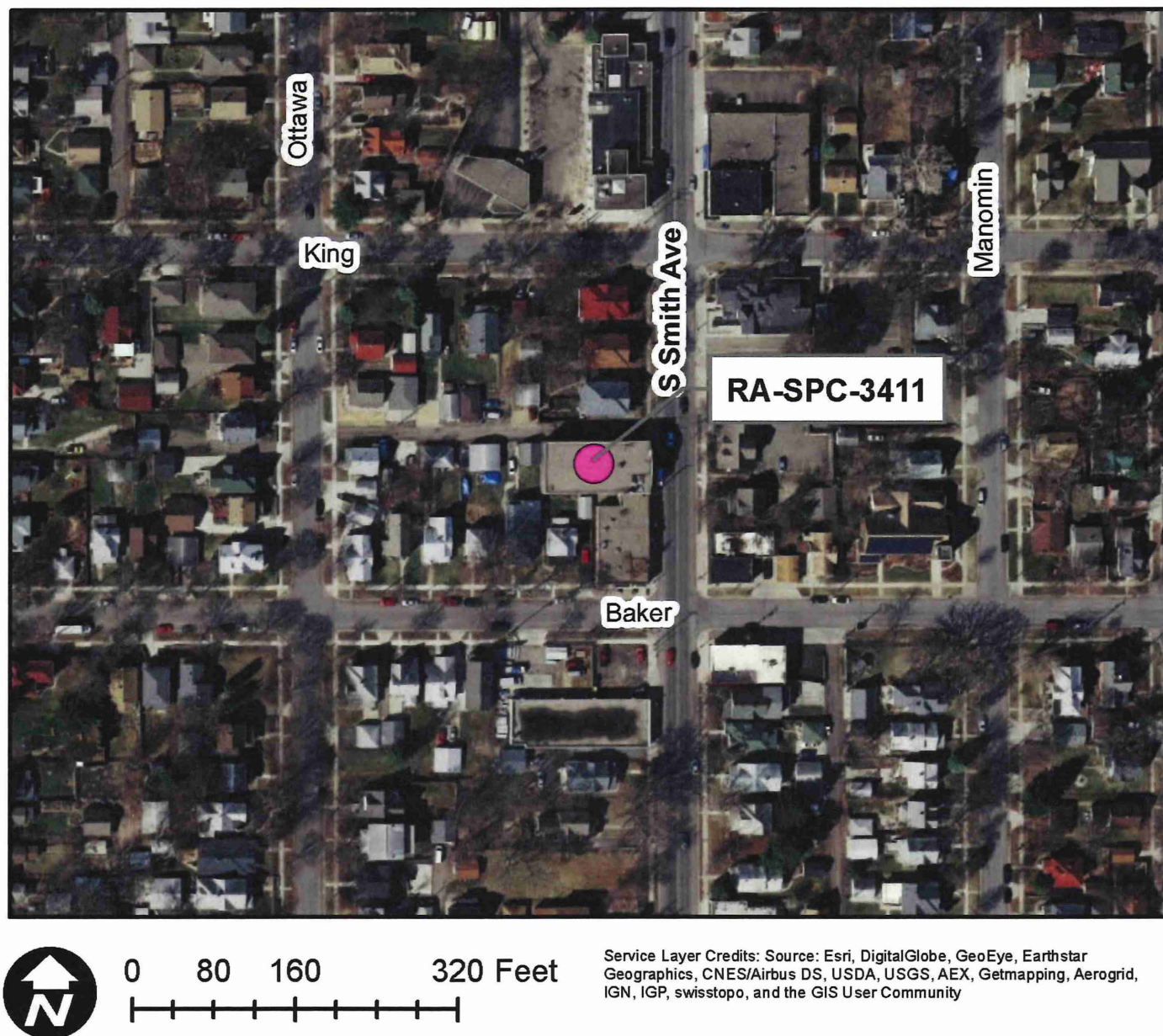
The Mohawk Theater is not significant when compared to other area motion picture theaters constructed in the early twentieth century. The theater, while designed by noted engineering firm TKD, is not the best representation of the firm's work, both for commercial properties or theaters. Additionally, the theater's Beaux Arts stylistic details are modest and several notable elements have been removed. Finally, alterations diminish its integrity as an example of the property type. As such, the Mohawk Theater is recommended not eligible under *Criterion C*.

Integrity

The Mohawk Theater does not retain significance under *Criteria A, B, or C*; therefore, review of integrity is not warranted.

Recommendation

The Mohawk Theater is recommended not eligible for the National Register under *Criteria A, B, or C*.



Service Layer Credits: Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

Figure 130. Mohawk Theater location map.

4.4.12 Charles F. Staples House

MnHPO Inventory Number: DK-MHC-001

Address: 1160 Dodd Road

City/Township: Mendota Heights

Description

The Charles F. Staples House (Staples House), located at 1160 Dodd Road in Mendota Heights, was constructed c.1885. This Queen Anne house is set back approximately 220 feet from the southeast side of Dodd Road near the rear of a 0.92-acre parcel in the Somerset View subdivision. A line of mature deciduous trees obscures the view of the property from the road. It features a large yard with landscaped grass, shrubs, and flowering plants (see Figure 131). The property is accessed by a long tree-lined driveway that also provides access to an adjacent residence, the Norman B. Mears House at 1170 Dodd Road (DK-MH-0035, see section 4.4.13). A modern in-ground swimming pool located on the northeast side of the house was filled in by the current property owners and covered with grass. The former pool area is currently enclosed by a chain-link fence. Surrounding residences in the neighborhood range from mid-twentieth-century Period Revivals to modern single-family residences.



Figure 131. Overview of the Staples House and property, view facing southeast.

Built c.1885, the Staples House is a two-and-one-half-story Queen Anne house of frame construction with an irregular footprint and massing resting on a stone foundation. The hip with gable roof is covered with asphalt shingles and features two interior corbelled brick chimneys, slight eave overhangs with decorative wood brackets grouped in threes, and simple wood molding at the cornice. Additional decorative corner brackets with geometric details accented with red paint are located below the cornice (see Figure 132). A tower with a conical roof is located at the north corner of the front (northwest) facade. A dominant front-

facing gable is centered on the facade. It has a pent roof enclosing the gable, decorative bargeboard with incised geometric details accented with red paint, angled clapboard, and a fixed semi-circle window. Paired, one-over-one, double-hung sash windows below the pent roof are separated by a piece of wood inscribed with a vase and budding branch details accented with red, brown, and green paint (see Figure 133). Remaining windows on the facade are one-over-one, double-hung sash.

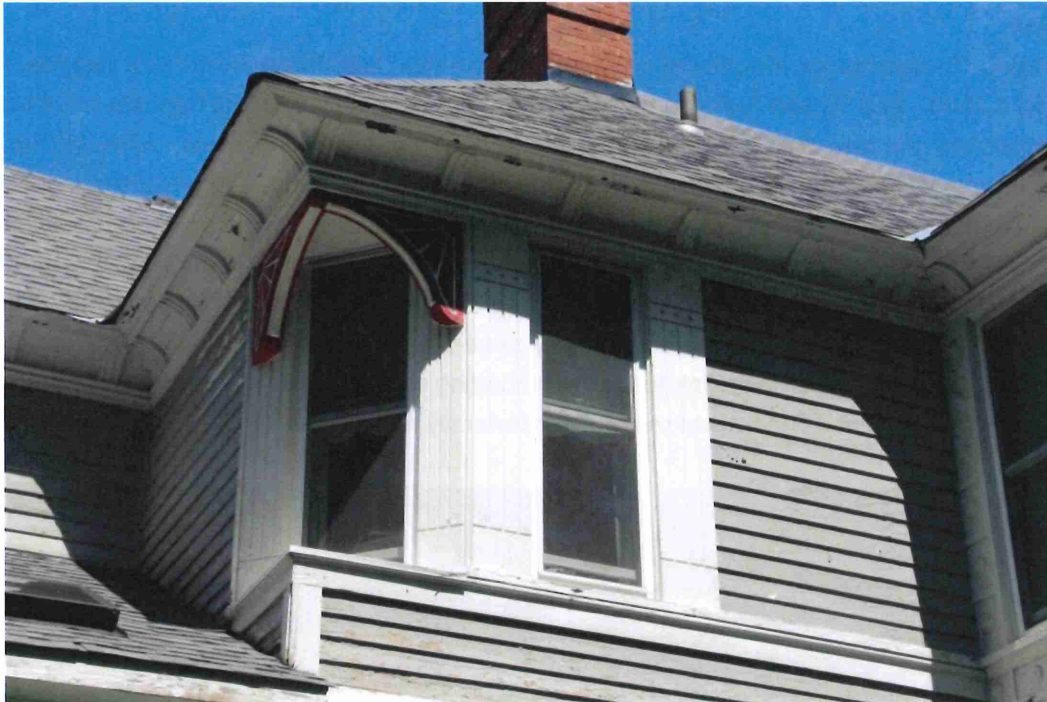


Figure 132. Detail of cornice decorative details and brackets.



Figure 133. Overview of the conical tower and dominant front-facing gable on the facade.

A one-story enclosed porch spans the length of the front facade. Based on a historic photograph and information from the current property owner, the original turned posts and balustrade were removed and the porch was enclosed with a solid balustrade and screen windows prior to 1970 (see Figures 134 and 135).¹⁹² The porch has a low-pitched hip-with-gable roof covered with asphalt shingles, overhanging eaves supported by decorative brackets, and solid clapboard balustrade.



Figure 134. Front (northwest) facade, view facing southeast.

¹⁹² Elaine Schwartz, interview with Mead & Hunt, Inc., June 21, 2016.



Figure 135. c.1900 photograph showing the Staples family in front of the original porch, view facing southeast.¹⁹³

It appears that the original porch entrance was removed at the time of the alteration and a series of concrete steps located at the northwest corner of the side (southwest) elevation lead to a screen door with decorative wood spandrels that now provides access to the porch. This door is flanked by two screen sidelights and screened transom above (see Figure 136). Two modern skylights have been added to the porch roof at this location.

¹⁹³ "Staples Family," c 1900, Staples Family Folder, Dakota County Historical Society.



Figure 136. Concrete steps located at the northwest corner of the porch and decorative screen door.

The side (southwest) elevation features corner boards, simple wood molding, a two-story bay, and one-story wraparound porch (see Figure 137). The bay features cutaway corners with decorative brackets accented with red paint, circular details, incised lines, angled clapboard, and an inscribed vase with budding branches and leaf details accented by red, brown, and green paint (see Figure 138). A stained-glass transom is located above a fixed pane window on the first-story of the bay. The remaining windows are one-over-one, double-hung sash with simple wood surrounds.



Figure 137. Overview of side (southwest) elevation, view facing north.



Figure 138. Detail of two-story bay window, view facing northwest.

A one-story porch wraps around the side (southwest) and rear (southeast) elevations. Based on the c.1900 photograph (see Figure 135), it appears as if the original turned porch posts and decorative brackets were replaced at some point with the current supports and balustrade. The porch has a low-

pitched hip roof covered with asphalt shingles supported by square wood posts and an enclosed balustrade (see Figure 139).



Figure 139. Rear (southeast) elevation, view facing northwest.

The porch is accessed by three wood steps located on the rear (southeast) elevation that lead to a modern entrance door. The rear elevation features a low-pitched gable wall dormer; single-light fixed window; and three one-over-one, double-hung sash windows with simple wood surrounds. A one-story gable wing is attached to the rear (southeast) elevation. It is unclear what function the wing served before a shed roof addition was added and both were converted into a two-bay garage. The garage has two modern overhead garage doors; a modern metal entrance door with multi-light window; and four, one-over-one, double-hung sash windows and one small fixed window with simple surrounds (see Figure 140).



Figure 140. Garage addition at rear (southeast) elevation, view facing northeast.

The side (northeast) elevation features a two-story projecting gable; corner boards; simple wood molding; narrow corner windows; and one-over-one, double-hung sash windows with simple wood surrounds. The projection features bargeboards with incised lines and circular details accented with red paint, and a group of three windows with simple wood surrounds in the gable end. The second story features paired windows with flat wood ledge/projection supported by decorative brackets accented in red paint. A modern entrance door sheltered by a shed roof portico is located near the flagstone patio area (see Figure 141).



Figure 141. Overview of the side (northeast) elevation, view facing west.

A modern molded plastic shed is located at the rear (southeast) of the garage (see Figure 142). The shed has a front gable roof and paired doors with multi-light windows. No other buildings, structures, or objects are located on the property.



Figure 142. Modern shed, view facing northeast.

According to the property owners, the interior of the house has been modified. The interior was not accessed during the site visit.

History

This Staples House is located in the Somerset View subdivision in Section 13 of Mendota Heights (formerly Mendota Township) in Dakota County.¹⁹⁴ Mendota Township, which became the village of Mendota Heights in 1956 and then a city in 1974, was established by Dakota County commissioners in 1858. Prior to European settlement, the rolling land of the township was covered with oak and maple timber with low marsh land and lakes scattered throughout. Many of the earliest pioneers first settled in the town of Mendota, located on the Mississippi River in the northwest corner of township, but began clearing land for farming within the wider township once more land in Dakota County was opened for settlement.¹⁹⁵ Mendota Township remained agricultural well into the twentieth century.¹⁹⁶ While agricultural development occurred throughout the township, a number of early farms were concentrated on early transportation routes, including Dodd Road. The Staples House was one of just a few farmsteads located along Dodd Road in the mid-1880s. While development did increase, Mendota

¹⁹⁴ Dakota County, "Dakota County GIS."

¹⁹⁵ *History of Dakota County and the City of Hastings*, 516.

¹⁹⁶ Schreier, *Picturing the Past: Events That Shaped Dakota County in the Twentieth Century*.

Heights did not experience a population boom until the mid-twentieth century. Many of the houses directly surrounding the Staples House date to postwar development, with a few from earlier decades and the mid-2000s.¹⁹⁷

Building history and owners

The Staples House is situated on the southeast side of Dodd Road (TH 149), which is an important north/south transportation arterial that bisects the city of Mendota Heights. According to the Dakota County property data and the current property owners, the Staples House was constructed in 1870, nearly a decade prior to the mainstream popularity of the Queen Anne style. While it is possible that the house is an early example of the style, the 1870 construction date is highly unlikely due the rate at which architectural trends spread across the country from east to west. Therefore, it is believed that the house was constructed at a later date.

Charles F. Staples was the original owner of the house. He was born in Dakota County in 1856 and would have been only 14 years old if the house was constructed in 1870. While his father, Samuel Cole Staples, was a builder and prominent member of the local community, it seems unlikely that he would have built a house for his young son, especially when the rest of the family resided in a rather sizeable house (nonextant) further south on Dodd Road. Additionally, a review of an 1874 plat map did not indicate Staples's ownership, including Charles or the family, or that a house was present (see Figure 143). Moreover, neither Charles nor the family appear in the 1881 township directory.¹⁹⁸ However, the Staples name does appear on an 1886 plat map, but due to the poor quality of the map it is difficult to identify whether structures were present.¹⁹⁹ It is not until 1890 that Charles Staples appears on a plat of Mendota Township, and by 1896 his name, along with two structures, appear on another township plat, situated close to Dodd Road on what appears to be a 40-acre parcel.²⁰⁰ Therefore, a date of c.1885 has been assigned to the house.

¹⁹⁷ Schreier, *Picturing the Past: Events That Shaped Dakota County in the Twentieth Century*, 334, 337; Dakota County, "Dakota County GIS"; "Historical Aerial Photograph, Dakota County," 1970; "Historical Aerial Photograph, Dakota County," 1957; "Historical Aerial Photograph, Dakota County," 1953.

¹⁹⁸ *History of Dakota County and the City of Hastings*, 533–535.

¹⁹⁹ Foote Warner, "Map of Ramsey and Washington Counties: With Adjacent Portions of Anoka, Dakota & Hennepin Counties, Minn.," 1886, available at Minnesota Historical Society Collections.

²⁰⁰ B.F. Pinkney, "Plat Book of Dakota County, Minnesota" (Philadelphia: Union Publishing Company, 1896), 22, <http://reflections.mndigital.org/cdm/ref/collection/mhs/id/834>.

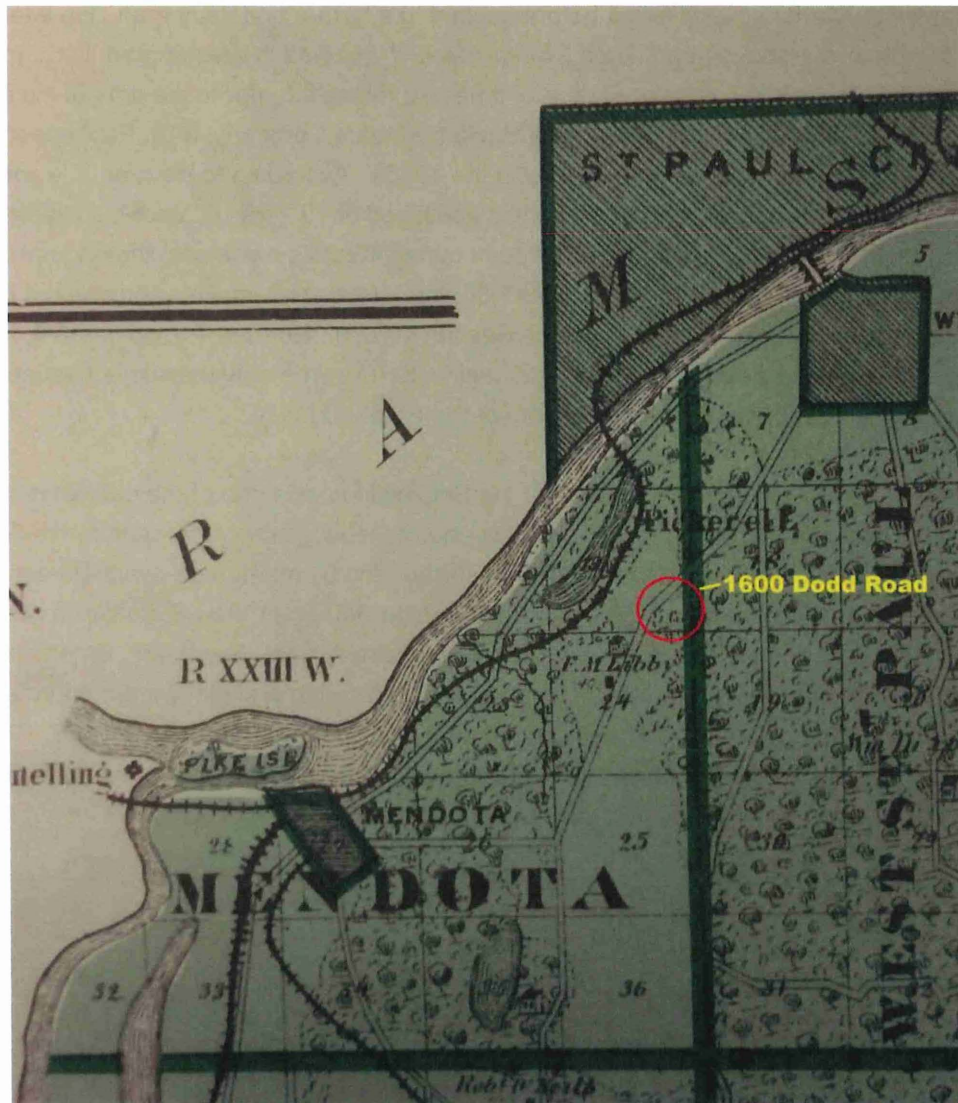


Figure 143. 1874 map of Mendota Township. The red circle indicates the approximate location of the subject property.²⁰¹

Research indicates that Charles F. Staples was a farmer. One source stated that he operated one of the largest dairies in the state of Minnesota; however, research was unable to substantiate that claim or confirm the location of the dairy farm as being at 1160 Dodd Road.²⁰² An outbuilding is visible in the background of the c.1900 family photograph (see Figure 135), and subsequent occupants recalled two frame houses present on the site, as well as a large barn and a shed in the 1930s.²⁰³

²⁰¹ A.T. Andreas, "Illustrated Historical Atlas of the State of Minnesota" (Chicago: A.T. Andreas, 1874), Borchert Map Library, University of Minnesota, http://geo.lib.umn.edu/twin_cities_maps/reference/map01428a.jpg.

²⁰² "C.F. Staples," *St. Paul Pioneer Press*, c 1890, Dakota County Historical Society; "C.F. Staples"; "Mendota Map 1890," 1890.

²⁰³ Angelo Cohn, *Norman B. Mears: The Man Behind the Shadow Mask (Men of Achievement Series of Biographies)* (Minneapolis: T.S. Denison, 1972), 29–30.

Charles F. Staples taught for several years before becoming a farmer and dairy man. He later served as a member of the State Warehouse and Grain Commission.²⁰⁴ He died in Washington, D.C., in 1932; it is unclear if he was still living in the Staples House or if he had relocated prior to the time of his death.

Norman Thompson Mears, one of the founders of Buckbee-Mears Company, a St. Paul-based photoengraving company, purchased the property in the 1930s. According to Norman T.'s son, Norman B. Mears, when his parents purchased the property it consisted of 10 acres of land, the Staples House, a second frame house, a barn, and shed. At some point during Mears's ownership the original parcel was divided and a second parcel was created. A c.1940 Colonial Revival house was constructed by Norman B. Mears on the second parcel (DK-MH-0035, see Section 4.4.13). Norman T. died in 1974, and in 1978 his widow, Hella, sold the property to the Schwartz family. By this time only the subject house was extant.²⁰⁵ The Schwartz family are the third owners of the Staples House.

Based on a review of historic plat maps it appears the Staples House is one of the earliest residences constructed in this section of Mendota Township. It is one of the few nineteenth-century residences scattered along this stretch of TH 149 that have been surrounded by mid-to-late-twentieth-century residential development. The house is currently located in the Somerset View Subdivision, which is an irregular polygon roughly bound by Dodd Road (west), Delaware Avenue (east), and Emerson Avenue/Somerset Golf Course (south) (see Figure 144). The drawing and plat were completed by noted St. Paul architect, James C. Niemeyer, and approved by the Register of Deeds on May 28, 1936.²⁰⁶ Interestingly, two subdivision roads included on the plat adjacent to the Staples House (Burr Oak Avenue to the north and Somerset Road to the east) were not constructed.

²⁰⁴ "C.F. Staples."

²⁰⁵ Cohn, *Norman B. Mears: The Man Behind the Shadow Mask (Men of Achievement Series of Biographies)*, 29–30; Hella Mears Hueg, interview with James E. Fogerty, November 6, 2007, Minnesota Historical Society Collections, <http://collections.mnhs.org/cms/web5/media.php?pdf=1&irn=10171078>; Elaine Schwartz, Interview with Mead & Hunt, Inc., June 21, 2016.

²⁰⁶ James C. Niemeyer, "Somerset View, Dakota County Minnesota" (Dakota County, May 28, 1936), <http://gis.co.dakota.mn.us/plats/pdfs/plats/J-26-1.pdf>.

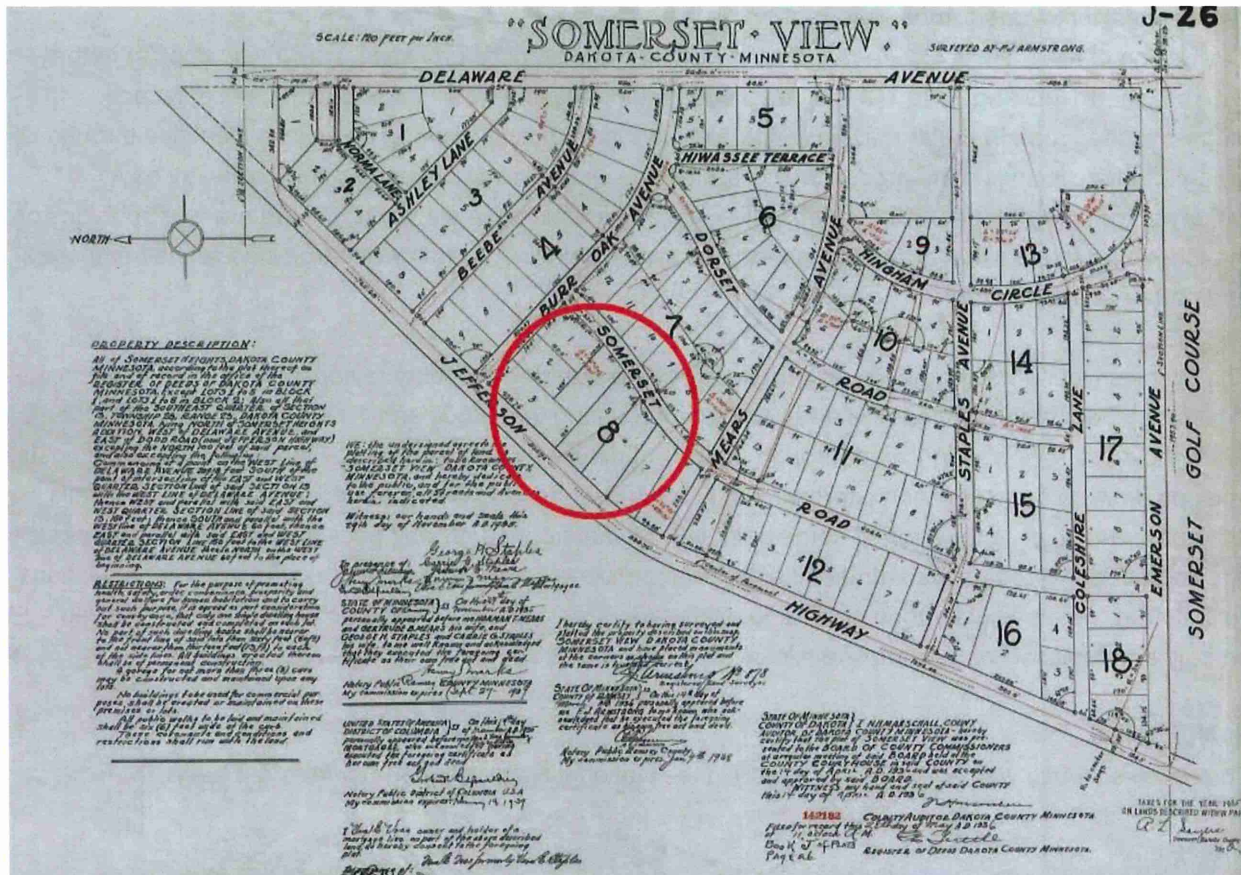


Figure 144. 1936 Somerset View Subdivision plat. The area circled in red is the approximate location of the Staples House. TH 149/Dodd Road is identified as the Jefferson Highway.²⁰⁷

²⁰⁷ Niemeyer, "Somerset View, Dakota County Minnesota."

The spindlework Queen Anne style

The design of the Staples House reflects the Queen Anne architectural style, which was popular in the U.S. between 1880 and 1910. Characteristic features of the style include an asymmetrical facade, steeply pitched roof, irregular massing, and dominant front-facing gable. The style is identified through its ornamentation, including the presence of a partial, full-width, or wrap-around porch; cutaway bay windows; towers; and the use of varied wall surfaces as decorative elements. There are four subtypes of the Queen Anne style that are based on the decorative detailing: spindlework, free classic, half-timbered, and patterned masonry.²⁰⁸

The Staples House was originally an expression of the spindlework subtype applied to a rural residence. Popular in the greater Minneapolis and St. Paul area during the 1880s and 1890s, this subtype of Queen Anne architecture is distinguished through the use of delicate wood elements, such as turned wood posts and spindlework ornamentation expressed in porch balustrades and suspended friezes, incised details, and corner brackets. However, at some point the original front porch was enclosed and the turned posts and balustrade were removed. In addition, the wraparound porch located on the side and rear elevations was altered. The original turned posts and balustrade visible in the c.1900 photograph were removed entirely and replaced with a simple enclosed balustrade and square wood post supports.

Evaluation

The Staples House was evaluated for listing in the National Register under *Criteria A, B, and C*.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history that was important to the development of Minnesota, Dakota County, or Mendota Heights. Research did not reveal significant historic events that occurred at the Staples House. While this house has served as a rural residence within what was historically Mendota Township, it does not represent early settlement patterns. If it anchored a large dairy farm associated with Charles F. Staples, it no longer retains the agricultural outbuildings needed to convey its significance as a farmstead. As such, the Staples House is recommended not eligible under *Criterion A*.

Criterion B

To be eligible under *Criterion B: Significant Person*, a property must be associated with a person who made a significant contribution to the development of Minnesota, Dakota County, or Mendota Heights. The Staples House does not appear to be associated with significant individuals. Although research indicates that Staples operated a large dairy, no evidence was found to substantiate that claim or suggest he played a significant role in the history of the community.²⁰⁹ While Norman T. Mears, one of the founders of the Buckbee-Mears Company of St. Paul, also resided in the house between the 1930s and

²⁰⁸ Virginia McAlester and Lee McAlester, *A Field Guide to American Houses* (New York: Alfred A. Knopf, 2000), 345–348.

²⁰⁹ "C.F. Staples."

1970s, his significance would be better represented by a property related more closely to industry.²¹⁰ Therefore, the property is recommended not eligible under *Criterion B*.

Criterion C

To be eligible under *Criterion C: Architecture*, a property must represent the work of a master, possess high artistic value, and/or embody the distinctive characteristics of type, period, or method of construction. It is not known whether the Staples House is architect-designed or who built it. As such, it is unlikely that the house is significant as a work of a master.

The Staples House was evaluated as a representative example of the spindlework Queen Anne architectural style. For a resource to be eligible it must clearly exhibit enough characteristics to be considered a true representative example of the style. The Staples House does exhibit some characteristic elements of Queen Anne architecture such as irregular massing, an asymmetrical facade, tower, cutaway corners, a prominent front-facing gable, and incised decorative embellishments and corner brackets. However, these details are limited in their expression and one of the most prominent character-defining features of the spindlework subtype, the elaborate porch ornamentation, has been removed. In addition, the front porch alteration resulted in reorientation of the primary entrance to a screen door on a secondary elevation.

Queen Anne architecture was popular in rural and urban areas during the late nineteenth and early twentieth centuries. Within the context of the greater Minneapolis and St. Paul area, including Mendota Township, Queen Anne residences are commonplace with large numbers constructed in the 1880s and 1890s. Compared to other Queen Anne residences, the Staples House is an altered interpretation of the style and lacks the original spindlework ornamentation needed for it to be considered as a true representative example of the style. Therefore, it is recommended not eligible under *Criterion C*.

Integrity

The Staples House is not significant under *Criteria A, B, or C*; therefore, review of integrity is not warranted.

Recommendation

The Staples House is recommended not eligible for the National Register under *Criteria A, B, or C*.

²¹⁰ "C.F. Staples."

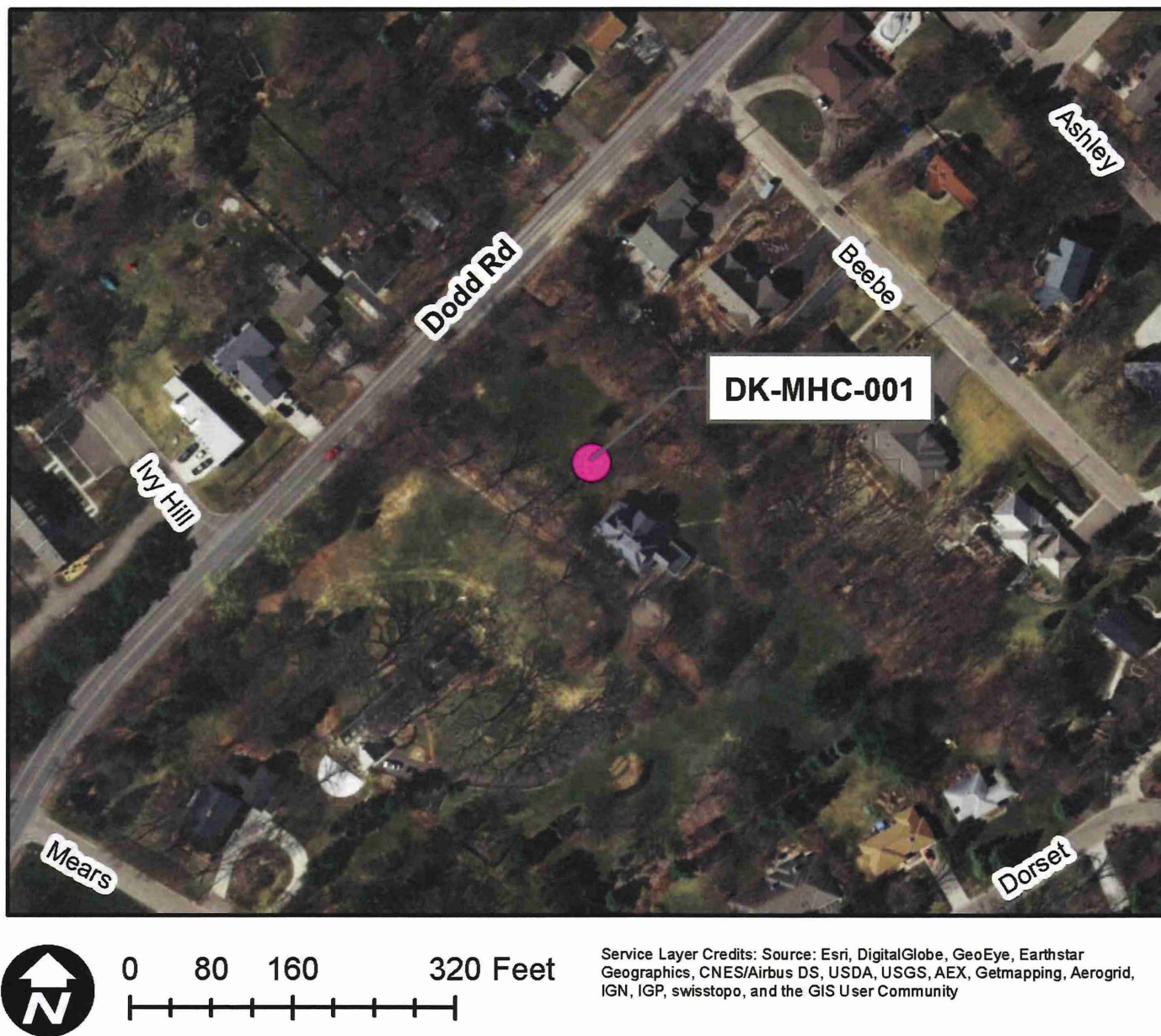


Figure 145. Staples House location map.

4.4.13 Norman B. Mears House

MnHPO Inventory Number: DK-MHC-035

Address: 1170 Dodd Road

City/Township: Mendota Heights

Description

The Norman Beebe Mears House (Mears House) is located in the Somerset View Subdivision and was constructed in 1938.²¹¹ This two-story, side-gable house is set back approximately 150 feet from the southeast side of Dodd Road near the rear (south) of a 2.17-acre parcel. It is obscured by a combination of shrubs/brush and mature coniferous and deciduous trees. A limestone retaining wall is located along the northwest side of the property parallel to Dodd Road. The house is situated on a slight rise on the property and oriented roughly parallel to Dodd Road (northeast/southwest) with the rear (northwest) elevation facing the road.

The property is accessed by a long tree-lined driveway that also provides access to an adjacent residence: 1160 Dodd Road (Charles F. Staples House, DK-MHC-0001, see Section 4.4.12). From the shared drive, the driveway curves to the south and west before stopping at a c.1950 two-car garage attached to the front (southeast) facade of the house. A limestone retaining wall follows a portion of the south side of the driveway. A curved brick walkway leads to the original wood panel entrance door with a fixed multi-light window. A series of concrete steps located at the northeast corner of the house lead to a second entrance located on the front facade. The house is surrounded by a large yard with grassy lawn, shrubs, and flowering plants (see Figures 146 and 147).



Figure 146. Overview of the parcel showing the setting, including the driveway in the foreground and front (southeast) elevation, view facing west.

²¹¹ According to the Dakota County online property records webpage, the Mears House was constructed in 1938.



Figure 147. Overview of the parcel showing the setting and rear (northwest) elevation, view facing south.

The house has a rambling, rectangular plan with asymmetrical fenestration on the front (southeast) facade and rear (northwest) elevation. A c.1950, attached, two-car garage is located at the side (south) elevation, while the other side (north) elevation features an at-grade, attached, single-bay garage (see Figures 148, 149, and 150). The house is clad in wide-lap clapboard and rests on a concrete foundation. The side gable roof is covered with wood shingles and features three interior chimneys and boxed eaves with simple cornice molding. A majority of the windows are flanked by wood shutters.



Figure 148. Overview of the front (southeast) facade showing the rambling rectangular plan, view facing south.



Figure 149. c.1950 two-car garage attached to the side (south) elevation, view facing southwest.



Figure 150. Single-bay garage attached at the side (north) elevation, view facing southwest.

The house displays modest Colonial Revival details, including a boxed cornice with little eave overhang; multi-light, double-hung, sash windows with shutters; bay windows; and square column porch supports. Unlike a majority of Colonial Revival houses, the front facade does not feature symmetrically balanced windows and a centered entrance door. Instead, the windows are slightly offset and the entrance is off-center (see Figure 151).



Figure 151. Overview of the front facade, view facing northwest.

The first story of the front facade features a one-story recessed porch with square columns. The porch shelters the main entrance, which is flanked by multi-light windows with simple wood surrounds. Remaining windows consist of large, fixed, multi-light; six-over-six, double-hung sash; and skylights. A secondary wood panel entrance door with a fixed multi-light window is located at the north end of the facade. Sliding glass patio doors and a c.1950 attached garage with the original wood-panel overhead door with fixed windows are also located on the front facade (see Figure 152).



Figure 152. Overview of the attached garage on the front facade, view facing southwest.

The second story of the front facade resembles a continuous dormer and features three large, fixed, multi-light windows. Sliding glass patio doors lead to a small veranda with a simple metal railing directly above the main entrance (see Figure 150).

The rear elevation is partially obscured by foliage but displays asymmetrical fenestration similar to the front facade. Decorative details are primarily limited to fixed, multi-light and six-over-six, double-hung, sash windows and three one-story bays. Two of the bays feature large multi-light windows flanked by six-over-six, double-hung windows (see Figure 153). The bay at the southwest corner has a large multi-light window flanked by narrow multi-light entrance doors (see Figure 154).



Figure 153. Overview of rear elevation, much of which is obscured by vegetation, view facing southeast.



Figure 154. Detail of bay on the rear facade, with doors on either side.

A one-story enclosed porch with replacement, one-over-one, double-hung, sash windows; a modern entrance door; and a single, six-over-six, double-hung, sash window is located at the north end of the rear elevation (see Figure 155).



Figure 155. Overview of enclosed porch on the side elevation, view facing southeast.

The south end of the rear elevation consists of a one-story, side-gable wing that is part of the original massing. It now houses an indoor swimming pool. The wing features three pairs of large, fixed light windows and three skylights (see Figure 156). The side (south) elevation consists of a group of three modern, large, glass patio doors with three large, polygonal fixed windows above (see Figure 157). Two single-pane sliding windows are located on the garage addition.



Figure 156. Overview of southern wing rear elevation, view facing southeast.



Figure 157. Overview of the side (south) elevation with attached garage, view facing northeast.

History

This property is located in the Somerset View Subdivision in Mendota Heights (formerly Mendota Township) in Dakota County.²¹² Mendota Township, which became the village of Mendota Heights in 1956 and then a city in 1974, was established by Dakota County commissioners in 1858. Prior to European settlement, the rolling land of the township was covered with oak and maple timber with low marsh land and lakes scattered throughout. Many of the earliest pioneers first settled in the town of Mendota, located on the Mississippi River in the northwest corner of the township, but began clearing land for farming within the wider township once more land in Dakota County opened for settlement.²¹³ Mendota Township remained agricultural well into the twentieth century.²¹⁴ A number of early farms were located on transportation routes, including Dodd Road. The Mears House is situated on land that was historically associated with the Charles F. Staples House (DK-MHC-0001), located on the adjacent parcel.

The Mears House is a representative example of early-twentieth-century development in Mendota Heights. It was during this time that several of the surrounding farms and agricultural land holdings were sold off and platted for residential development. The land surrounding the Mears House was no different. Although the area was platted in 1936, much of the development did not occur until after World War II.²¹⁵

²¹² Dakota County, "Dakota County GIS."

²¹³ *History of Dakota County and the City of Hastings*, 516.

²¹⁴ Schreier, *Picturing the Past: Events That Shaped Dakota County in the Twentieth Century*.

²¹⁵ Schreier, *Picturing the Past: Events That Shaped Dakota County in the Twentieth Century*, 334, 337; Dakota County, "Dakota County GIS"; "Historical Aerial Photograph, Dakota County," 1970; "Historical Aerial Photograph, Dakota County," 1957; "Historical Aerial Photograph, Dakota County," 1953.

Building history and owners

The Mears House is situated on the southeast side of Dodd Road, which is an important north/south transportation arterial that bisects the city of Mendota Heights. The house was constructed on land that was historically associated with the Charles F. Staples property, located immediately northeast. Charles F. Staples acquired approximately 40 acres of land sometime in the late nineteenth century and constructed a c.1885 Queen Anne house. Shortly after Staples's death in 1932, Norman Thompson Mears, Norman Beebe's (Norman B.) father, purchased the Staples property, which had by that time been reduced to 10 acres.²¹⁶ According to Norman B.'s biography, the 10-acre property had two frame houses, including the extant Staples House, a large barn, and a shed when his family moved there in the 1930s.²¹⁷

Research did not identify when or why the Staples' 10-acre parcel was subdivided. However, it likely coincided with the 1936 platting of the Somerset View Subdivision (both the Staples and Mears Houses are located within it). The plat was completed by noted Saint Paul architect James C. Niemeyer and approved by the Register of Deeds on May 28, 1936 (see Figure 158).²¹⁸ Interestingly, two subdivision roads included on the plat adjacent to the Mears House (Burr Oak Avenue to the north and Somerset Road to the east) were not constructed.

²¹⁶ Angelo Cohn, *Norman B. Mears: The Man Behind the Shadow Mask (Men of Achievement Series of Biographies)* (Minneapolis, Minn.: T.S. Denison, 1972), 29–30.

²¹⁷ Cohn, *Norman B. Mears: The Man behind the Shadow Mask (Men of Achievement Series of Biographies)*, 29–30.

²¹⁸ Niemeyer, "Somerset View, Dakota County Minnesota."

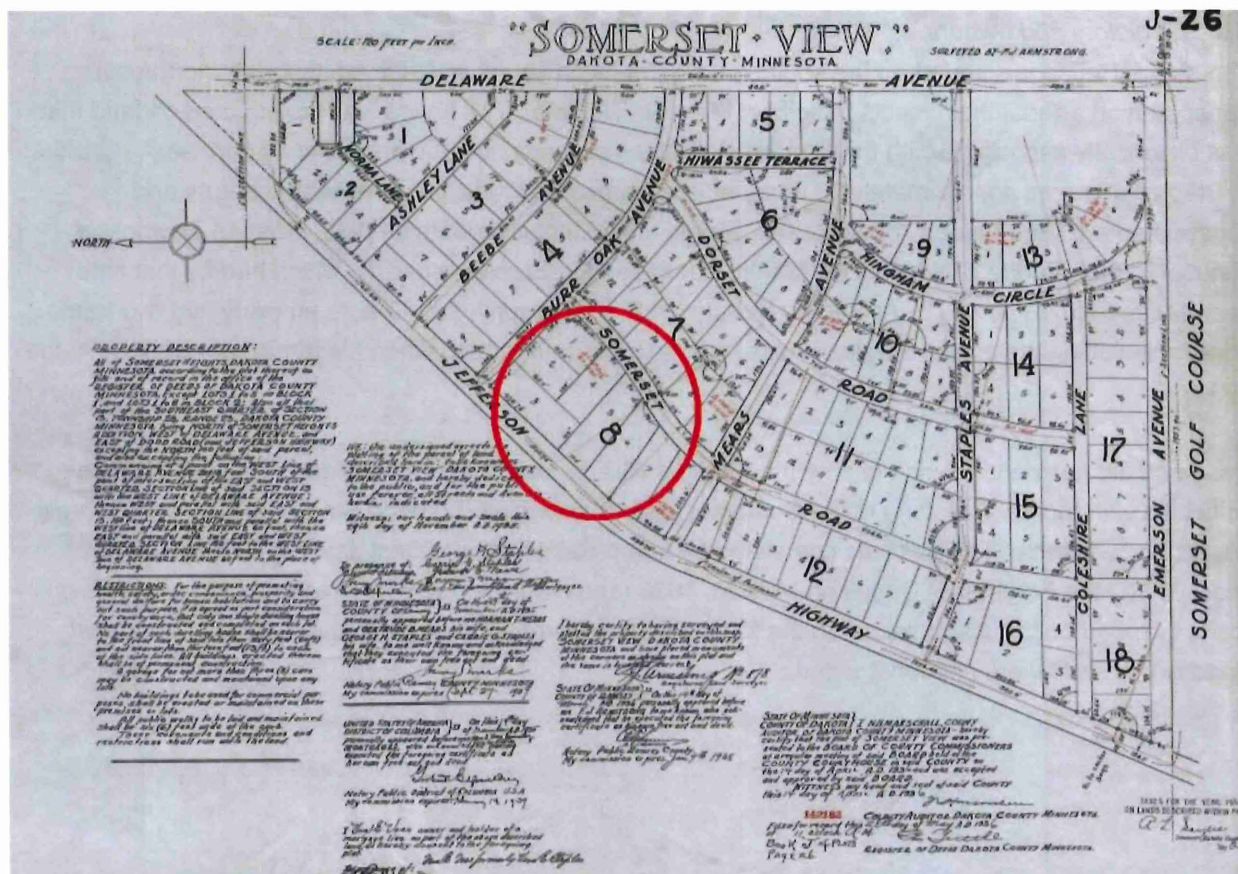


Figure 158. Somerset View subdivision plat. The area circled in red is the approximate location of the Mears House property.²¹⁹

Norman B. Mears, the son of Norman T. Mears, was born on May 26, 1904, in Hennepin County, Minnesota. His father and his uncle, Charles E. Buckbee, founded the Buckbee-Mears Company (BMC), a small St. Paul-based photoengraving business, in 1907. BMC was one of the first businesses to offer photo engraving and etching services in the Midwest. After trying his hand farming in Ipswich, South Dakota, Norman B. returned to the Saint Paul area in the 1920s to work for BMC. By the late 1930s he was the general manager and director. It was under his leadership that BMC diversified and began offering a variety of graphic art services, including commercial photography, lithography, photo-offset plate-making, and photochemical engraving.

Using photochemical engraving and reproduction, Mears invented a method for etching grids on the eyepieces of military equipment for use as sighting devices. These devices, known as reticles, were utilized by United States and Allied forces in World War II. BMC's ability to mass-produce reticles with great precision was groundbreaking in the photo-engraving community and was the start of its transition into larger markets.²²⁰ After World War II ended, Mears invented the equipment and process for making

²¹⁹ Niemeyer, "Somerset View, Dakota County Minnesota."

²²⁰ Cohn, *Norman B. Mears: The Man behind the Shadow Mask (Men of Achievement Series of Biographies)*, 119–120.

an important component of color televisions, known as the shadow mask, at mass production rates.²²¹ For the next decade Mears and BMC continued to refine the manufacturing and technology needed to produce the shadow mask. In 1957 Mears became president of BMC and by the mid-1960s, 99 percent of the nearly five million color televisions sold in the country were equipped with BMC's shadow mask, and the company had gone public.²²² By the late 1960s BMC transitioned into the ophthalmic lens business. Mears retired in 1968 and focused his attention on revitalizing the Lowertown area of Saint Paul.²²³ By the time Mears died in 1974, he had managed to transform BMC into an international company that held more than 25 U.S. patents and several foreign patents. He was posthumously inducted into the Minnesota Inventors Hall of Fame in 1993.²²⁴

It is unclear how long Norman B. Mears occupied the house, but it was likely into his retirement. It continues to be owned by members of the Mears family.

Colonial Revival architecture

The design of the Mears House reflects the Colonial Revival architectural style popular in the U.S. between 1880 and 1955.²²⁵ Characteristic features of the style include boxed roof-wall junctions with little overhang, accentuated front doors with decorative pediments and pilasters, doors with overhead fanlights and sidelights, multi-light windows with double-hung sashes, and symmetrical facades.

There are nine subtypes of Colonial Revival architecture based on form. The Mears House is an expression of the asymmetrical subtype applied to a late-1930s residence, which is distinguished through the rambling form with asymmetrical fenestration. In addition to these characteristics, the Mears House displays elements characteristic of the overall Colonial Revival style, such as boxed roof-wall junctions with minimal eave overhang and multi-light windows. This subtype was popular prior to 1900, and reemerged in popularity in the 1930s. These later interpretations of this subtype are less elaborate examples of the Colonial Revival style and display modest decorative details. Examples of this size and scale are uncommon along the Dodd Road corridor and in the adjacent neighborhoods.²²⁶

²²¹ Cohn, *Norman B. Mears: The Man Behind the Shadow Mask (Men of Achievement Series of Biographies)*, 163–66.

²²² "BMC Industries, Inc. History," *Funding Universe*, 2004, <http://www.fundinguniverse.com/company-histories/bmc-industries-inc-history/>.

²²³ "Norman B. Mears - 1993 Inductee," *Minnesota Inventors Hall of Fame*, 2016, <http://www.minnesotainventors.org/inductees/norman-b-mears.html>.

²²⁴ "Norman B. Mears - 1993 Inductee," *Minnesota Inventors Hall of Fame*, 2016, <http://www.minnesotainventors.org/inductees/norman-b-mears.html>.

²²⁵ Virginia Savage McAlester, *A Field Guide to American Houses* (New York: Alfred A. Knopf, 2013), 409.

²²⁶ McAlester, *A Field Guide to American Houses*, 409.

Evaluation

The Mears House was evaluated for listing in the National Register of Historic Places under *Criteria A, B, and C*.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history, as well as demonstrate that the event was important to the development of Minnesota, Dakota County, Mendota Heights, or the surrounding area. Research did not reveal significant historic events that occurred at this property. While this house is an example of a 1930s suburban residence within Mendota Heights, it does not individually represent twentieth-century settlement patterns. As such, the Mears House is recommended not eligible under *Criterion A*.

Criterion B

To be eligible under *Criterion B: Significant Person*, the property must be associated with a person who made a significant contribution to the development of Minnesota, Dakota County, Mendota Heights, or the surrounding area. As the son of one of the founders of the Buckbee-Mears Company, Norman B. Mears played an important role in the company's success in the mid-to-late twentieth century. Mears was responsible for the development and mass production of reticles, an important military tool used during World War II, along with improvements to the use photochemical reproduction to assist with advancements in color television technology. Under his leadership BMC evolved into an international company with publicly traded stock. He held several patents in the U.S. and abroad. Upon his retirement, Mears was instrumental in the redevelopment of a neighborhood in Saint Paul and even had a park named after him. In addition, he was posthumously inducted into the Minnesota Inventors Hall of Fame. Mears not only played an important role in the growth and development of a local business and the Saint Paul community, but he made important contributions to the photochemical engraving and reproduction.

The location occupied by BMC at the height of Norman B. Mears's leadership, which coincides with the company's major innovations, is nonextant. Mears occupied the subject house from its construction until his retirement, which spans the height of his career. The house is the best extant resource that reflects Mears's success and contributions to BMC and the photoengraving industry. Therefore, the Mears House is significant under *Criterion B*.

Criterion C

To be eligible under *Criterion C: Architecture*, the property must represent the work of a master, possess high artistic value, and/or embody the distinctive characteristics of type, period, or method of construction.

It is not known whether the Mears House is architect-designed or who built it. As such, it is unlikely that the house is significant as a work of a master. However, the Mears House is an example of a 1930s Colonial Revival house situated on a large parcel within a suburban residential subdivision. As such, the Mears House was evaluated as an example of this architectural style. For a resource to be eligible it must clearly exhibit enough characteristics to be considered a true representative example of the style. The Mears House is situated on a large lot within what is now the city of Mendota Heights. The house

Section 4

Results

has a rambling plan with minimal decorative details, which is typical of later examples of the style. While the house features a c.1950 attached garage, it exhibits characteristic elements of the asymmetrical subtype such as the rambling free-form plan, simple box-like massing, unbalanced fenestration and porch arrangements, and combination of multi-light, double-hung sash windows. The Mears House is both architecturally distinctive and an intact example of the asymmetrical Colonial Revival style. Therefore, the property is significant under *Criterion C*.

Integrity

The Mears House displays a high degree of integrity in its retention of characteristic features of the asymmetric subtype of the Colonial Revival style, including its asymmetrical fenestration, rambling free-form plan, and multi-light windows. Although a garage was added c.1950, it is sympathetic to the overall design and has similar materials, including wide-lap wood siding and a wood shingle roof. Other exterior alterations appear to be limited to skylights and modern windows on the southernmost wing, associated with the indoor pool. These are not visible from the primary facade and do not detract from the overall design aesthetic.

Recommendation

The Mears House is recommended eligible for the National Register under *Criterion B: Significant Person* for Mears's contributions to the U.S. military during World War II as well as his contributions to technological advancements in television. The house is also recommended eligible under *Criterion C: Architecture* as a good example of a large-scale, mid-twentieth-century, Colonial Revival house in Mendota Heights. The period of significance spans from the 1938 construction through 1968, when Mears retired from BMC.

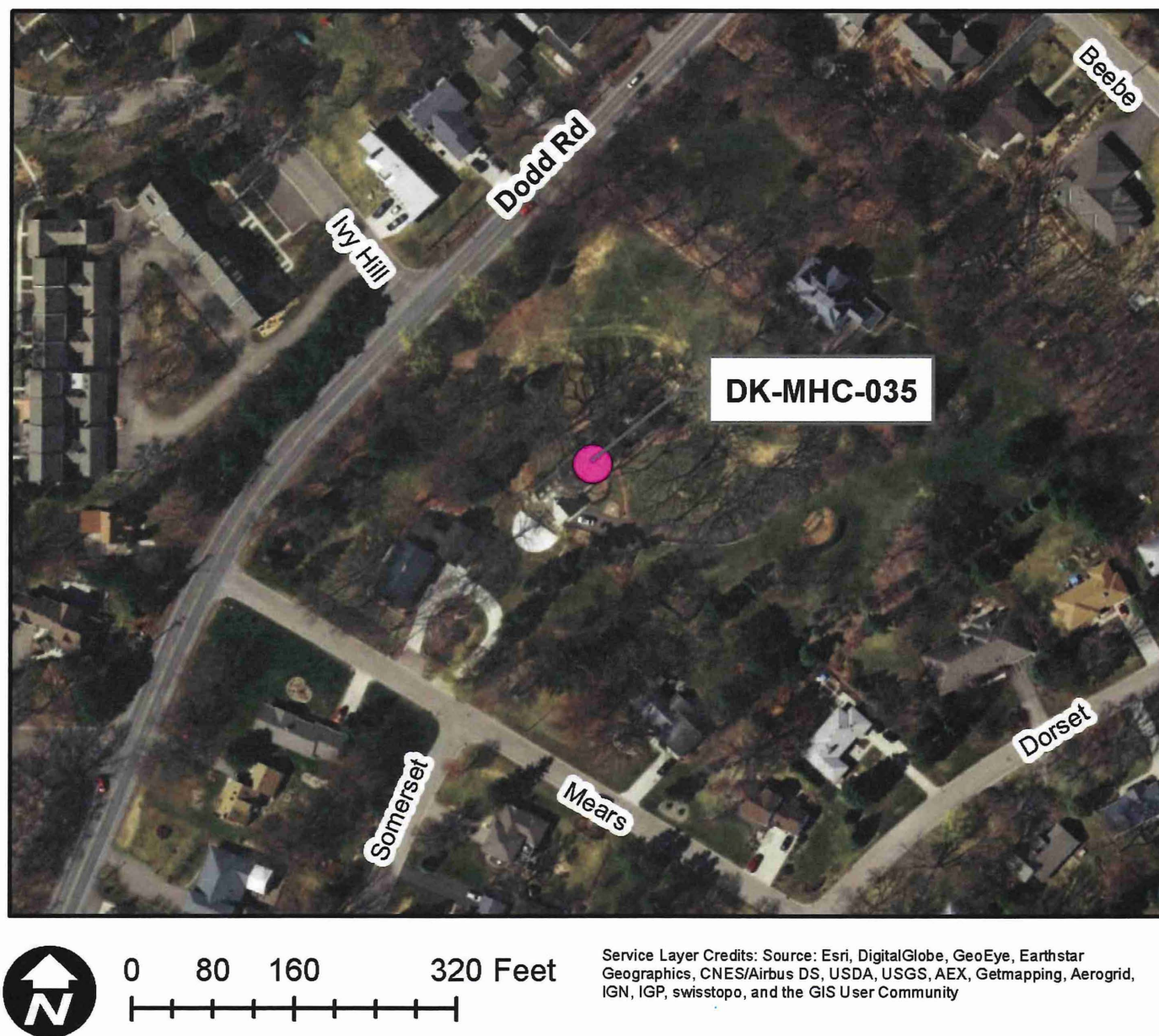


Figure 159. Mears House location map.

4.4.14 Somerset Elementary School

MnHPO Inventory Number: DK-MHC-005

Address: 1355 Dodd Road

City/Township: Mendota Heights

Description

The Somerset Elementary School (Somerset School) is located at 1355 Dodd Road in Mendota Heights, Minnesota, at the intersection of Dodd Road and Emerson Avenue. Situated within a residential neighborhood, the school is predominantly surrounded by 1970s and 1980s houses with the Somerset Country Club located across Dodd Road to the southeast. The school property is bordered by Dodd Road on the east and dense deciduous trees on the south, west, and north. The overall L-shaped school complex consists of a 1936 school building with a series of large, connected additions dating to 1953 and 1969 (see Figure 160). A 2016 addition was constructed on the east elevation of the 1969 addition. Irregularly shaped parking lots are adjacent to the school, south and north of the original 1936 school building. The southern parking lot leads to a playground located southwest of the building. The playground consists of modern equipment including slides, swings, and climbing equipment. A smaller playground is located directly south of this parking lot. The northern parking lot is situated east of the 1969 addition. Sited west of the school, behind the 1969 addition, is an open baseball diamond. A c.2000 shed is located on the north edge of the parking lot, north of the 1969 addition. A concrete sidewalk extends in front of the original 1936 school building. The sidewalk then wraps around the building and continues in front of the 1969 addition.

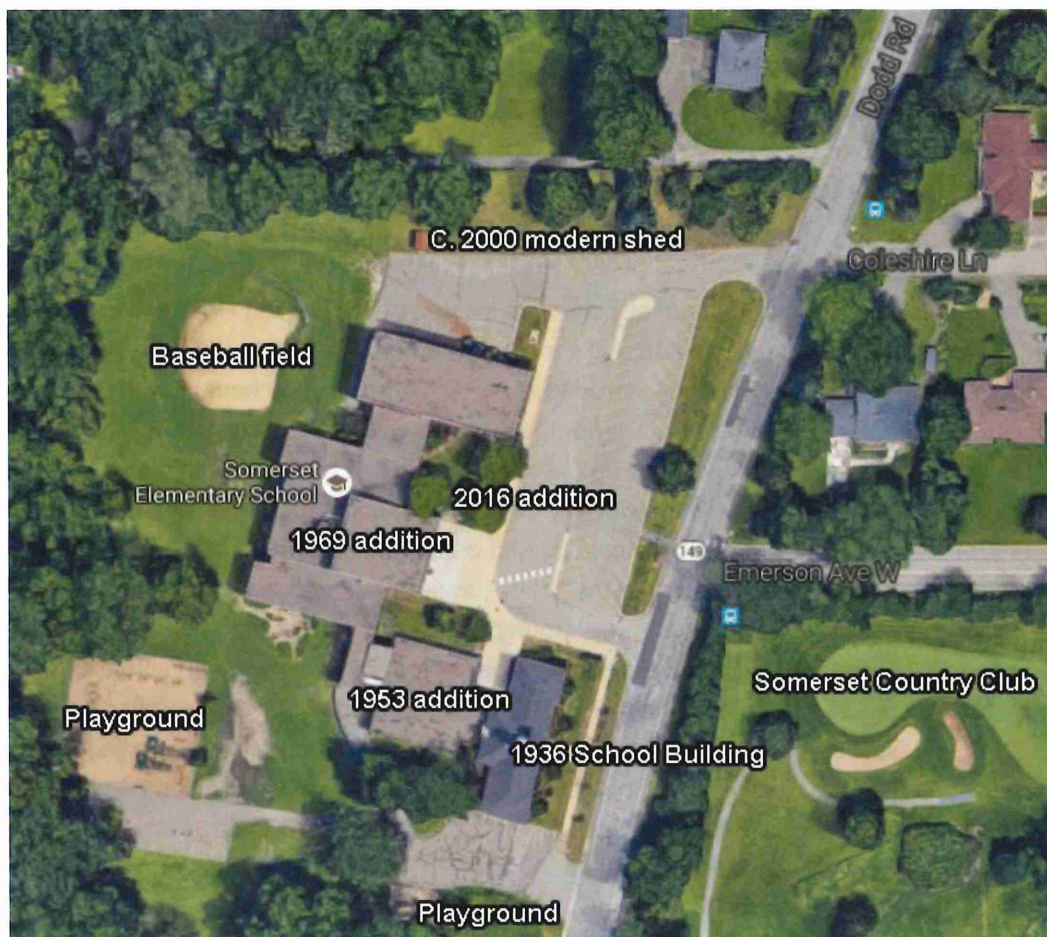


Figure 160. Aerial overview of Somerset Elementary School and surrounding properties.

The 1936 school building is sited on the east edge of the property near Dodd Road. The southeast-facing facade runs parallel to Dodd Road, which is orientated northeast to southwest. The one-story, rectangular, Colonial Revival building is located on a slight hill and features a walkout basement. It is clad in Flemish common bond brick and has a hip roof that is covered with asphalt shingles. The symmetrical building features a central, wood, bell tower above the main entrance. The bell tower has a turned balustrade and circular and arched openings. A course of soldier-lock brick wraps around the building at the water table with stone quoins at the corners. A date stone that reads 1936 is located at the northeast corner. Windows on all elevations consist of replacement double-hung sash in the original openings (see Figure 161). The replacement windows and modern access doors are the only changes to the building's exterior.



Figure 161. 1936 school building, facing northwest. Note replacements windows.

The symmetrical, front (southeast) facade is massed in three sections, a central block flanked by two projecting bays. It features a central recessed entrance with a stone Georgian Revival surround comprised of square stone Ionic columns and entablature. Within the entablature it reads "School District No. 5 Dakota County." Wood sconces are located on either side of the entrance (see Figure 162). The multi-light, replacement glass door has a multi-light side-light and transom. Three sets of paired windows on both the first story and the basement level extend across the central block of the facade on either side of the entrance. The windows are nine-over-nine, double-hung sash on the first story and one-over-one, double-hung sash on the basement level. The projecting bays at either end of the facade have a central square section with recessed brick. This section has dentil bricks and a rectangular stone detail at the upper edge.



Figure 162. 1936 school building door surround, facing west.

The side elevations (northeast and southwest) are nearly identical. Both feature three pairs of windows on the first story and basement level. Like the facade, the first-story windows are nine-over-nine, double-hung sash. The basement level of the southwest elevation is more exposed than the northeast elevation and, therefore, can accommodate the larger nine-over-nine, double-hung windows at this level. The basement level of the northeast elevation mirrors the facade with one-over-one, double-hung sash (see Figure 163).



Figure 163. 1936 school building, facing southwest.

The rear (northwest) elevation features a central, full-height wing. This wing features an exterior brick chimney and connects with a one-story hyphen that is part of the 1953 addition. Multiple basement entrances are accessed on this elevation. At the north end of the building a fourth basement entrance is accessed by a concrete staircase. Windows on the rear elevation are consistent with those on the facade with the exception of six-over-six, double-hung sash on the wing (see Figure 164).



Figure 164. Rear (northwest) elevation of the 1936 school building (background) and the 1953 addition (foreground).

The original 1936 building also retains interior integrity. The entrance leads to a central staircase to the first floor. The first floor primarily consists of two large classrooms and bathrooms. Additional staircases

lead to the basement and mezzanine levels. The basement level consists of a gymnasium, storage, and a classroom space (see Figures 165 and 166). The mezzanine level consists of smaller classrooms.



Figure 165. Southern classroom interior.



Figure 166. Gymnasium.

Section 4

Results

Built into a slight hill northwest of the 1936 building, the rectangular, one-story, 1953 addition is clad in brick and has a shallow side gable roof with a simple metal cornice. Both the northeast and southwest elevations are framed by brick walls and the roof overhang that is supported by simple rectangular metal brackets. These elevations feature a full-width band of six-light metal windows. Both the southeast and northwest elevation are clad in common bond brick and largely made up of the adjacent hyphens (see Figures 164, 167, and 168). The hyphen on the southeast elevation was constructed as a part of this addition and features a double-leaf glass door with sidelight and transom on the north elevation.



Figure 167. Northeast elevation of the 1953 addition and hyphen.



Figure 168. Southwest elevation of the 1953 addition.

The 1969 addition is connected to the northwest elevation of the 1953 addition by a one-story hyphen. This large, one-story, irregularly shaped addition is clad in stretcher-bond brick and has a shed and flat roof with metal coping (see Figures 169 and 170). It has a central rectangular shed-roof main block flanked by lower flat-roof sections. A large gymnasium wing is connected to the north end of the addition

by a hyphen. The east elevation of the main block is recessed and contains the main entrance, which consists of four single-leaf glass doors with transoms and sidelights. A recent 2016 office addition is located on the east elevation adjacent to the main entrance.²²⁷ This addition is clad in stretcher-bond brick and has a flat roof with metal coping. Windows consist of simple fixed sash and fixed sash with awning sash below.



Figure 169. 1969 and 2016 additions, facing west.

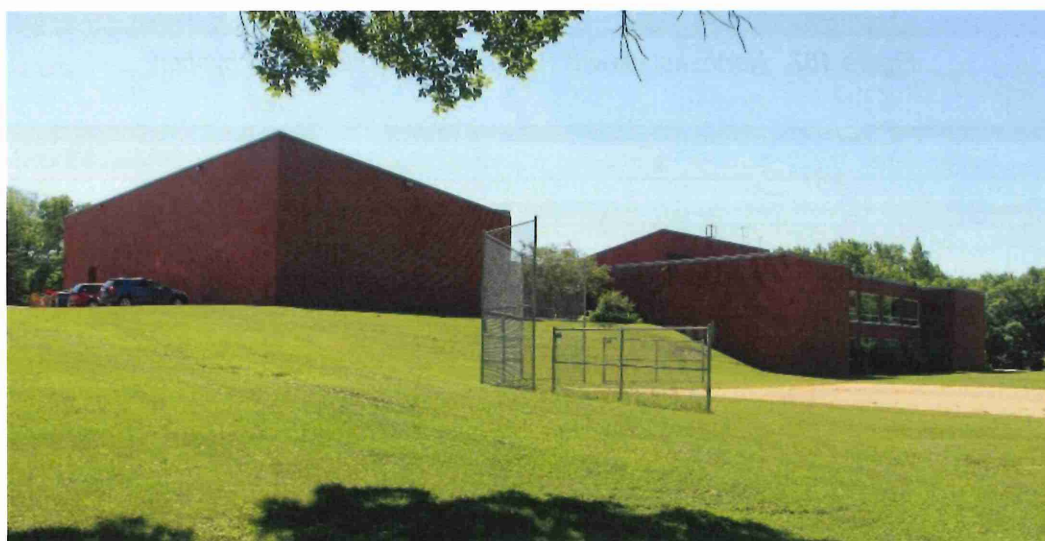


Figure 170. 1969 addition and baseball field, facing east.

The c.2000 shed, located north of the 1969 addition, is clad in vertical wood siding and has a front gable roof that is covered with asphalt shingles. A double-leaf wood door is located on the south elevation.

²²⁷ The office addition is so new that it does not appear on current aerial images.

History

Dakota County School District No. 5

The Somerset School serves the city of Mendota Heights within Dakota County. One of the oldest school districts in the county, pioneer settlers established the district in 1859 as School District No. 3, and the first schoolhouse was constructed near the present intersection of Delaware and Emerson Avenues.²²⁸ In response to state laws that mandated redistricting, the district was renumbered to District No. 5 in 1861. Additionally, pioneer Henry H. Sibley also donated a parcel of land to the district.²²⁹ The school building was moved by local residents from its original location to its new site at Dodd Road and Emerson Avenue in 1863.²³⁰ District No. 5 was alternatively known as the Staples School after the pioneer settler Sam Staples, or the Smith School, after nearby land owner T.T. Smith. It served students ages 5 through 21 in the same classroom.²³¹ During the mid-1880s the school changed from an ungraded to a graded school, teaching children from kindergarten through eighth grade. The first school building burned down as a result of a stove fire in the winter of 1899.²³² A new school was quickly built and opened in March 1899.²³³

Necessitated by an increase in the student population, the district built a larger school in 1936.²³⁴ Construction of the present Colonial Revival-style school building was partially financed through a \$23,400 grant from the Public Works Administration (PWA) (Project No 1265-RS).²³⁵ The remaining funds, \$30,000, were provided by the school district. Constructed on the same site as the 1899 school, the district made use of the original building while builders constructed the new the school. It was at this time that the school was given the name Somerset School, after the nearby Somerset Country Club.²³⁶ Like the 1899 building, the school continued to be a graded school with students from kindergarten through eighth grade. Figure 171 shows the school in 1937.

²²⁸ Bill Wolston, "Somerset School," n.d., Dakota County Historical Society.

²²⁹ "The Land of Ten Thousand Lake Over Jefferson Highway, Minnesota," 1922, 3, Minnesota Historical Society; "Copy of Deed Book Page," n.d., Dakota County Historical Society. The land from Henry H. Sibley was officially deeded in 1869.

²³⁰ "The Land of Ten Thousand Lake Over Jefferson Highway, Minnesota," 3; "Somerset School Story Brought Up To Date."

²³¹ Kuehn, "A History of West St. Paul," 34; "School House Burned," *Dakota County Tribune*, January 12, 1899, Dakota County Historical Society.

²³² "The Land of Ten Thousand Lake Over Jefferson Highway, Minnesota," 4.

²³³ "The Land of Ten Thousand Lake Over Jefferson Highway, Minnesota," 6.

²³⁴ James C. Niemeyer, "True to Its Tradition," *The Nation's Schools* 22, no. 2 (August 1938): 52.

²³⁵ Dehaan, Mrs. Fred, "Minn. PWA Form 74- Federal Emergency Administration of Public Works State Director Questionnaire Covering Status of Owner's Fund and Estimated Cost of Project," October 17, 1936, Dakota County Historical Society.

²³⁶ "The Land of Ten Thousand Lake Over Jefferson Highway, Minnesota," 10.



Figure 171. Somerset School in 1937.²³⁷

As a result of a 1947 state law that permitted the elimination and consolidation of small rural school districts, the Somerset School, along with several others, formed the Consolidated School District No. 2 of West St. Paul in 1949. In 1957 the district became Independent School District No. 197.²³⁸ The Somerset School remains a part of that district and serves students from kindergarten through fourth grade.

Education during the 1930s

Most school buildings constructed during the 1930s, including the Somerset School, followed design principles of earlier decades.²³⁹ At that time classroom layout became standardized and the exterior design followed styles of the day.²⁴⁰ The majority of 1930s school building “modernization” efforts came in terms of the continual improvement of “mechanical systems, systemization of classroom layouts, addition of group facilities like auditoria and gymnasias, and clarification of the relationship of classrooms to the larger amenities.”²⁴¹

²³⁷ *Schoolhouse (District 5) on Jefferson Highway, Dakota County, 1937*, Minnesota Historical Society Photograph Collection.

²³⁸ “Somerset School Story Brought Up To Date”; Kuehn, “A History of West St. Paul,” 44; Minnesota Independent School District No. 197 (West Saint Paul), “Agency History Record.”

²³⁹ Lindsay Baker, “A History of School Design and Its Indoor Environmental Standards, 1900 to Today,” *National Clearinghouse for Educational Facilities*, January 2012, 8.

²⁴⁰ Baker, “A History of School Design and Its Indoor Environmental Standards, 1900 to Today,” 4–5.

²⁴¹ Amy Weisser, “‘Little Red School House, What Now?’ Two Centuries of American Public School Architecture,” *Journal of Planning History* 5, no. 3 (August 2006): 207.

During the Depression era the funding of schools was largely supported by the PWA. Created in 1933, the agency facilitated an enormous increase in school building through 1939 by providing communities with financing in order to spur economic recovery.²⁴² Educational buildings were the most common project type of any federal work program, particularly the PWA, during the Depression. In Minnesota alone the PWA sponsored the construction of 252 educational buildings or addition projects throughout the state.²⁴³ Additionally, increased school funding by federal programs allowed for more access to education and improved the diversity of education offerings. Districts consolidated one-room school houses to form central schools that provided more opportunities and efficiency. Many districts updated buildings from wood-frame grade school buildings to steel frame elementary schools, and small districts increased the highest education offering from eighth to 12th grade.²⁴⁴

The PWA did not regulate the design of buildings it funded and left that up to the private architect or engineer.²⁴⁵ During the 1930s most architects designed school buildings that emphasized a coherent architectural whole through elements such as bilateral symmetry and an over-scaled entrance, as well as common facilities that provided monumental volumes to anchor the building.²⁴⁶ Buildings often depicted styles of the day including Colonial Revival, Mission Revival, and Classical Revival, and often had additional architectural details associated with a specific work program.²⁴⁷ These design principles, common for PWA-funded schools, were first developed at the turn of the twentieth century in response to calls for school design.²⁴⁸

Somerset School and architect James Niemeyer

The Somerset School was designed by architect James Niemeyer. After studying at St. Thomas Academy and the Royal Academy of Rome, Niemeyer began private practice in 1916. He then served in the U.S. Army's Ordnance Department during World War I. In 1929 he served as St. Paul's city architect, after which he returned to private practice. Much of Niemeyer's work is undocumented; however, he is known to have designed a wide range of building types including churches, residences, commercial buildings, and warehouses. His notable designs include the Glenn Walding House (1916) at 709 Linwood Avenue in St. Paul and the Charles Pomeroy House (n.d.) at 1756 Wellesley Avenue in St. Paul.²⁴⁹

²⁴² Weisser, "'Little Red School House, What Now?' Two Centuries of American Public School Architecture," 207.

²⁴³ National Register of Historic Places, "Multiple Property Documentation Form, Federal Relief Construction in Minnesota, 1933-1941," Statewide, Minnesota, F12.

²⁴⁴ Weisser, "'Little Red School House, What Now?' Two Centuries of American Public School Architecture," 207.

²⁴⁵ National Register of Historic Places, "Multiple Property Documentation Form, Federal Relief Construction in Minnesota, 1933-1941," E9.

²⁴⁶ Amy Weisser, "Whither the Little Red Schoolhouse?," *Progressive Architecture*, March 1992, S9.

²⁴⁷ National Register of Historic Places, "Multiple Property Documentation Form, Federal Relief Construction in Minnesota, 1933-1941," F12, F14.

²⁴⁸ Weisser, "Whither the Little Red Schoolhouse?"

²⁴⁹ Lathrop, *Minnesota Architects: A Biographical Dictionary*, 164.

Following education design practices of the 1930s, Niemeyer designed the Somerset School in the popular Colonial Revival style to highlight the historic nature of the school district.²⁵⁰ As historian Amy Weisser states in *'Little Red School House, What Now?' Two Centuries of American Public School Architecture*, "In the 1930s, the classicism on the facade of a school (or post office or town hall) suggested an American Heritage originating in Greek democracy or the Roman republic. A Colonial Revival exterior offered a link to national history."²⁵¹ Derived from Federal and architecture for the late eighteenth century, the Colonial Revival style was used in the U.S. from roughly 1880 to 1955. Characteristics of the style include a symmetrical facade with balanced windows and an accentuated center door; double-hung sash windows, usually with multi-light glazing in one or both sashes; and windows, frequently in adjacent pairs. The style was commonly used for houses, banks, churches, schools, government offices, and commercial buildings.²⁵²

While the exterior design of the building represents an excellent example of the Colonial Revival style, the interior layout embodies modern interiors and the latest teaching equipment.²⁵³ The building design received recognition in state and national education publications, both of which highlighted and remarked upon on the striking exterior of the building and the modern interior. The *Minnesota Journal of Education* article "Straws, Sticks, and Bricks" describes the modern equipment available to teachers and students, such as blackboards, storage, and mobile seating as well as up-to-date electrical lights and furnaces, which highlighted the advanced nature of the school. At completion, the Somerset School had four classrooms, a gymnasium, shower rooms for each gender, sick room, teacher's room, office, library, kitchen, locker rooms, and recreation rooms (see Figure 172).²⁵⁴ The new school amenities, specifically the kitchen and gymnasium, were also available to the wider community to use. Additionally, the design of the building accounted for the growth of the school district and anticipated the later construction of an addition on the rear and the subsequent conversion of specific spaces in the old building to new uses (see Figure 173).²⁵⁵

²⁵⁰ "The Standard Form of Agreement Between Owner and Architect," September 15, 1936, Dakota County Historical Society.

²⁵¹ Weisser, "'Little Red School House, What Now?' Two Centuries of American Public School Architecture," 202–203.

²⁵² McAlester et al., *A Field Guide to American Houses*, 408–409; Pennsylvania Historical & Museum Commission, "Colonial Revival Style 1880-1960," *Pennsylvania Architectural Field Guide*, 2016, <http://www.phmc.state.pa.us/portal/communities/architecture/styles/colonial-revival.html>.

²⁵³ Niemeyer, "True to Its Tradition," 52.

²⁵⁴ "District No. 5 School Dedicated," *West St. Paul Booster and Dakota County Globe*, October 29, 1937, Dakota County Historical Society; Niemeyer, "True to Its Tradition," 52–53.

²⁵⁵ Niemeyer, "True to Its Tradition," 52.

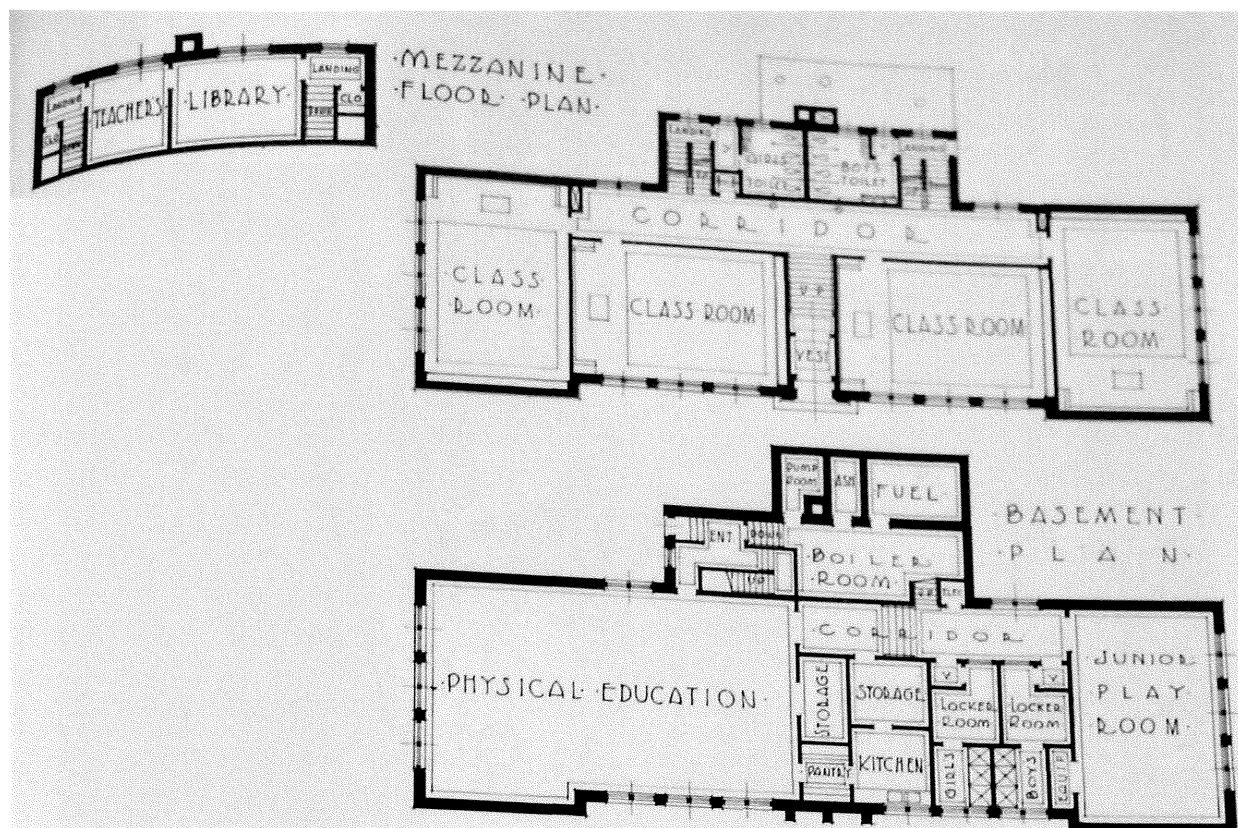


Figure 172. Plan of the Somerset School.²⁵⁶

²⁵⁶ Niemeyer, "True to Its Tradition," 53.

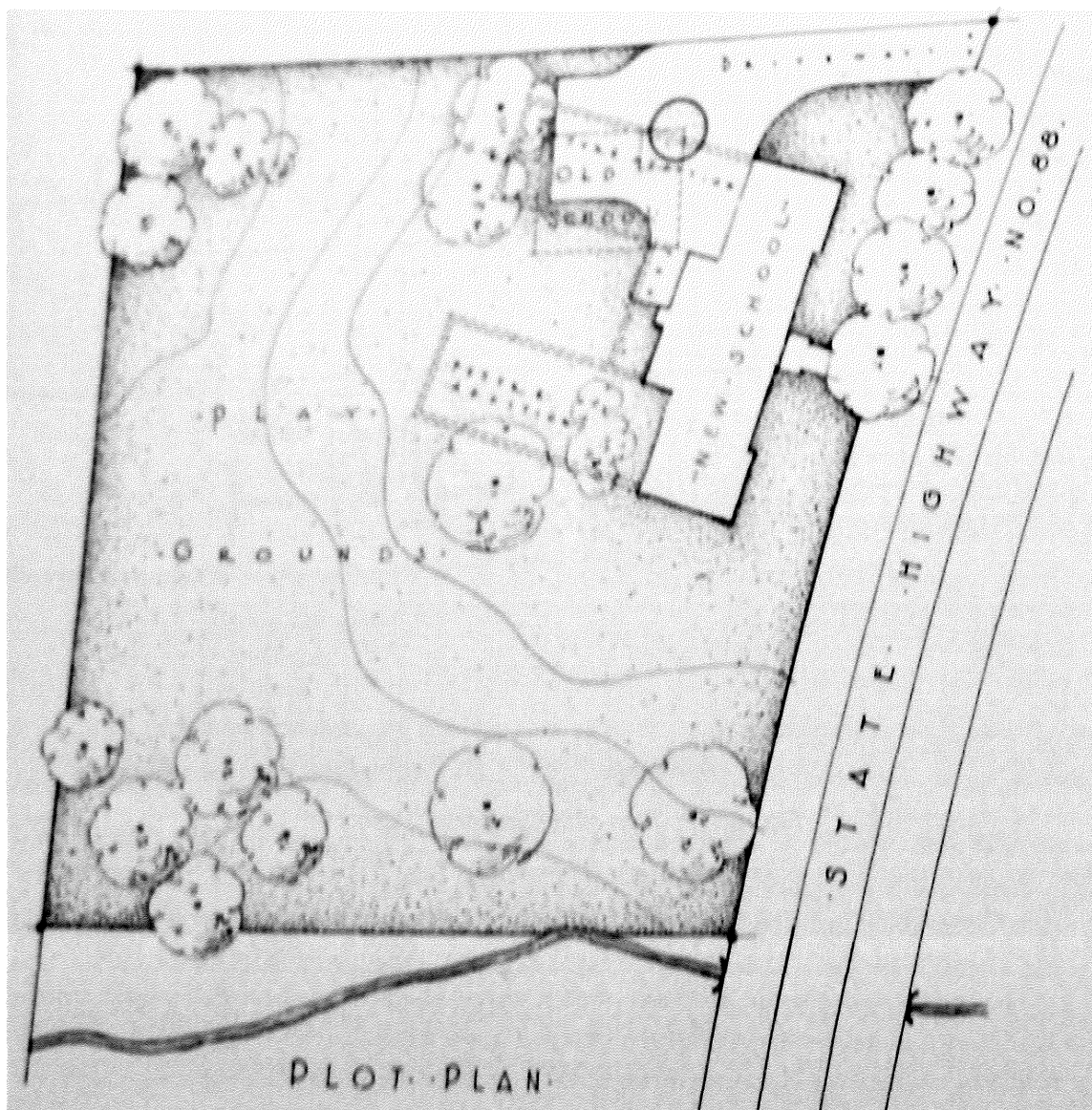


Figure 173. Original site plan of the Somerset School, showing footprint of 1899 “old school,” 1936 “new school,” and locations of potential future additions (off the rear of the “new school”).²⁵⁷

Changes to the Somerset School

A four-classroom addition was constructed on the rear elevation of the 1936 school building in 1953.²⁵⁸ An interior remodel of the original building’s kitchen was also completed that year.²⁵⁹ The architectural firm of Hammel, Green, and Abrahamson, Inc. designed a second major addition in 1969. According to the 1981 history of the school, “This new fourteen classroom addition was designed around an open space concept with the Instructional Materials Center (IMC) serving as the educational focal point of the

²⁵⁷ Niemeyer, “True to Its Tradition,” 52.

²⁵⁸ “The Land of Ten Thousand Lake Over Jefferson Highway, Minnesota,” 11.

²⁵⁹ “Somerset Heights PTA Plans Open House Nov. 17 for New Addition,” *West St. Paul Booster*, November 13, 1953, Schools Folder, Dakota County Historical Society.

school.”²⁶⁰ A new playground was constructed on school grounds in 1975.²⁶¹ An office addition was completed in March 2016.²⁶² The original interior layout has been altered slightly through the modification of some spaces. For example, the four original classrooms have been converted into two large classroom spaces through the removal of interior walls. Similar changes have been made to the basement level. Research did not reveal the date of these changes.

Significance

As the construction of the Somerset School was financed by the PWA, it was evaluated under the *Federal Relief Construction in Minnesota, 1933-1941* Multiple Property Documentation Form (Minnesota Federal Relief MPDF). Within the Minnesota Federal Relief MPDF, registration requirements regarding education facilities stipulate that an education facility should have been financed by the federal government and completed by the end of 1941.²⁶³ The Somerset School satisfies both of these requirements.

Additionally, registration requirements state that an educational facility is eligible under *Criterion A* if it represents “a particularly important project through the size and scope of the work involved, or by the number of people employed or the project should present a significant contribution to the community by providing a new and modern building which offered programs, community services, or physical environment which were previously unavailable. For example, this criteria could be met if a new building replaced a small school and now offered expanded facilities or opportunities.”²⁶⁴ The 1936 Somerset School building replaced the older 1899 schoolhouse. As an embodiment of modern 1930s school design philosophies, the new school provided the most up-to-date technology in classrooms. The larger building also provided expanded facilities including a gymnasium and kitchen. The new opportunities were not only provided to students but the wider community as well, specifically its kitchen and gymnasias, which were available to students and local citizens. As such, the Somerset School meets this registration requirement and has significance under *Criterion A*.

Furthermore, registration requirements state an educational facility is eligible under *Criterion C* if it incorporates “the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possess high artistic value. The criteria may be met if a building is constructed with finely crafted indigenous materials, a distinctive construction method often associated with specific federal work programs such as the Works Progress Administration; or a building may be considered eligible if it contains art or sculpture which has been evaluated as artistically significant.”²⁶⁵ The original portion of the Somerset School is an excellent example of the Colonial Revival style, which was commonly used for

²⁶⁰ “The Land of Ten Thousand Lake Over Jefferson Highway, Minnesota,” 12.

²⁶¹ “The Land of Ten Thousand Lake Over Jefferson Highway, Minnesota,” 12.

²⁶² This construction date was confirmed by Somerset Elementary School staff.

²⁶³ National Register of Historic Places, “Multiple Property Documentation Form, Federal Relief Construction in Minnesota, 1933-1941,” F14.

²⁶⁴ National Register of Historic Places, “Multiple Property Documentation Form, Federal Relief Construction in Minnesota, 1933-1941,” F14–F15.

²⁶⁵ National Register of Historic Places, “Multiple Property Documentation Form, Federal Relief Construction in Minnesota, 1933-1941,” F15.

schools and public buildings during the 1930s and has characteristics such as a symmetrical design, double-hung sash windows, and a prominent central door with a surround on the facade. As such the Somerset School meets this registration requirement and also has significance under *Criterion C*.

Integrity

Within the registration requirements, the Minnesota Federal Relief MPDF states that, “a building should possess integrity of location, design, materials, workmanship, and association, and should be without substantial alterations. Original materials and prominent features should remain intact, and any alterations should be modest in scale without impacting or obscuring major facade, elements or design features.”²⁶⁶ The Somerset School remains in its original location on Dodd Road. Although the integrity of setting has been slightly impacted by the construction of mid- and later-twentieth-century housing around the property, it does not affect its ability to meet registration requirements. In terms of integrity of design, materials, and workmanship, few changes have been made to the original 1936 building. The interior layout remains largely intact. Some spaces, such as the classrooms and basement spaces, have been altered to meet current school needs. These changes, however, do not detract from or greatly alter the original design and were anticipated by the architect. The windows have been replaced, but in comparison with historical photographs the replacement windows retain the same size and type as the original, thereby only slightly impacting integrity. Although the school’s series of additions are connected to the 1936 building by a minimal hyphen and do not alter its original design, they greatly increase the overall footprint of the building. Although a later increase in size was anticipated by architect James Niemeyer, the additions are of a larger size and scale than the 1936 building, particularly the 1969 addition. The additions also visually distract from and diminish the prominence of the 1936 building, especially since the school’s main entrance is now located on the 1969 addition. The designs of the additions also reflect their date of construction and are not compatible with the 1936 building’s historic Colonial Revival style. Therefore, the schools multiple additions significantly diminish the integrity of design, materials, and workmanship. The sizeable additions also diminish the school’s overall integrity of feeling, but as the building continues to be used as a school it retains integrity of association.

Due to the large additions and their impact on the integrity of design, materials, and workmanship, the Somerset School does not meet the registration requirement regarding integrity and does not retain sufficient integrity to convey its significance.

Recommendation

As a result of diminished integrity, the Somerset School is recommended not eligible for the National Register under the Minnesota Federal Relief MPDF under *Criteria A* or *C*.

²⁶⁶ National Register of Historic Places, “Multiple Property Documentation Form, Federal Relief Construction in Minnesota, 1933-1941,” F15–F16.

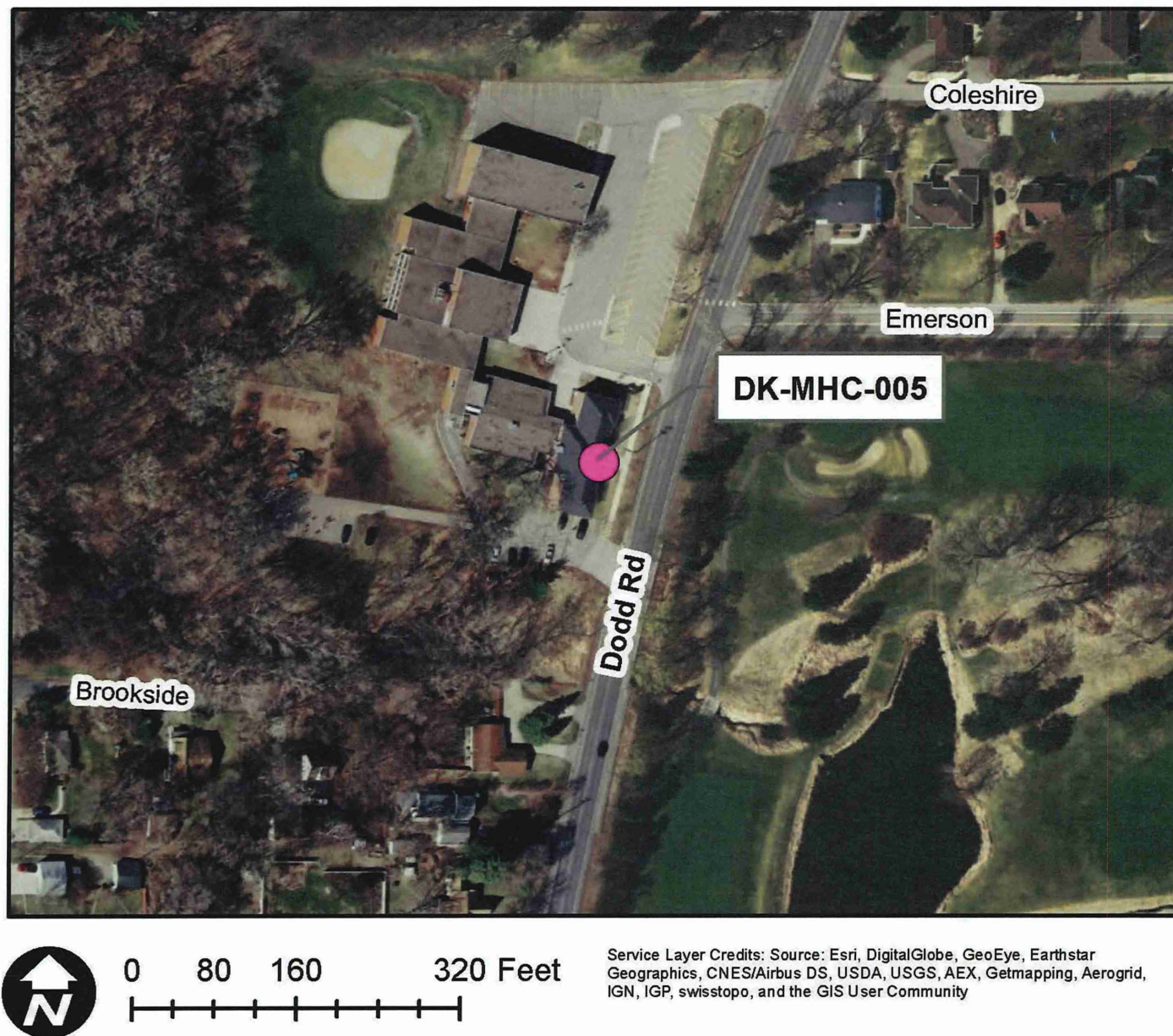


Figure 174. Somerset School location map.

4.4.15 Somerset Country Club

MnHPO Inventory Number: DK-MHC-085

Address: 1416 Dodd Road

City/Township: Mendota Heights

Description

Established in 1919, the Somerset Country Club is located on an approximately 140-acre, rectangular-shaped parcel in Mendota Heights, Dakota County. The property is bounded by Dodd Road (TH 149) on the west, Emerson Avenue West on the north, Delaware Avenue on the east, and Wentworth Avenue West on the south. The country club is primarily surrounded by residential properties dating to the 1970s and 1980s, with a few properties from earlier decades. Most buildings and club amenities, such as the c.1880 clubhouse, pool, and tennis courts, are concentrated near the western edge of the property and accessed by a private drive off Dodd Road (see Figures 175 and 176).²⁶⁷ The drive leads to multiple irregularly shaped parking lots that are located around this main group of buildings. Other support and maintenance buildings are located throughout the property. Trees and vegetation line the entire perimeter, providing a buffer from the surrounding residential areas.

²⁶⁷ Building construction dates are based on historical aerial photographs and discussions with Somerset Country Club staff.

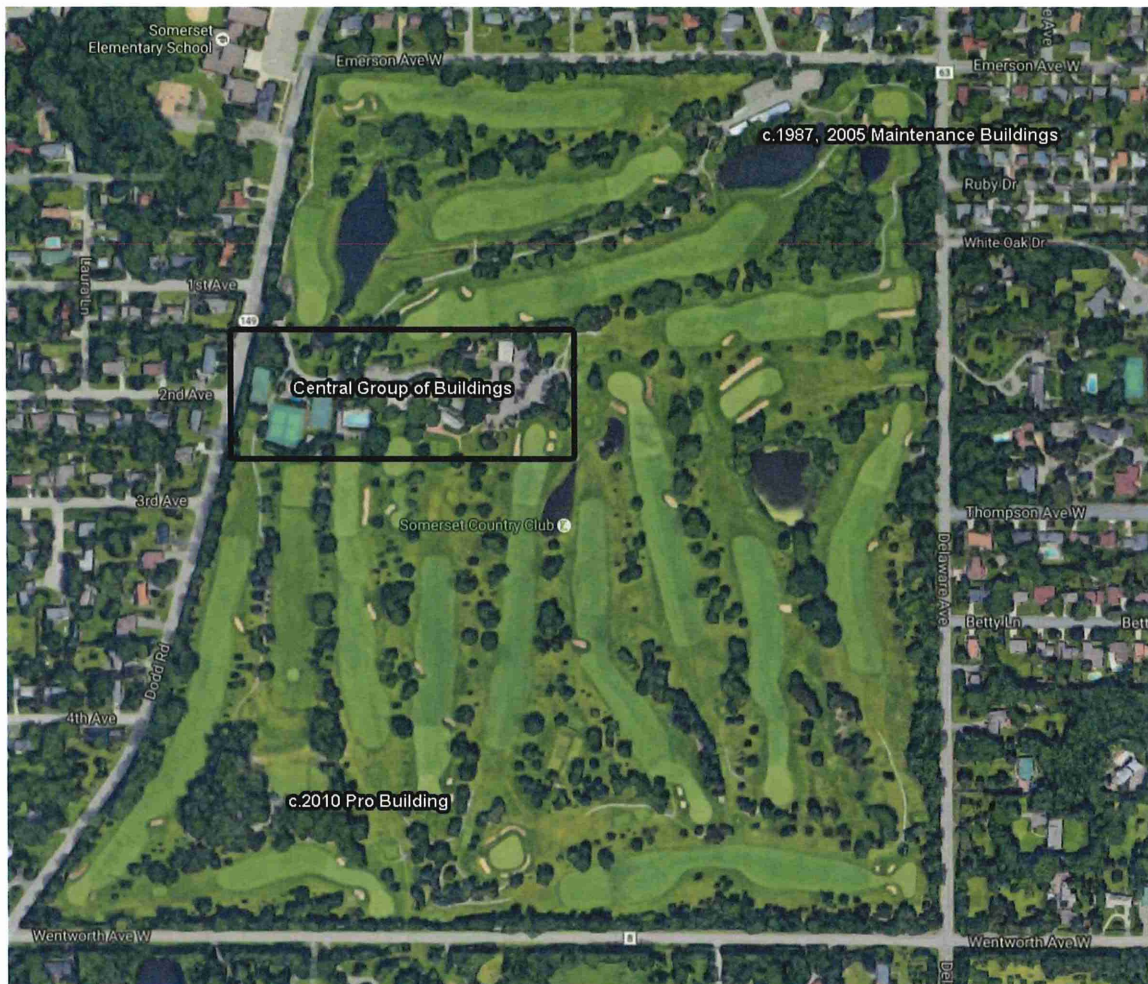


Figure 175. Somerset Country Club aerial map.

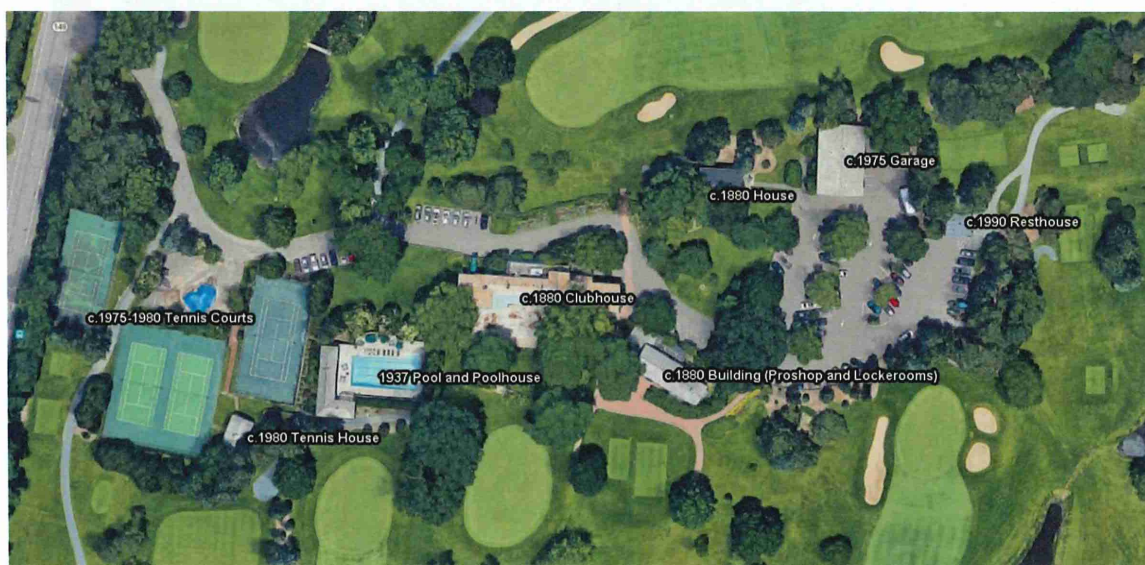


Figure 176. Somerset Country Club central group of buildings.²⁶⁸

²⁶⁸ This Google Maps aerial map is not up to date as the westernmost tennis court have been removed.

The 18-hole, par 72 golf course encompasses the majority of the Somerset Country Club property. The holes south of the clubhouse are primarily aligned north to south and those north of the clubhouse are primarily aligned east to west. In addition to the perimeter, deciduous and coniferous trees line the course holes (see Figure 177). The density of trees varies throughout the course, with larger groves near the southwest and northeast corners. Bunkers and water hazards also dot the course (see Figures 178 and 179). Bunkers are located on each hole, primarily near the greens. A driving range is located south of the tennis courts and a putting green is south of the clubhouse. Small, simple wood bridges cross the streams within the golf course. The golf cart paths at each hole have a crushed rock surface.



Figure 177. View of the sixth hole, view facing north.

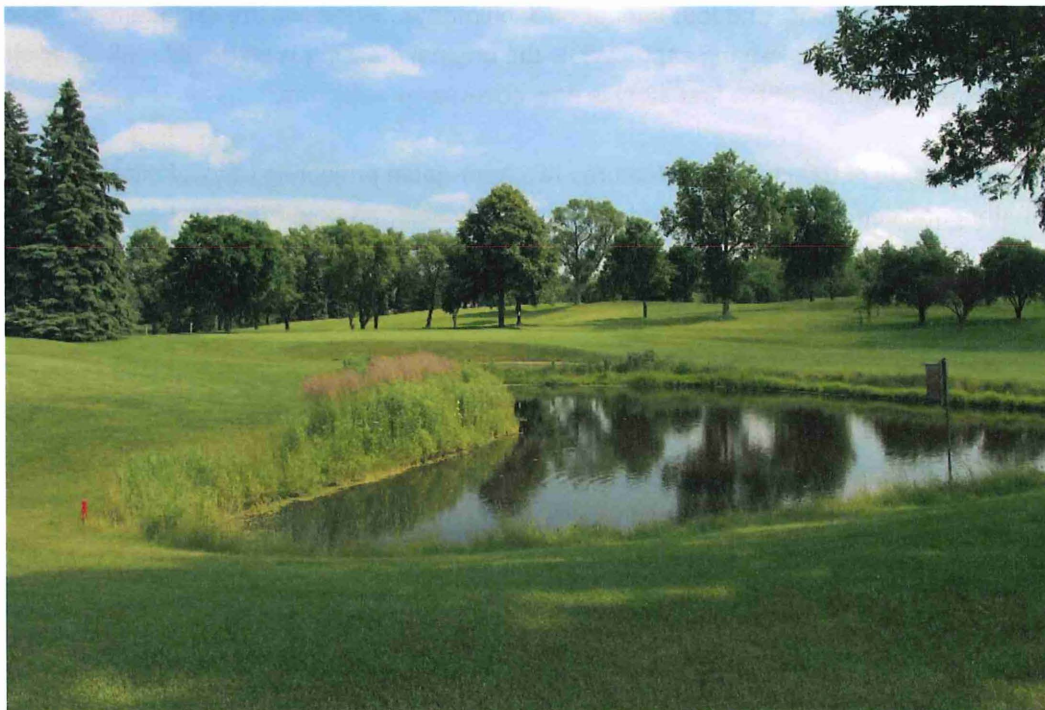


Figure 178. Water hazard near the ninth hole, view facing northeast.



Figure 179. Bunker near the seventh, view facing southwest.

Built into a slight hill, the c.1880, irregularly shaped, two-story clubhouse is located amongst the group of buildings near the western edge of the property. Historically a farmhouse, the building is clad in vinyl siding and has a side-gable roof that is covered in asphalt shingles. The elongated building has long front (north) and rear (south) elevations with narrow side (east and west) elevations. It features multiple

entrances and c.1980 additions, and four interior brick chimneys. Windows are replacement; fixed; ten-, eight-, and one-over-one; double-hung sash. While the original massing is still visible, all other elements have been replaced and most of the first story is now covered by additions.

The front (north) facade of the clubhouse features two front-gable projecting bays of differing depths. A c.1980 one-story addition is centrally located on the front facade and covers the first story of the east projecting bay. A covered stone staircase that leads to a second-story entrance is adjacent to the west projecting bay. Windows on the first and second stories are one-over-one, double-hung sash (see Figure 180).



Figure 180. c.1880 clubhouse, view facing southwest.

A two-story wing is located on the west elevation and a c.1980 two-story addition is located on the east elevation. The only elements on these narrow elevations are windows. Window types are one-over-one, double-hung, and fixed sash.

Like the front facade, the rear (south) elevation of the clubhouse features two front-gable projecting bays. The first story is largely compromised of a c.1980 dining room addition. The addition has a two-story section that is located between the projecting bays. Windows on the south elevation are paired or single ten-, eight-, or one-over-one, double-hung sash. The dining room addition has multiple entrances and four shallow gable dormers that span the elevation (see Figure 181).



Figure 181. c.1880 clubhouse and 1980 dining room addition, view facing northeast.

A c.1880 rectangular building is located directly east of the c.1880 clubhouse. Paved walkways and patios are located between these buildings. Historically a farm outbuilding, the two-and-one-half-story building currently houses the pro shop and women's locker room. It is clad in vinyl siding and has a side-gable roof that is covered with asphalt shingles. Like the clubhouse, the building has long front (north) and rear (south) elevations with narrow side (west and east) elevations. An interior brick chimney is located on the north roof slope. Windows consists of two-over-two, double-hung sash and replacement fixed sash (see Figure 182).



Figure 182. c.1880 outbuilding, view facing east.

The first story of the front (north) facade is largely covered by two c.1980, one-story additions. Between the additions is a wood staircase that leads to a second-story entrance. The western one-story addition is clad in vinyl siding and has a flat roof. The eastern addition is clad in corrugated metal siding and has a shed roof covered with asphalt shingles. The second story of the north elevation features six, two-over-two, double-hung sash.

The first story of the side (east) elevation is covered by a c.1980 one-story addition. The addition is clad in vinyl siding and has a gable roof that is covered with asphalt shingles. Two one-over-one, double-hung sash windows are located on the second story and a fixed window is located in the gable end.

The first story of the side (west) elevation is covered by a lean-to addition that wraps-around slightly to the north elevation and a small covered walkway. This addition is clad in vinyl siding and has a shed roof. The second story features two four-light wood windows. A six-light wood window is located in the gable end.

The first-story of the south (rear) elevation features two single-leaf doors covered by a gable and fixed sash windows. The second story consists of five, two-over-two, double-hung, sash windows.

A 1937 in-ground swimming pool and pool house are located west of the c.1880 clubhouse (see Figures 183 and 184). The swimming pool deck is bordered by an ashlar course limestone wall. Built into a small hill, the one- and two-story L-shaped pool house is located at the west side and southwest corner of the pool deck. The pool house is clad in limestone and board-and-batten siding and has a hip roof that is covered with asphalt shingles. A c.2013, one-story addition is located on the south elevation (see Figure 185). The pool is accessed through an arched opening on this addition. A service entrance is located on the first-story of the north elevation. Windows consist of three-light awning, multi-light casements, and boarded openings.



Figure 183. 1937 pool, view facing northeast.

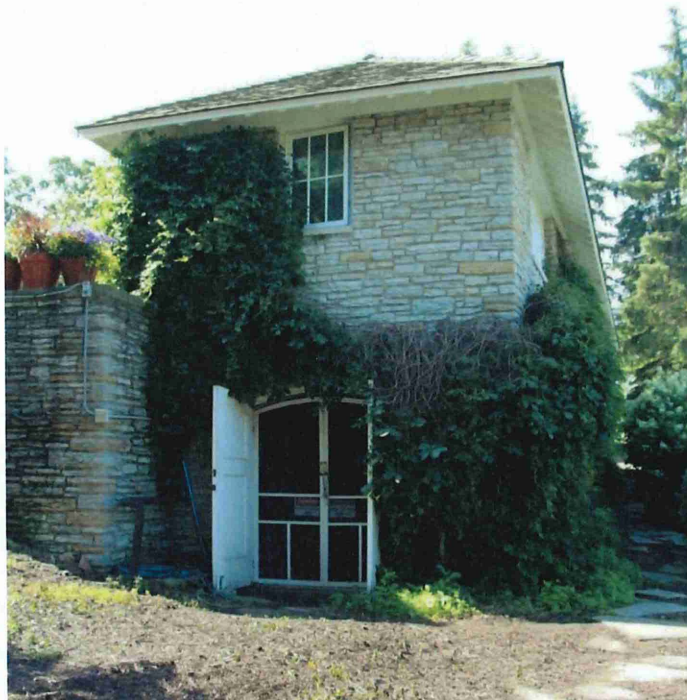


Figure 184. 1937 pool house, view facing south.



Figure 185. c.2013 pool house addition, view facing northeast.

Tennis courts are located west of the pool. While the original courts were located at this location, the current courts date to c.1975 and c.1980. The recently resurfaced courts are surrounded by chain-link fencing (see Figure 186). Located south of the easternmost tennis court is a c.1980 tennis house (see Figure 187). The partially enclosed building is covered by a gable roof supported by square columns. The enclosed southern portion of the tennis house is clad in wood siding. A single-leaf door is located on the north elevation of the enclosed section. Windows consist of fixed and one-over-one, double-hung sash.



Figure 186. c.1980 tennis court, view facing northwest.



Figure 187. c.1980 tennis house, view facing southeast.

A c.1880 building that was historically used as a house is located northeast of the c.1880 clubhouse (see Figure 188). The building continues to be used as a house by club staff as well as for storage. The two-story building is clad in vinyl and has a front gable roof that is covered with asphalt shingles. A one-story, gable wing is located on the west elevation. Windows consist of replacement, one-over-one, double-hung sash; sliding sash; and casements.



Figure 188. c.1880 building, view facing northwest.

A c.1975 garage is located east of the c.1880 house (see Figure 189). The one-story garage rests on a poured concrete foundation, is constructed of ribbed concrete block, and has a front gable roof with wide eaves that is covered with asphalt shingles. Board-and-batten siding is located in the gable ends. Three metal overhead doors are located on the south elevation. An overhead door and single-leaf door are located on the east elevation.



Figure 189. c.1975 garage, view facing north.

A c.1990 "halfway house" is located east of the c.1975 garage near the ninth hole (see Figure 190). The building provides a rest area at the stopping point on the course. It rests on a poured concrete foundation, is clad in board-and-batten siding, and has a front gable roof that is covered with asphalt shingles. A small cupola is located at the roof ridgeline. The eastern two-thirds of the building is a screened in room. Recessed restroom entrances are located on the western end of the north and south elevations.



Figure 190. c.1990 rest house, view facing northwest.

A c.1945 pump house is located northeast of the garage and c.1880 house, along the cart path that leads to the mechanical buildings on the north end of the property. The one-story building has been used as a pump house since its construction. It has fieldstone walls and a hip roof that is covered with asphalt shingles (see Figure 191). A metal chimney is located at the roof ridgeline and a double-leaf wood door is located on the south elevation.



Figure 191. c.1945 pumphouse, view facing northeast.

Four mechanical buildings are located near the north end of the property. The buildings are clustered around an access road with one building on the north side and three lined on the south side. The northern one-story maintenance building was constructed c.2005. It rests on a poured concrete foundation and is constructed of ribbed concrete panels. The south elevation features three overhead doors, a single-leaf door, and three fixed metal windows (see Figure 192).



Figure 192. c.2005 maintenance building, view facing northeast.

South of this c.2005 building are three adjacent one-story pole buildings (see Figure 193). The center building dates to c.1987 while the flanking buildings date to c.2005. Each of these pole building rests on a concrete slab foundation, are clad in corrugated metal, and have side gable corrugated metal roofs. Single-leaf and overhead metal doors are located on the north elevations.



Figure 193. c.2005 and c.1987 maintenance buildings, view facing southeast.

A c.2010 one-story building is located at the south end of the driving range (see Figure 194). The building is used by the club's golf pro to teach lessons and for storage. The building is clad in vertical wood siding and has a side gable roof that is covered in asphalt shingles. The central door on the front

(north) facade is covered by a small shed roof. A second door is located on the side (east) elevation. Windows consist of four-over-four, double-hung sash.



Figure 194. c.2010 building, view facing southwest.

History

The Somerset County Club is located in Auditor's Subdivision No. 3 in Section 24 of Mendota Heights, Dakota County.²⁶⁹ Mendota Township, which became the village of Mendota Heights in 1956 and then a city in 1974, was established by Dakota County commissioners in 1858. Exemplifying typical land use of the time and area, the Somerset Country Club property was farmed until 1919, with the main crops being apples and alfalfa. During the pre-county club period, several c.1880 farm buildings were constructed on the property and were later incorporated into the country club. The land featured several hills and, therefore, was more conducive to growing crops such as apples instead of corn or wheat, and allowed for this recreational use. Unique to the site was its additional use as a country pleasure retreat, in conjunction with its farm use. Known as Eureka Park, local residents as well as those from nearby St. Paul travelled to the site for recreation until it was transformed to a country club.²⁷⁰ The land surrounding the club remained agricultural well into the twentieth century.²⁷¹ While development increased, Mendota Township did not experience a population boom until the mid-twentieth century and beyond. Many of the houses directly surrounding the property date to the 1970s and 1980s, with a few from earlier decades.²⁷²

²⁶⁹ Dakota County, "Dakota County GIS."

²⁷⁰ Research did not reveal if property owners were responsible for the formal creation of the park or if the recreational use of the land grew organically as a result of topography and land usage.

²⁷¹ Schreier, *Picturing the Past: Events That Shaped Dakota County in the Twentieth Century*.

²⁷² Schreier, *Picturing the Past: Events That Shaped Dakota County in the Twentieth Century*, 334, 337; Dakota County, "Dakota County GIS"; "Historical Aerial Photograph, Dakota County," 1970; "Historical Aerial Photograph, Dakota County," 1957; "Historical Aerial Photograph, Dakota County," 1953.

Golf and Somerset County Club

At the end of the nineteenth century citizens throughout the United States began participating in organized sports. In Minnesota residents followed this national trend by taking part in outdoor recreation. One manifestation of this trend was golf, which made its American debut in the 1870s and soon after became increasingly popular in Minnesota.

During the nineteenth century golf became closely associated with country clubs, the first of which was established in Brookline, Massachusetts, in 1882 as a private gathering space for the Victorian upper class.²⁷³ Early country clubs offered a pastoral experience for those living in the unclean cities; however, as club activities became formalized, sports and other physical activities were integrated, including hunting and riding and later golf. Farmland provided an excellent foundation for early golf courses as it often provided a flat piece of land that could be manipulated.²⁷⁴ As technologies advanced, it became easier to manipulate topography to create a diverse course and construct hazards. As golf courses became more highly designed and stylized, so rose the importance of the golf course architect.²⁷⁵ By the twentieth century tennis courts and swimming pools were also included in the standard country club plan.

Clubhouses were the most important component of the country club. Early examples were simple houses, often an original farmhouse or barn if the area previously served as a farm.²⁷⁶ Other farm buildings were also utilized as service or maintenance buildings on the course.²⁷⁷ By 1925, however, the architectural community began to focus on clubhouse-specific design and considered clubhouses an extension of the home. Typical plans included parlor rooms, dining halls, and locker rooms.²⁷⁸

The popularity of country clubs skyrocketed during the late nineteenth century, and by 1900 there were 1,040 in the United States.²⁷⁹ The first country club in Minnesota was the 1888 Town and Country Club in St. Paul. The Minikahda Club was established 10 years later in Minneapolis.²⁸⁰ Numerous other country clubs were also established during the early twentieth century, specifically in the "Golden Age of Golf," which is considered to be the 1910s and 1920s. Some examples in the Twin Cities include the Interlachen County Club (1909), Golden Valley Country Club (1914), Minneapolis Country Club (1916), Minnetonka Country Club (1916), Southview Country Club (1919), Edina Country Club (1923), and Mendakota Country Club (1925).²⁸¹ The Somerset Country Club (1919) was incorporated during this

²⁷³ Heilbron, "Minnesotans at Play," 89.

²⁷⁴ Moss, *Golf and the American Country Club*, 85.

²⁷⁵ Moss, *Golf and the American Country Club*, 86.

²⁷⁶ Moss, *Golf and the American Country Club*, 77.

²⁷⁷ Susan E. Smead and Marc C. Wagner, "Assessing Golf Courses as Cultural Resources," *Cultural Resource Management* 23, no. 10 (2000): 17.

²⁷⁸ Moss, *Golf and the American Country Club*, 124.

²⁷⁹ Moss, *Golf and the American Country Club*, 15, 20, 21, 43.

²⁸⁰ Heilbron, "Minnesotans at Play," 89.

²⁸¹ Rick Shefchik, *From Fields to Fairways: Classic Golf Clubs of Minnesota* (Minneapolis, Minn.: University of Minnesota Press, 2012).

"Golden Age." At its inception the club was the second private country club in the vicinity of Saint Paul and the first in the area on the west side of the Mississippi River.²⁸²

The two people responsible for founding the Somerset Country Club were Charles W. Gordon and C. Milton Griggs. Both men were members of the Town and Country Club but left due to congestion and established the Somerset Country Club with the aim to create an outstanding and uncrowded golf course.²⁸³ The duo purchased approximately 140 acres of land for the country club from Robert and Margaret Emerson for a price of \$56,000.²⁸⁴ The owners paid the debt and officially received the warranty deed for the property in 1925.²⁸⁵ Charter members of the club included many prominent members of Saint Paul, such as lumber barons Frederick and Rudolph Weyerhaeuser, architect Clarence Johnston, and U.S. Senator Frank B. Kellogg.²⁸⁶

The club incorporated three previously constructed building on the property into the design: the c.1890 farmhouse, now the clubhouse; a c.1890 outbuilding currently used as a pro-shop and locker room; and a second c.1890 house, now a residence for club staff and storage. Other amenities and maintenance buildings were constructed after the creation of the club. Grass court tennis courts were constructed in the summer of 1928, and the swimming pool and pool house were built in 1937.²⁸⁷ The pumphouse was constructed c.1945. The driving range and putting green were also present on the course by the mid-1940s.

The club owners employed noted golf course architect Seth J. Raynor to design the course. Raynor, who was born in 1874 in New York and studied civil engineering at Princeton, worked for his father as a land surveyor after graduating. He later worked in highway and road design.²⁸⁸ In 1900, while completing the survey for the National Golf Links (National) in Southampton, New York, Raynor met Charles Blair MacDonald, the "Father of American Golf Architecture," who saw immediate promise in Raynor and appreciated his engineering experience.²⁸⁹ The two men became partners while working on National, and MacDonald taught Raynor his vision of the American golf course design, which included the incorporation of

²⁸² Somerset Country Club, "Somerset...75 Years and Counting" (Somerset Country Club, 1995), 8, Dakota County Historical Society.

²⁸³ Shefchik, *From Fields to Fairways: Classic Golf Clubs of Minnesota*, 177.

²⁸⁴ Somerset Country Club, "The Somerset Country Club 1920-1985" (Somerset Country Club, 1985), 4, Dakota County Historical Society.

²⁸⁵ Somerset Country Club, "The Somerset Country Club 1920-1985"; Somerset Country Club, "Somerset...75 Years and Counting."

²⁸⁶ Shefchik, *From Fields to Fairways: Classic Golf Clubs of Minnesota*, 177.

²⁸⁷ Shefchik, *From Fields to Fairways: Classic Golf Clubs of Minnesota*, 185.

²⁸⁸ Anthony Pioppi, "Seth Raynor: Paradoxical Designer," *Golf Course Architecture*, October 2010, <http://www.golfcoursearchitecture.net/content/Seth-Raynor-paradoxical-designer>.

²⁸⁹ World Golf Hall of Fame, "Charles B. MacDonald," *World Golf Hall of Fame*, 2016, <http://www.worldgolfhalloffame.org/charles-blair-macdonald/>.

well-known European holes into courses and the use of hazards, such as bunkers or water features, to build strategy into the game. Raynor trained with MacDonald until 1915, when he started his own practice.²⁹⁰

Raynor designed the Somerset golf course in 1919-1920 and incorporated his distinctive course design characteristics. Like MacDonald, his character-defining features included references to historic European holes, the creation of hilly courses with large greens, and the inclusion of strategically placed hazards (see Figure 195). He employed the concept of "classic template holes," which replicated great golf holes of the British courses and were used repeatedly on succeeding designs as the land allowed. Each Raynor-designed course, including Somerset, featured holes with specific names and concepts, such as Redan, Biarritz, Road, Eden, and Alps, that were modelled after British holes and have consistent characteristics. However, Raynor did not simply duplicate the original holes but adapted them to the site.²⁹¹ He often fit the holes into the natural landscape, like he did at Somerset Country Club, but also had no problem manipulating the land to create deceptive but natural fairways. One example on the Somerset golf course is the current fourth hole, named Raynor's Redan. According to *From Fields to Fairways*, the fourth hole "is perhaps the best example of this classic template hole in Minnesota, and one of the best in the country."²⁹² Additionally, the current eighth hole (originally the 11th) is Raynor's Eden and the current tenth is his Cape. The par-three 12th hole is Somerset's Biarritz, which not commonly found anymore, but exemplifies Raynor's style.²⁹³

²⁹⁰ Shefchik, *From Fields to Fairways: Classic Golf Clubs of Minnesota*, 179–181.

²⁹¹ Pioppi, "Seth Raynor: Paradoxical Designer."

²⁹² Shefchik, *From Fields to Fairways: Classic Golf Clubs of Minnesota*, 181.

²⁹³ Shefchik, *From Fields to Fairways: Classic Golf Clubs of Minnesota*, 182.



Figure 195. Undated historic-age aerial photograph of the Somerset Country Club. The overall course remains largely unchanged.²⁹⁴

Raynor is also known for designing courses that allowed multiple strategies and created options for players. Through his use of bold and subtle elements, he tried to expose the best in players by requiring a variety of shots.²⁹⁵ Raynor traveled across the country and designed over 100 courses during his

²⁹⁴ Shefchik, *From Fields to Fairways: Classic Golf Clubs of Minnesota*, 186.

²⁹⁵ Pioppi, "Seth Raynor: Paradoxical Designer."

career. In addition to Somerset, known Raynor-designed courses in Minnesota are at the Midland Hills Country Club in Roseville (1920) and the Minnesota Valley Country Club in Bloomington (1924).²⁹⁶

Raynor died at the height of his career, in January 1926. According to *Golf Course Architecture*, he is largely believed to be one of the best golf course designers of the “Golden Age of Golf.” Courses considered as his best work for their implementation of his design characteristics include: Yale University Golf Course (New Haven, Connecticut), Fishers Island (Fishers Island, New York), Camargo (Cincinnati, Ohio), Lookout Mountain (Lookout Mountain, Georgia), and Yeamans Hall (Hanahan, South Carolina).²⁹⁷

In addition to Raynor, the club also hired landscape artists Holm & Olson to design and supply the course plants and garden materials. Florists and Swedish immigrants Elof P. Holm and Olaf J. Olson established Holm & Olson in 1895 St. Paul. The company was known as the “Summit Avenue Florist” due to its high concentration of clientele on Summit Avenue and the surrounding area.²⁹⁸

Changes to Somerset Country Club

Since its construction the Somerset golf course has been altered several different times. However, the alteration of golf courses is a common trend to keep them challenging and up to date. Despite changes, the Somerset course retains strong elements of Raynor’s original design. As it states in *From Fields to Fairways*, “Raynor’s layout has been changed several times since 1920 by a succession of architects, but strong traces of the original course are still there.”²⁹⁹ The various course reconfigurations differ in size and design. One example is the 1927 lengthening of the course in preparation for that year’s State Amateur Championship in which the third, fourth, eighth, 10th, 14th and 17th tees were set back, and other improvements were made to increase the course’s challenge to golfers.³⁰⁰

Architect Stanley Thompson designed a course reconfiguration in 1949-1950 that included recontouring putting greens and bunker work and converting Raynor’s Leven hole from par 4 to par 3. He also rearranged the tees at the second, 15th, and 18th holes to encourage socialization on the course. Another reconfiguration commenced in 1959-1960. Designed by Robert Bruce Harris, it replaced a previous short hole with a new par 3 17th hole. Geoffrery Cornish was hired by the club in 1979 to work on bunkering but members disliked his work and it was reversed a few years later by Rees Jones.³⁰¹

²⁹⁶ Pioppi, “Seth Raynor: Paradoxical Designer”; Shefchik, *From Fields to Fairways: Classic Golf Clubs of Minnesota*.

²⁹⁷ Pioppi, “Seth Raynor: Paradoxical Designer.”

²⁹⁸ Landscape Research LLC., *Designed Historic Landscape Report Minnesota Governor’s Residence (Horace H. and Clotilde M. Irvine House)*, 2013, 17–18.

²⁹⁹ Shefchik, *From Fields to Fairways: Classic Golf Clubs of Minnesota*, 181.

³⁰⁰ Shefchik, *From Fields to Fairways: Classic Golf Clubs of Minnesota*, 182–184.

³⁰¹ Shefchik, *From Fields to Fairways: Classic Golf Clubs of Minnesota*, 182, 185.

Most recently the club hired Stan Gentry, a St. Louis-based golf course architect, to design a 10-year master plan for course restoration. As part of his work Gentry has called for a new 17th green and the restoration of a number of bunkers back to Raynor's design.³⁰²

Evaluation

The Somerset Country Club was evaluated for the National Register under *Criteria A, B, and C*.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history, as well as demonstrate that the event was important to the development of Minnesota, Dakota County, or Mendota Township (later Mendota Heights). Established in 1919, Somerset County Club represents an early Minnesota country club dating to the "Golden Age of Golf"; however, it is not the first such club. A number were established prior to Somerset, such as the Town and Country Club in Saint Paul and the Minikahda Club in Minneapolis. Additionally, the club followed common country club development patterns in its utilization of farmland and farm buildings and construction of recreational amenities for members. As such, the Somerset Country Club does not have significance as an early country club in Minnesota, nor does it have significance in the development of country clubs or the sport of golf. Furthermore, the Somerset County Club does not appear to have played a significant role in the history of the city of Mendota Heights or Dakota County. Therefore, the Somerset Country Club is recommended not eligible for the National Register under *Criterion A*.

Criterion B

To be eligible under *Criterion B: Significant Person*, the property must be associated with a person who made a significant contribution to the development of Mendota Heights or Dakota County. Numerous owners, managers, members, golf pros, and players have worked for or have an association with the Somerset Country Club. However, none appear to be significant to the game of golf in Minnesota, or to the surrounding community. Although many of the club's charter members were noteworthy for their role in Minnesota government, business, or architecture, their significance is better associated with properties related to their respective fields. Therefore, the Somerset Country Club is recommended not eligible for the National Register under *Criterion B*.

Criterion C

To be eligible under *Criterion C: Architecture*, the property must represent the work of a master, possess high artistic value, and/or embody the distinctive characteristics of type, period, or method of construction. The Somerset Country Club is a good, representative example of a country club built during the "Golden Age of Golf." It retains features common to country clubs in this era, including a golf course, swimming pool, tennis courts, and a farmhouse converted into a clubhouse. In retaining several of its original buildings, such as the clubhouse, it is set apart from other nearby country clubs whose historic buildings have been replaced. Additionally, the Somerset Country Club golf course was designed by prominent golf course architect Seth Raynor. As other golf courses are considered his best work, this club does not rise to level of significance for a work of a master. However, Somerset Country Club does exhibit

³⁰² James Bade, "Somerset CC to Host Scholarship Scramble on June 23," *Hole Notes*, May 2008, 25.

Raynor's design characteristics, most notably the British-inspired holes that he employed on each course. As such, the Somerset Country Club has significance as an excellent example of a country club built during the "Golden Age of Golf" and as a local example of the work of Raynor.

Integrity

The Somerset Country Club is a historic-age, continually used recreation facility that has remained on the same track of land, bordered by the same roads in Mendota Township (Mendota Heights) since its inception. The wider country club setting, however, has been altered from its original rural, agricultural setting through increased residential development within Mendota Heights. This change, however, has a negligible impact on integrity as the dense trees lining the property greatly limit the visibility of the wider setting and provide a buffer, thereby isolating the club from the surrounding area.

Regarding the golf course, the original Seth Raynor course has been altered through a number of large architect-designed reconstructions, which altered the course's design, length, circulation, plantings, and hole location. While the course does retain individual elements that represent Raynor's design characteristics, such as the Biarritz, Redan, and Eden holes, they have also been altered from their original design. While portions of the course are being restored back to their original design, the multiple alterations have diminished course integrity and it no longer fully conveys Raynor's original design intent.

Regarding the club's historic-age buildings, they have been significantly altered by a combination of additions and replacement materials that greatly detract from their historic appearance and impact their integrity. Similarly, the integrity of the historic-age pool house has been diminished by a large addition. The large number of modern buildings and amenities located throughout the property, including the garage, rest house, tennis courts, tennis house, and maintenance buildings, serve as intrusions that detract from the historic integrity of the property, and the number of modern buildings now outnumbers historic-age buildings. Overall, neither the Somerset Country Club as a whole nor the Raynor-designed golf course retain sufficient integrity to convey their significance.

Recommendation

As a result of diminished integrity, the Somerset Country Club and Raynor-designed golf course are recommended as not eligible for the National Register under *Criteria A, B, or C*. The period of significance extends from 1919, the date when the club was established, through 1949, the date of the first major reconfiguration of the country club golf course.



Figure 196. Somerset Country Club location map.

4.4.16 1549 Dodd Road

MnHPO Inventory Number: DK-MHC-122

Address: 1549 Dodd Road

City/Township: Mendota Heights

Description

This c.1890, one-and-one-half-story, brick house is located at 1549 Dodd Road in Mendota Heights, Dakota County, Minnesota (see Figure 197). The 0.64-acre lot is situated on Block 4, Lot 2 of T.T. Smith's Subdivision No. 2 at the southwest corner of 4th Avenue and Dodd Road (TH 149), west of the Somerset Country Club. Surrounding buildings in the neighborhood are one-story residences that date to the mid-twentieth century. The large yard on the property has landscaped grass, shrubs, and deciduous trees on the side (south) elevation (see Figure 198). A storm drainage pond is located in the middle of the yard, surrounded by marsh vegetation. The front (east) facade and side (south) elevation feature decorative plantings. The building consists of the main block and a garage, which are attached by an addition.



Figure 197. Front (east) facade and side (north) elevation of the house at 1549 Dodd Road, view facing southwest.



Figure 198. Side (south) elevation, yard, and drainage pond, view facing north.

The main block of the house has a rectangular plan, sits on a stone foundation, and is clad in brick with wood clapboard siding on the rear (west) elevation. It features a steep gabled roof covered in asphalt shingles with an exterior brick chimney located on the side (north) elevation. Windows are replacement, vinyl, one-over-one, double-hung; double-light casement; and sliding sash.

The front (east) facade is characterized by the predominant front-facing gable roofline. An off-center entrance with wood pilasters in a simple, architrave pattern without entablature is located on the north end of the stoop. Three concrete steps approach a replacement door. South of the entrance is a ribbon of three, one-over-one, double-hung sash windows with wide surrounds and a protruding rowlock brick course sill. The windows in the gable end are two-light casement with a rowlock brick sill and segmented brick arch. The roofline has closed eaves with a wide frieze board.

The side (south) elevation is characterized by a modern dormer addition that spans the main block (see Figure 199). The dormer addition is clad in wood clapboard siding, has a shed roof covered in asphalt shingles, and features paired, one-over-one, double-hung sash windows. This elevation features an exposed basement and several window openings (see Figure 200). The basement windows are vinyl sliding while the first-story windows are one-over-one, double-hung and two-light casement. First-story windows have rowlock brick sills and segmented brick arches.



Figure 199. Side (south) elevation and dormer addition, view facing northwest.

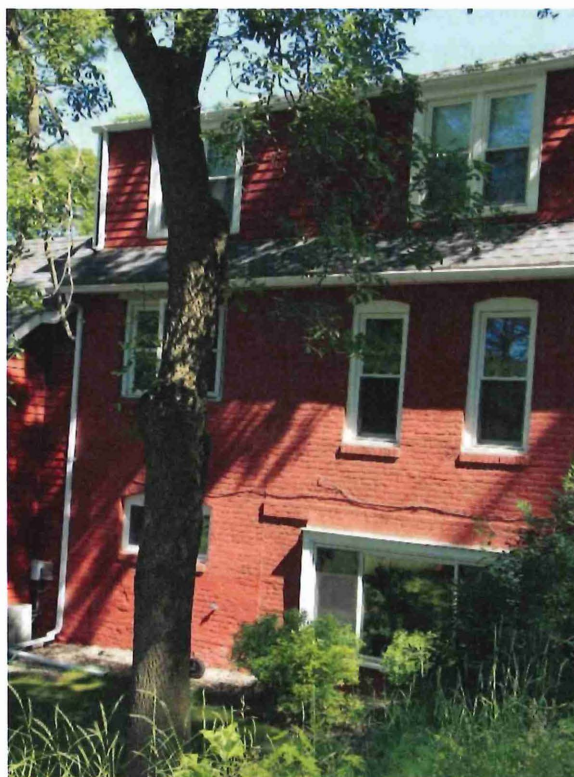


Figure 200. Side (south) elevation basement, view facing northwest.

Section 4

Results

The north (side) elevation is marked by a large exterior chimney with a decorative infill pattern (see Figure 201). The basement windows are replacement glassblock and vinyl casement. The first- and second-story windows are vinyl casement and sliding with rowlock brick sills and segmented brick arches. On both side (north and south) elevations, new brick indicates several window openings are infilled with brick. Additionally, a brick line on the north and south elevations suggests a historic brick addition was constructed on the rear of the house. The rear (west) elevation of the main block is largely obstructed by the addition, garage, and shed (see Figure 202). The gable is visible and is clad in replacement siding with two, one-over-one, double-hung windows.

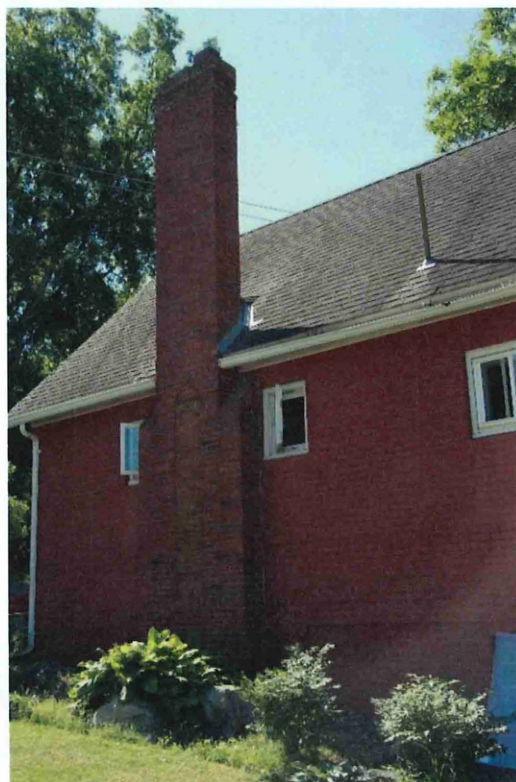


Figure 201. Side (north) elevation chimney, view facing northeast.



Figure 202. Side (north) and rear (west) elevations, view facing northeast.

A c.1950 addition is attached the original house on the west (rear) elevation. The one-story, rectangular plan addition rests on a concrete block foundation, has wood clapboard siding, and has a steep pitched gable roof covered in asphalt shingles. Windows are one-over-one, double-hung on the south elevation and six-over-six, double-hung on the north elevation. A secondary entrance with a gabled portico at the door is located on the north elevation (see Figure 203).

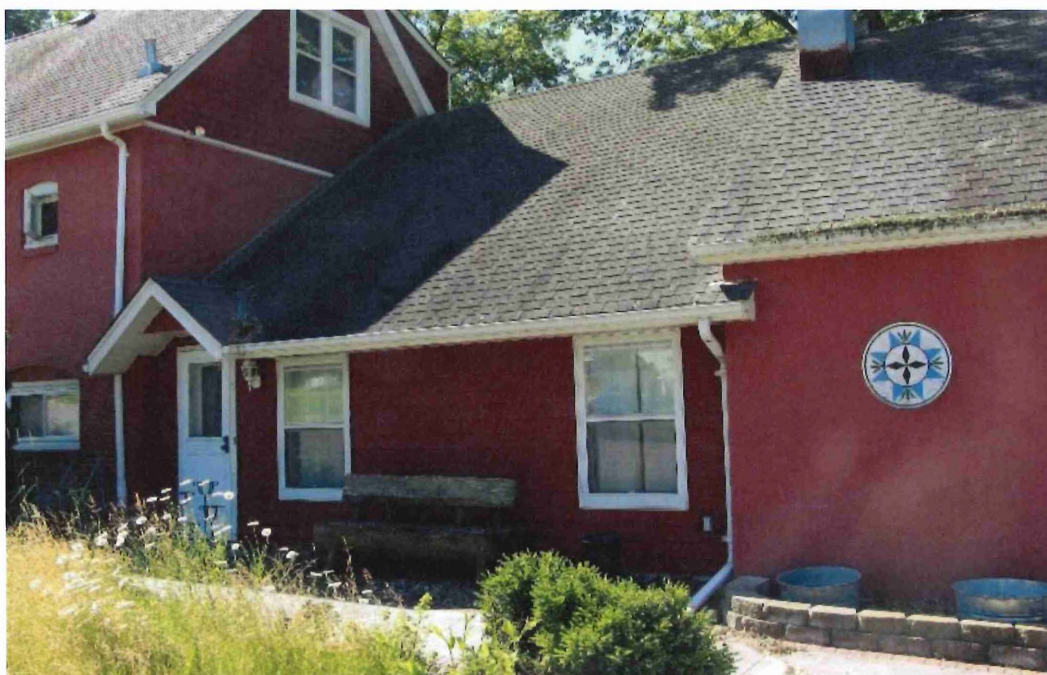


Figure 203. North elevation addition, view facing northeast.

A one-story, rectangular plan garage is attached to the rear (west) elevation of the addition (see Figure 204). The three-stall garage is clad in wood clapboard siding and has a side-gable roof covered in asphalt shingles. A metal chimney, single overhead door, and double overhead door are located on the north elevation. The south elevation is largely obstructed by vegetation, but a wood deck and glassblock windows are visible.



Figure 204. Three-stall garage, view facing north.

A modern shed is adjacent to the rear (west) elevation of the garage (see Figure 205). It features a gambrel roof covered in asphalt shingles. The shed is clad in vertical wood siding and has a double leaf door with no window openings.

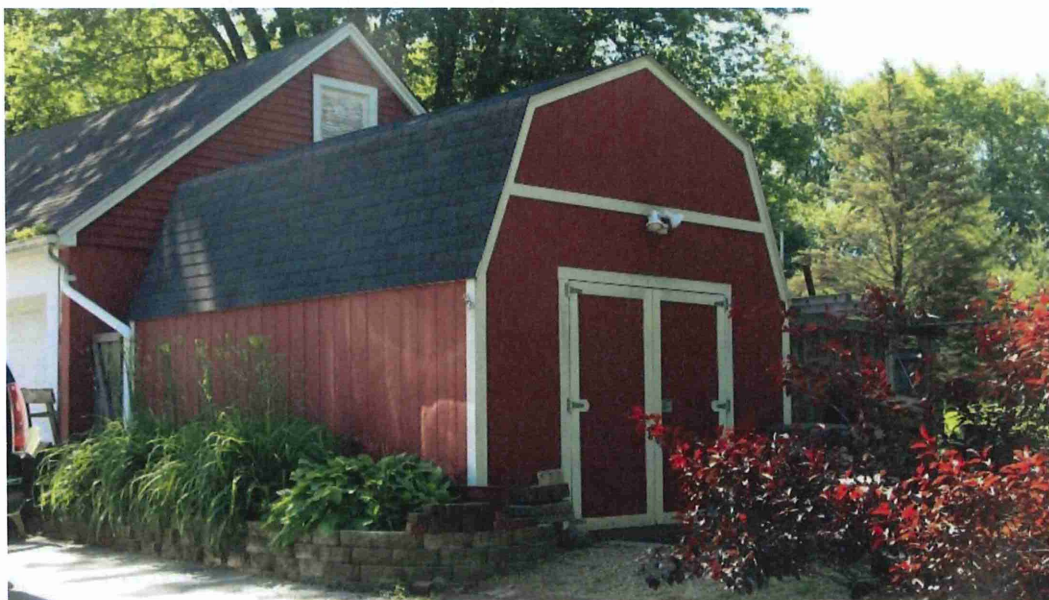


Figure 205. Modern shed, view facing northeast.

History

Mendota Township, Dakota County

This property is located within the 1886 T.T. Smith's Subdivision No. 2 in Section 24 of Mendota Heights (formerly Mendota Township) in Dakota County.³⁰³ Mendota Township, which became the village of Mendota Heights in 1956 and then a city in 1974, was established by Dakota County commissioners in 1858. Prior to European settlement, the rolling land of the township was covered with oak and maple timber with low marsh land and lakes scattered throughout. Many of the earliest pioneers first settled in the town of Mendota, located on the Mississippi River in the northwest corner of the township, but began clearing land for farming within the wider township once more land in Dakota County was opened for settlement.³⁰⁴ Mendota Township remained agricultural well into the twentieth century.³⁰⁵ While agricultural development occurred throughout the township, a number of early farms were located on early transportation routes, including Dodd Road. Several farms were located in the vicinity of the early T.T. Smith Subdivision No. 2, in the north-central part of the township. While development did increase, Mendota Heights did not experience a population boom until the mid-twentieth century. Many of the houses directly surrounding this property date to the 1970s and 1980s, with a few from earlier decades.³⁰⁶

Building history and owners

According to Dakota County property data, the house at 1549 Dodd Road was constructed in 1860. A build date of 1860 would make the house one of earliest, possibly the first, in the area. This Phase II evaluation was completed due to the house's early construction date. However, research could not confirm whether the house actually dates to 1860, as few records related to the property are available. Based on its materials and form the house was likely constructed c.1890.

The earliest available Mendota Township map is the 1853 survey, which does not indicate any settlement or structure in the vicinity of this property.³⁰⁷ An 1874 atlas indicates that an early settler, F.M. Libby, had acreage and a structure within Section 24 of Mendota Township (see Figure 206). While the structure does not appear to be on the same site as the subject house, due to the map scale it is difficult to confirm the exact location of Libby's property.³⁰⁸ Therefore, it cannot be confirmed that the house was constructed at that time or that F.M. Libby was the original owner. Despite indication of Libby on the 1874 map, he is not mentioned among the early settlers of Mendota Township in early Dakota County histories.³⁰⁹

³⁰³ Dakota County, "Dakota County GIS."

³⁰⁴ *History of Dakota County and the City of Hastings*, 516.

³⁰⁵ Schreier, *Picturing the Past: Events That Shaped Dakota County in the Twentieth Century*.

³⁰⁶ Schreier, *Picturing the Past: Events That Shaped Dakota County in the Twentieth Century*, 334, 337; Dakota County, "Dakota County GIS"; "Historical Aerial Photograph, Dakota County," 1970; "Historical Aerial Photograph, Dakota County," 1957; "Historical Aerial Photograph, Dakota County," 1953.

³⁰⁷ J. Wm. Trygg, "Composite Map of United States Land Surveyor's Original Plats and Field Notes" (Ely, Minn.: Trygg Land Office, 1964), available at the Minnesota State Historic Preservation Office.

³⁰⁸ A.T. Andreas, "Andreas Atlas of the State of Minnesota" (Minneapolis: A.T. Andreas, 1874), 58, available at the Dakota County Historical Society.

³⁰⁹ *History of Dakota County and the City of Hastings*, 516–521.

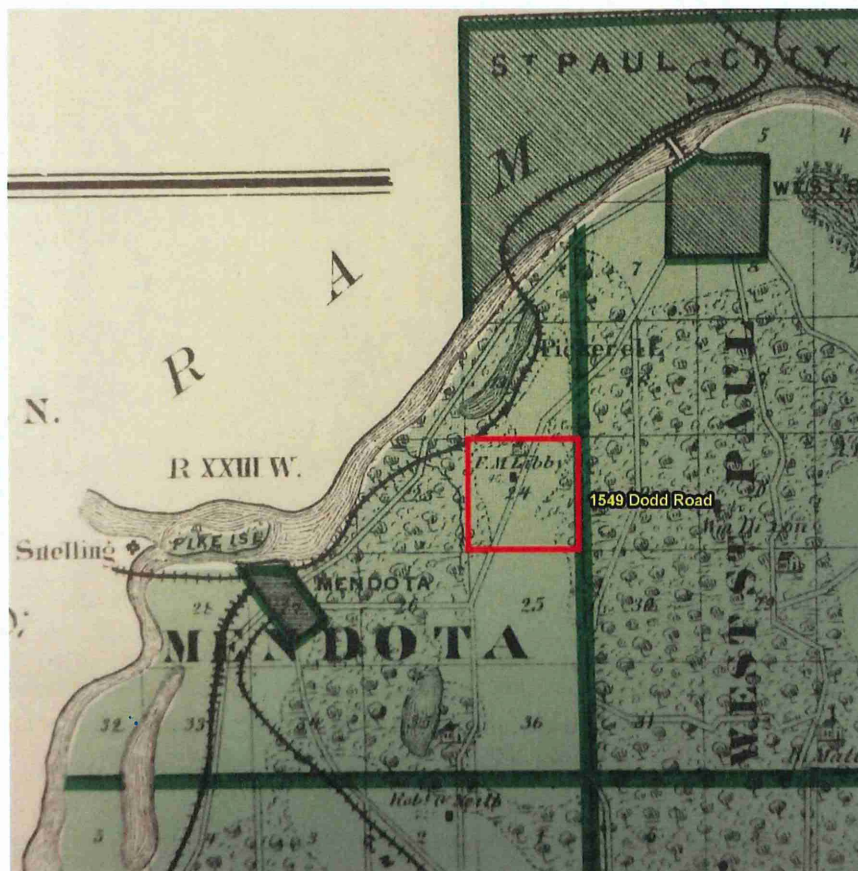


Figure 206. 1874 map of Dakota County, with F.M. Libby's parcel highlighted in red.³¹⁰

According to 1879 and 1886 maps of Dakota County, the land on which the subject house is located was owned by Thomas Tunis (T.T.) Smith (see Figure 207). The maps, however, do not indicate that a structure was located on the property, which suggests that this house was not yet constructed.³¹¹ Smith, a farmer originally from Pennsylvania, had large land holdings (220 acres in 1880) on discontinuous parcels in Section 24 of Mendota Township.³¹² Early Dakota County histories reveal that he served as township clerk, supervisor, and chairman.³¹³ While active in early government, available research does not suggest that Smith was important or influential in the formation or development of Mendota Township.

³¹⁰ Andreas, "Andreas Atlas of the State of Minnesota."

³¹¹ Warner & Foote, "Map of Dakota County" (Minneapolis, Minn.: Warner & Foote, 1879), available at the Dakota County Historical Society; Warner & Foote, "Map of Ramsey and Washington Counties: With Adjacent Portions of Anoka, Dakota & Hennepin Counties, Minn.," 1886, available at Minnesota Historical Society Collections.

³¹² Warner & Foote, "Map of Ramsey and Washington Counties: With Adjacent Portions of Anoka, Dakota & Hennepin Counties, Minn."; Warner & Foote, "Map of Dakota County"; "1880 Census Dakota County," 1880, Dakota County Historical Society.

³¹³ *History of Dakota County and the City of Hastings*, 517–518.

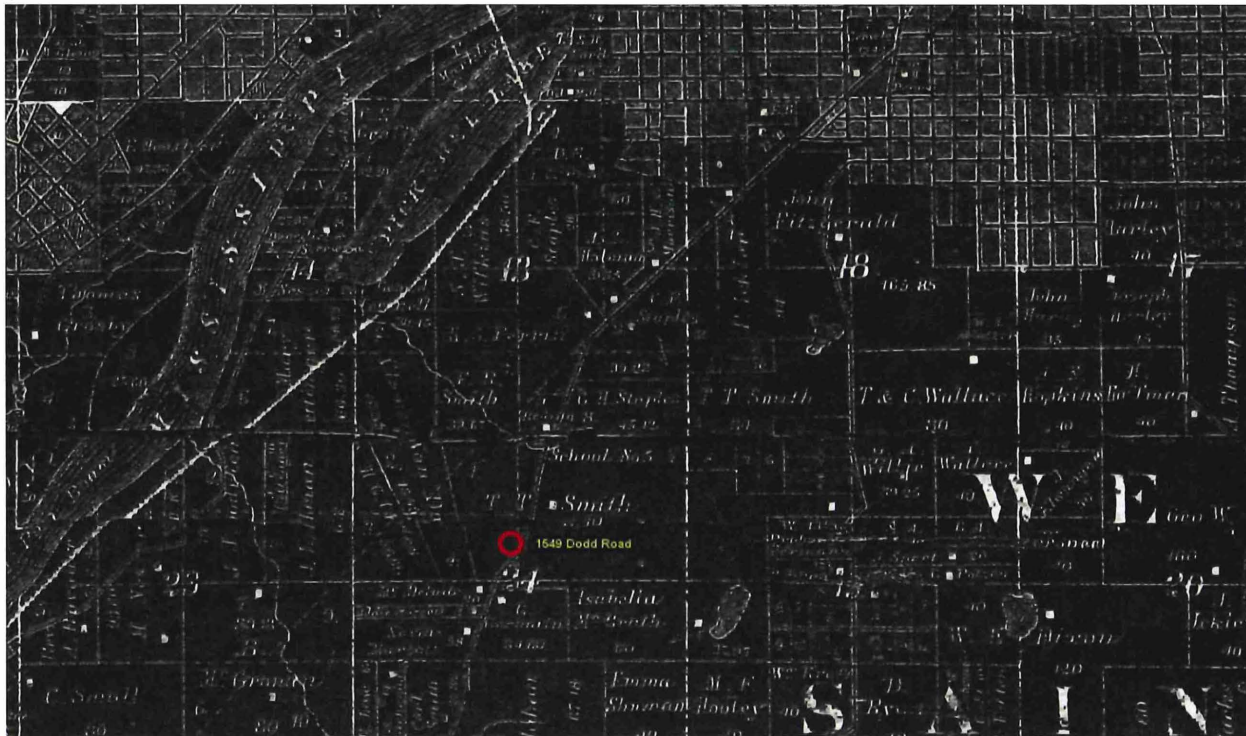


Figure 207. 1886 map of Ramsey and Washington Counties, with the subject parcel identified in red.
Note the lack of a building footprint at the site.³¹⁴

In 1886 Smith dedicated his land holding west of Dodd Road between present-day Emerson Avenue and Wentworth Avenue, which includes the subject property, to Dakota County to be surveyed and platted. The land was thereafter known as T.T. Smith Subdivision No. 2, one of the earliest platted subdivisions in the area.³¹⁵ Although the land was platted early, most of the parcels remained undeveloped well into the twentieth century, with full development not occurring until the 1980s.³¹⁶

Most subsequent maps depict the T.T. Smith Subdivision with shading or as “Outlot,” however, an 1896 map shows the plat, as well as building footprints (see Figure 208).³¹⁷ The subject house, however, is not portrayed on the map. The house is not included on a 1916 map, but both the house and garage are depicted on a 1928 plat map, confirming its presence on the site by that time (see Figure 209).³¹⁸

³¹⁴ Warner & Foote, “Map of Ramsey and Washington Counties: With Adjacent Portions of Anoka, Dakota & Hennepin Counties, Minn.”

³¹⁵ Elmer & Morrison, “T.T. Smith’s Sub-Division No. 2” (Dakota County, March 10, 1886), Dakota County.

³¹⁶ Bertine F. Pinkney, “Plat Book of Dakota County, Minnesota” (Philadelphia: Union Publishing Company, 1896), Dakota County Historical Society; NETR Online, “Historic Aerials,” *Historic Aerials*, 2016, <http://historicaerials.com/>.

³¹⁷ C.M. Foote & Co., “Map of Ramsey and Hennepin Counties, with Adjacent Portions of Anoka, Wright, Carver, Scott, Dakota & Washington Counties, Minnesota” (N.p.: C.M. Foote & Co., 1890), available at the Minnesota Historical Society; Pinkney, “Plat Book of Dakota County, Minnesota,” 1896.

³¹⁸ G.M. Hopkins Co., “Plat Book of the City of Saint Paul Minn. and Suburbs” (Philadelphia: G.M. Hopkins Co., 1928), 56, Dakota County Historical Society.

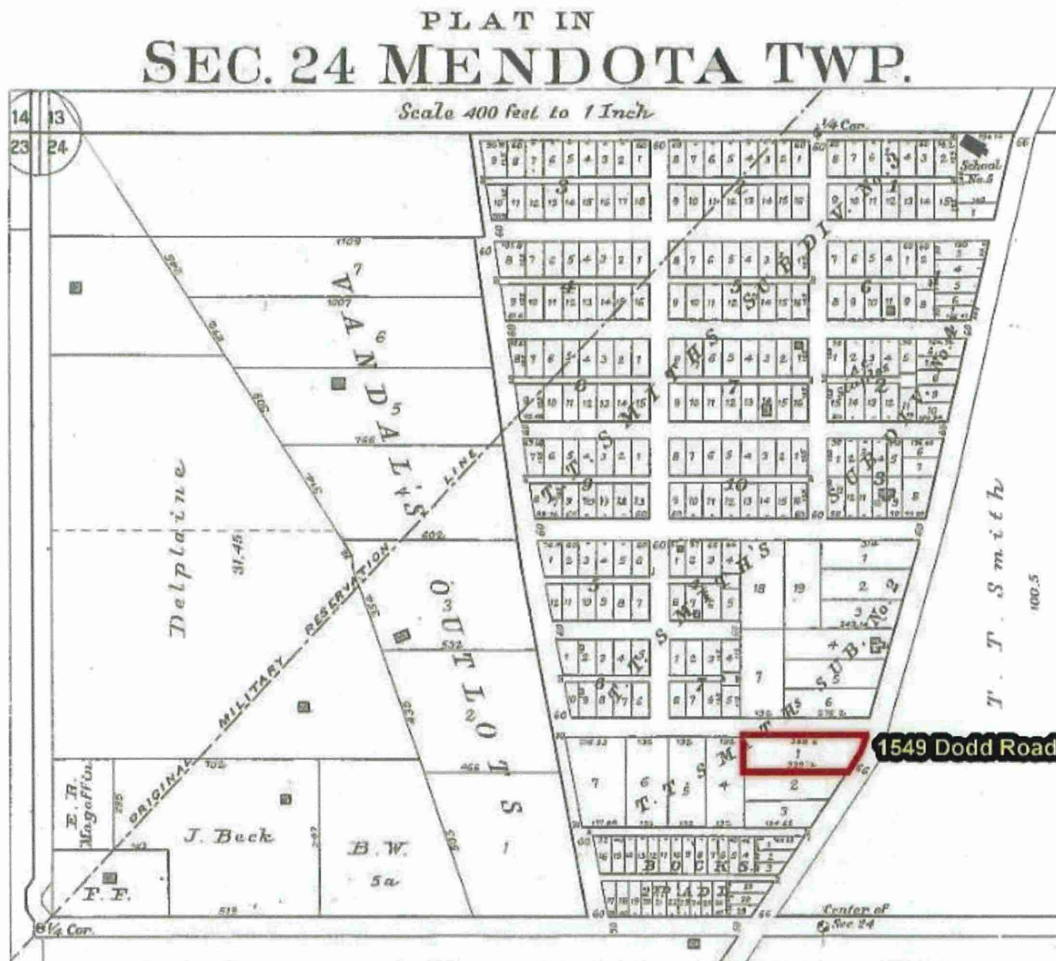


Figure 208. 1896 map of Dakota County with the subject parcel identified in red. Note the lack of a building footprint on the lot.³¹⁹

³¹⁹ Pinkney, "Plat Book of Dakota County, Minnesota," 1896.

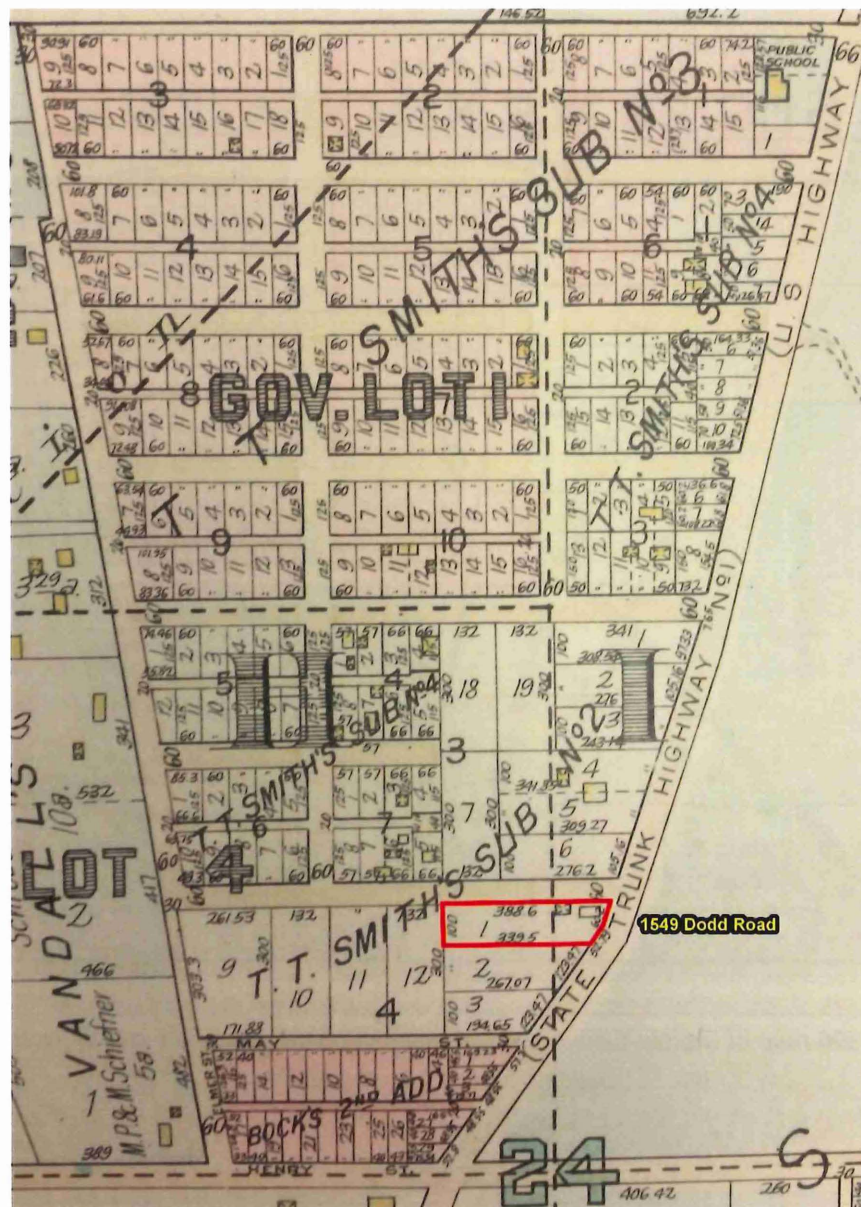


Figure 209. 1928 map with the subject property highlighted in red. Note the presence of the house and garage on the property.³²⁰

Although these early maps imply a c.1920 construction date, the features of the house suggest a pre-1900 built date, likely c.1890. Map inaccuracies may provide an explanation as to why the house is not depicted on earlier maps. Another possibility may be that the house was moved to the site at a later time. Regarding the County data that provides the 1860 construction date, that suggestion may be from a land transaction record that predates the house construction. Additionally, this early construction date seems unlikely as T.T. Smith transferred owned of the land to the county in 1886.

³²⁰ G.M. Hopkins Co., "Plat Book of the City of Saint Paul Minn. and Suburbs."

As the original construction date cannot be verified, it is difficult to ascertain the original owner and occupant. City Directories for Mendota Heights are also not available until the mid-twentieth century, which is well after the initial development in the area, thereby making knowledge of early ownership difficult. According to later City Directories, the property was owned by Andrew W. Schneider from at least 1959 until at least 1974.³²¹ In 1986 the property was owned by Edward & Susan Adrian.³²² The property has remained in the Adrian family since that time as the current owners are Todd J. Adrian and Renee Taylor Adrian.³²³

Building alterations

Maps and historical aerial photographs indicate that an addition was constructed between the house and the garage. According to historical aerial photographs this addition was constructed between 1947 and 1953.³²⁴ The dormer on the south elevation is also a modern addition. Building permits in the City of Mendota Heights records are not complete and do not include building permits for either addition. City records do indicate that siding was replaced on the house in 1977. As the brick is original, this permit likely indicates the siding on the additions and gable end. Additionally, in 2006 owners replaced 21 windows.³²⁵ New bricks on the side (north) elevation and the front (east) facade suggest that window openings were partially infilled and altered, likely in 2006. Furthermore, alterations in the brick on the side (north and south) elevations suggest that a historic addition was located on the rear (west) elevation prior to the construction of the current addition. Aerial photographs or building permits are not available to confirm.

Nineteenth-century vernacular architecture

This house is an example of the front-gable form, a type of vernacular architecture found throughout the country, including Minnesota, during the second half of the nineteenth century. The form became prominent after the expansion of the railroad from 1850 to 1890 and remained the dominant folk form well into the twentieth century.³²⁶ The form was commonly used in middle and working class housing, as well as in rural settings.³²⁷ In terms of design the front gable form is typically one, one and one half, or two stories in height. The exterior form mirrored the interior organization and the length of the house was

³²¹ R.L. Polk & Co., *South St. Paul and West St. Paul City Directory* (St. Paul, Minn.: R.L. Polk & Co., 1959), 80; R.L. Polk & Co., *South St. Paul and West St. Paul City Directory* (St. Paul, Minn.: R.L. Polk & Co., 1966), 108; R.L. Polk & Co., *South St. Paul and West St. Paul City Directory* (St. Paul, Minn.: R.L. Polk & Co., 1974), 165.

³²² Sharon Bruestle and Mildred Smith, "Historical Survey of Homes in Mendota Heights" (Mendota / West St. Paul Historical Society Chapter, 1986), available at the Dakota County Historical Society.

³²³ Dakota County, "Dakota County GIS."

³²⁴ "Historical Aerial Photograph, Dakota County," 1947, available in the Borchert Map Library, University of Minnesota; "Historical Aerial Photograph, Dakota County," 1953.

³²⁵ "Building Permit -1549 Dodd Road" (City of Mendota Heights, June 13, 1977), Building Permit Database, City of Mendota Heights; "Building Permit -1549 Dodd Road" (City of Mendota Heights, February 15, 2006), Building Permit Database, City of Mendota Heights; "Building Permit -1549 Dodd Road" (City of Mendota Heights, November 7, 2006), Building Permit Database, City of Mendota Heights.

³²⁶ McAlester et al., *A Field Guide to American Houses*, 136.

³²⁷ Herbert Gottfried and Jan Jennings, *American Vernacular Buildings and Interiors, 1870-1960* (New York: W.W. Norton & Company, Inc., 2009), 149.

most commonly the greater dimension. Characteristics of the form include clean lines, a simple form, wide eave, and no projections off the facade. Architectural treatments that reflect popular styles of the day, such as Craftsman or Queen Anne, were often utilized.³²⁸

Significance

A Phase II evaluation was completed for this house due to its suggested c.1860 construction date. This house was evaluated for the National Register under *Criteria A, B, and C*.

Criterion A

To be eligible under *Criterion A: Event* in the area of History, a property must be associated in an important way to a significant historic event or broad pattern in history that was important to the development of Minnesota, Ramsey County, or Mendota Township (later Mendota Heights). While research did not verify the exact construction date of this house, based on its materials and form the house was likely constructed c.1890. Research, however, did not reveal that the property was important in the early development of Dakota County or Mendota Township. Similarly, research did not suggest any association between the house or its owners and important historical trends or events in within the township or wider county. As such, the house at 1549 Dodd Road is recommended not individually eligible under *Criterion A*.

Criterion B

To be eligible under *Criterion B: Significant Person*, the property must be associated with a person who made a significant contribution to the development of Minnesota, Dakota County, or Mendota Township (later Mendota Heights). This house does not appear to be associated with significant individuals in Mendota Township or Dakota County history. Research did not reveal the original owner of the house, but T.T. Smith is known to be an early owner of the land. While Smith was a pioneer settler that served within the township government, his association with this house was not confirmed nor did research reveal that Smith made a significant impact on the development or history of Mendota Township, Dakota County, Minnesota, or the nation. Likewise, research did not reveal that subsequent twentieth-century owners of the property made any noteworthy contributions to local, state, or national history. As such, the house at 1549 Dodd Road is recommended not individually eligible under *Criterion B*.

Criterion C

To be eligible under *Criterion C: Architecture*, the property must represent the work of a master, possess high artistic value, and/or embody the distinctive characteristics of type, period, or method of construction. This house is an example of the front-gable vernacular form, a form frequently found within Mendota Township and wider Dakota County. While the building possesses common features of the type, it does not possess any distinctive characteristics that would make it an extraordinary example, nor does the building possess high artist value. Due to its vernacular form, it is unlikely that the house was designed by an architect or prominent builder. As such, the house at 1549 Dodd Road is recommended not individually eligible under *Criterion C*.

³²⁸ Gottfried and Jennings, *American Vernacular Buildings and Interiors, 1870-1960*, 143, 146, 149.

Section 4 Results

Integrity

The house at 1549 Dodd Road is not significant under *Criteria A, B, or C*; therefore, review of integrity is not warranted.

Recommendation

The house at 1549 Dodd Road is recommend not eligible for the National Register under *Criteria A, B, or C*.

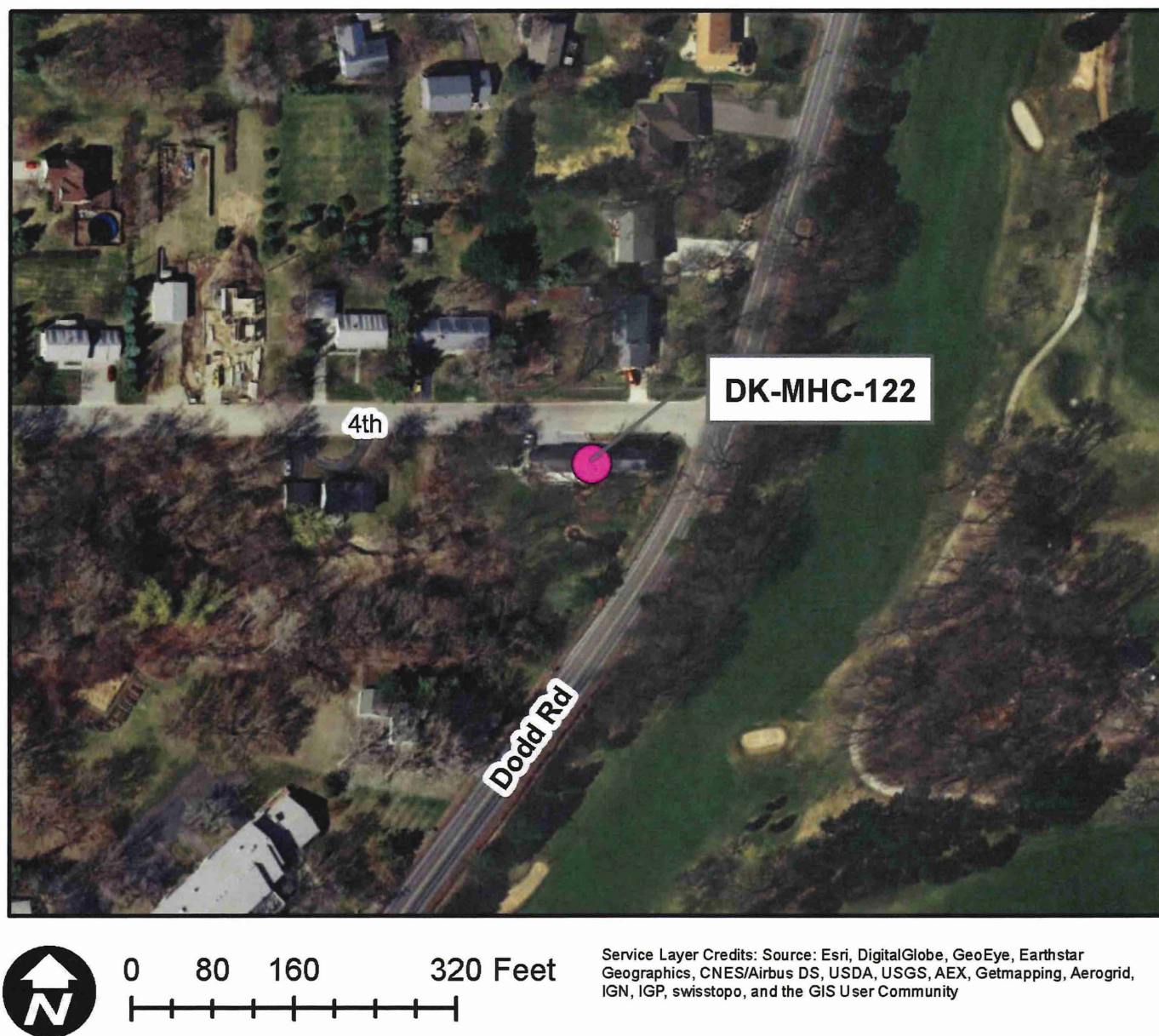


Figure 210. 1549 Dodd Road location map.

4.4.17 Dodd Road

MnHPO Inventory No.: XX-ROD-008

Address: N/A

City/Township: Saint Paul, West Saint Paul, Mendota Heights

Description

TH 149 extends the entire length of the project corridor, which runs in a generally north-south orientation from the intersection of W. 7th Street in St. Paul, Ramsey County, to I-494 in Mendota Heights, Dakota County (see Figure 211). The overall TH 149 corridor extends approximately 4.5 additional miles to the southeast and terminates at the intersection with TH 3. Within the project corridor, the road runs concurrently with Smith Avenue from its northern terminus to the intersection with Dodd Road. At that point TH 149 follows Dodd Road into Mendota Heights. The corridor is predominately two lanes with two-way traffic, although small sections of the road are divided by central concrete medians. These sections include Mendota Heights Road to I-494 and Banfill Street to the High Bridge. Additionally, the road briefly becomes two lanes in one or both directions and includes turn and merge lanes near select intersections. The road has a bituminous surface throughout the corridor.



0 0.375 0.75 1.5 2.25 3 Miles

TH 149
XX-ROD-008

TH 149

Figure 211. Map of the TH 149 corridor.

Near the northern terminus of the corridor, between W. 7th Street and the High Bridge over the Mississippi River, TH 149 extends through an early urban Saint Paul neighborhood where it is bordered by mid-to-late-nineteenth-century buildings with shallow setbacks. Many of the houses are vernacular with a few representing popular styles of the time, such as Greek Revival, Italianate, and Queen Anne. The road has travel lanes flanked by parking lanes with concrete curb and gutter, and is lined with grassy boulevards with mature deciduous trees and concrete sidewalks. Historic and modern light standards are also located on both sides of the street (see Figures 212 and 213). High Bridge Park North is located at the south end of this section off the northeast quadrant of the High Bridge.



Figure 212. TH 149/Smith Avenue North just south of intersection with W. 7th Street, view facing south.



Figure 213. TH 149/Smith Avenue North at Goodrich Avenue, view facing north.

At the Mississippi River TH 149 crosses the High Bridge and continues south along Smith Avenue South with a similar cross-section as that north of the river, with travel lanes flanked by on-street parking, curb and gutter, grassy boulevards with mature trees, and sidewalks lining the corridor. The buildings are predominately residential, dating primarily from the late nineteenth to the early twentieth centuries, with a few infill buildings. Residences are largely one- to two-story vernacular houses. Commercial buildings are also located at some intersections, such as Annapolis Street. Building setbacks are still relatively shallow but the area is more hilly, necessitating retaining walls along some front yards (see Figure 214). A painted road median is located south of the High Bridge until approximately George Street. Power lines briefly line the west side between Stevens Street and Baker Street.



Figure 214. TH 149/Smith Avenue South at George Street, south of High Bridge, view facing south.

The corridor continues along Smith Avenue through Saint Paul into West Saint Paul until the intersection of Smith Avenue and Dodd Road. At that juncture the TH 149 corridor transitions from the former's north-south alignment to the latter's northeast-southwest alignment. Around the intersection a major commercial node of one and two story commercial buildings developed. The majority of these commercial buildings are located on Smith Avenue on the north side of the intersection. Just south of the intersection, along Dodd Road, development along the corridor quickly returns to residential (see Figures 215 and 216).



Figure 215. TH 149, intersection of Smith Avenue South and Dodd Road, view facing north.



Figure 216. TH 149, intersection of Smith Avenue and Dodd Road, view facing southwest along Dodd Road.

South of the Smith Avenue South/Dodd Road intersection, TH 149 has several slight curves (see Figure 217). The road continues within West Saint Paul until the intersection with Delaware Avenue, where it crosses into Mendota Heights. Concrete curb and gutter is located along various sections on either side

of TH 149/Dodd Road within West Saint Paul and Mendota Heights, and setbacks become increasingly deeper as the route extends south.



Figure 217. Dodd Road at Mears Avenue in Mendota Heights, view facing north.

Within West Saint Paul cross streets intersect TH 149/Dodd Road at angles rather than on a grid as they do on Smith Avenue. The road is still wide enough to allow for on-street parking, but the shoulders are less clearly marked. Coniferous and deciduous trees continue to line the corridor as do sidewalks until approximately Cherokee Avenue. Curb and gutter is present along this portion and power lines remain along the west side of the corridor. Residences also transition from early-twentieth-century vernacular houses to mid-century forms.

Within Mendota Heights intersecting streets are both straight and curvilinear and thereby meet TH 149/Dodd Road at various angles. The route is lined with coniferous and deciduous trees and features a narrow shoulder on a both sides. Some driveways are accessed along Th149/ Dodd Road while others are accessed on intersecting streets. The vegetation along the road in combination, with deeper setbacks that decrease the visibility of adjacent properties (see Figures 218 and 219).



Figure 218. Dodd Road at Wentworth Avenue West in Mendota Heights, view facing north.



Figure 219. Dodd Road at Spring Creek Circle in Mendota Heights, view facing southeast.

Properties along TH 149/Dodd Road in Mendota Heights are predominantly mid-twentieth-century residences but also include recreational properties, such as the Somerset Country Club, as well as commercial properties. The majority of commercial properties are concentrated at major intersections, particularly the intersection with TH 110 where there is a modern business complex in the northeast

quadrant and a modern shopping complex in the southeast quadrant. At that signalized intersection TH 149 widens to include turn lanes (see Figure 220).



Figure 220. Dodd Road at TH 110 in Mendota Heights, view facing northwest.

South of the TH 110 intersection, TH 149/Dodd Road returns to a two-lane road with occasional turn lanes as it continues south through Mendota Heights (see Figures 221 and 222). Overall lot sizes increase with deeper setbacks. Near the corridor's southern terminus, undeveloped wooded parcels also line the corridor, creating a buffer between the road modern housing developments. At the intersection with I-494 the road widens to include turn lanes and a concrete median separates the opposing traffic lanes (see Figure 223). The concrete medians are located south of Lake Drive until the I-494 overpass. Although TH 149/Dodd Road continues south of I-494, this survey corridor ends at the Interstate Highway.



Figure 221. Dodd Road at Decorah Lane in Mendota Heights, view facing north.



Figure 222. Dodd Road at Decorah Lane in Mendota Heights, view facing south.



Figure 223. Dodd Road at Mendota Heights Road in Mendota Heights, view facing north.

History

This historic context details the development of TH 149 from its designation in 1920 to the present day. Additionally, as the TH 149 route is partially concurrent with Dodd Road, one of the earliest roads in the state of Minnesota, the history of that early road is linked with the overall history of the Trunk Highway and is included in this context. In addition to transportation, research revealed other historic themes that relate to its use as a transportation corridor between the Twin Cities and Dakota County. These themes include tourism, which begins prior to the creation of the Trunk Highway System, and the defense industry, which developed during World War II.

Early development and improvements

Beginning at the intersection of Smith Avenue and Dodd Road in West Saint Paul, the TH 149 corridor is concurrent with Dodd Road. Initially constructed in 1853, Dodd Road is significant for its role in the settlement of Minnesota Territory. The entire route was evaluated in 2002 and resulted in portions of Dodd Road in Le Sueur and Rice Counties being listed in the National Register. A detailed history of the road's construction can be found in the 2002 report and the National Register Nomination. The following is a summarization of that history.³²⁹

As Minnesota became a territory in 1849, pioneers initiated a road-building program. To that end Territorial Delegate Henry H. Sibley introduced House Report 21 into the House of Representatives for the construction of territorial roads. In conjunction, Minnesota's legislative assembly sent several

³²⁹ Anthony Godfrey, *Historic Dodd Road: Reconnaissance Survey and National Register Nomination Recommendations*, 2002, Minnesota Historic Preservation Office, St. Paul, Minn.; National Register of Historic Places, Dodd Road, Le Sueur and Rice Counties, Minnesota, NR# 03000520.

petitions to Congress for road appropriations that included a proposal to survey the proposed Mendota to Big Sioux River Road, which extended from Mendota through south central Minnesota to the mouth of the Big Sioux River on the Missouri River (presently in Sioux City, Iowa). Dodd Road would later become a part of this larger Mendota to Big Sioux River Road project.³³⁰

Congress agreed to fund new roads in Minnesota, including the Mendota to Big Sioux River Road. However, at that time it did not see the need for the Mendota to Big Sioux River Road in southern Minnesota. Additionally, as the U.S. did not have legal rights to the land at that time, work on the Mendota to Big Sioux Road survey became a low priority in terms of road work in the territory. Despite local need and enthusiasm, little work occurred on the project in the first years of the 1850s as emphasis was placed elsewhere.³³¹

The signing of the 1851 Traverse des Sioux Treaty and its ratification by the Senate in 1852 led to increased European settlement in south-central Minnesota, which increased the need for roads. However, even after ratification the federal government continued to withhold sufficient funds or emphasis on the Mendota to Big Sioux Road project, which frustrated local citizens. The lack of roads prevented farmers from bringing crops to Saint Paul markets, and the only viable transportation corridor was the Minnesota River. The growing frustration led local citizens to take matters into their own hands. In 1852-1853 local citizens began raising private funds to build roads, including William B. Dodd of Traverse des Sioux (now a part of Saint Peter, Minnesota) who raised over \$400 by January 1853. Despite these efforts, no immediate work began on new roads.³³²

As private citizens raised funds in 1852, the establishment of Fort Ridgely in Minnesota and the removal of the Dakota to a permanent reservation necessitated the construction of a road to these destinations. Subsequently, Congress finally saw a need to fund the stalled Mendota to Big Sioux River Road project. At the end of 1852 Congress passed new resolutions to survey the Mendota to Big Sioux River Road and appropriated \$5,000 to the project.³³³

As news of the survey project reached Minnesota, "interested parties in the territorial capital" hired William B. Dodd, a trained civil engineer and militia captain, to construct a road from Saint Paul to Big Bend (present-day Saint Peter, Minnesota) in advance of the federal survey. According to the National Register Nomination, "it is not clear why promoters of the road from Mendota to Rock Bend [now a part of St. Peter, Minnesota] chose to construct the [commercial] road themselves at their own expense rather than wait for the completion of the federal survey." It is also unclear if they had any knowledge of the overall stalled Mendota to Big Sioux River Road's path.³³⁴

³³⁰ National Register of Historic Places, 8-2, 8-3.

³³¹ National Register of Historic Places, 8-3, 8-4.

³³² National Register of Historic Places, 8-5, 8-6, 8-7, 8-8, 8-9.

³³³ National Register of Historic Places, 8-8, 8-9, 8-10, 8-11, 8-12, 8-13.

³³⁴ National Register of Historic Places, 8-8.

From spring of 1853 to July of the same year Dodd's crew constructed the approximately 70-mile rudimentary road from Mendota to Big Bend (St. Peter). The all-season road opened commerce and communication between Saint Paul and southern Minnesota. A few months after the initial completion of Dodd's road, the federal survey of the Mendota to Big Sioux River Road linked to the route. Dodd Road became the final segments (north end of Division 5 and all of Division 6) of the larger road project. In 1855, following recommendations from the federal surveyors, construction of the Mendota to Big Sioux River Road commenced, beginning with the Mendota to Mankota (near Saint Peter) section of the route, which included Dodd Road. Prior to and during the construction of these improvements the initial Dodd Road continued to be used by locals. Road construction from Mendota to Mankato was complete by 1857.³³⁵

Although the larger Mendota to Big Sioux River Road had a limited military purpose, the Dodd Road segment was not intended for or used by the military.³³⁶ The road, however, was vital in opening settlement in south-central Minnesota as several communities were established along the route, including Lakeville (1853) and Rosemount (1858). When Minnesota became a state in 1858, ownership of the road fell under local jurisdiction. However, the road deteriorated due to lack of funds. With the construction of railroads after the civil war, earlier wagon roads, such as Dodd Road, became secondary in the overland transportation system.³³⁷

Research provided minimal information on Dodd Road from the period between its initial development and the early twentieth century. Research indicates that a portion of the road within Mendota Township was realigned in 1862; the route historically followed present-day Delaware Avenue but was realigned to the west, its current alignment, at that time.³³⁸ Research did not reveal the termini of this road realignment or explain why the road was realigned. In addition, grading work was contracted for Dodd Road in 1878.³³⁹ While information is limited, research indicates that Dodd Road continued to be an important transportation route in Dakota County during this period.

Tourism in the early twentieth century

In the early twentieth century the future TH 149 corridor, including both Dodd Road and Smith Avenue, was a part of an automobile touring route that extended from south-central Minnesota to Saint Paul.³⁴⁰ Within Dakota County the route extended from Wescott (Eagan) along Dodd Road to Smith Avenue, across the High Bridge, and into Saint Paul (see Figure 224).³⁴¹

³³⁵ National Register of Historic Places, 8–9, 8–11, 8–15.

³³⁶ National Register of Historic Places, 8–16.

³³⁷ National Register of Historic Places, 8–16.

³³⁸ "The Land of Ten Thousand Lake Over Jefferson Highway, Minnesota," 3; "Somerset School Story Brought Up To Date."

³³⁹ "Contract Work," *The Saint Paul Globe*, April 9, 1878.

³⁴⁰ Although the corridor did not change source indicate that the route was renumbered. Route numbers included 38 and 58.

³⁴¹ Minnesota Automobile Association, *Automobile Hand Book of the Tours From the Twin Cities to Points in Minnesota and Wisconsin* ([St. Paul, Minn.]: Minnesota State Automobile Association, Touring Committee, 1907); George W. Woods, *Minnesota Automobile Guide Book* (St. Paul, Minn.: Automobile Club of St. Paul, 1912).

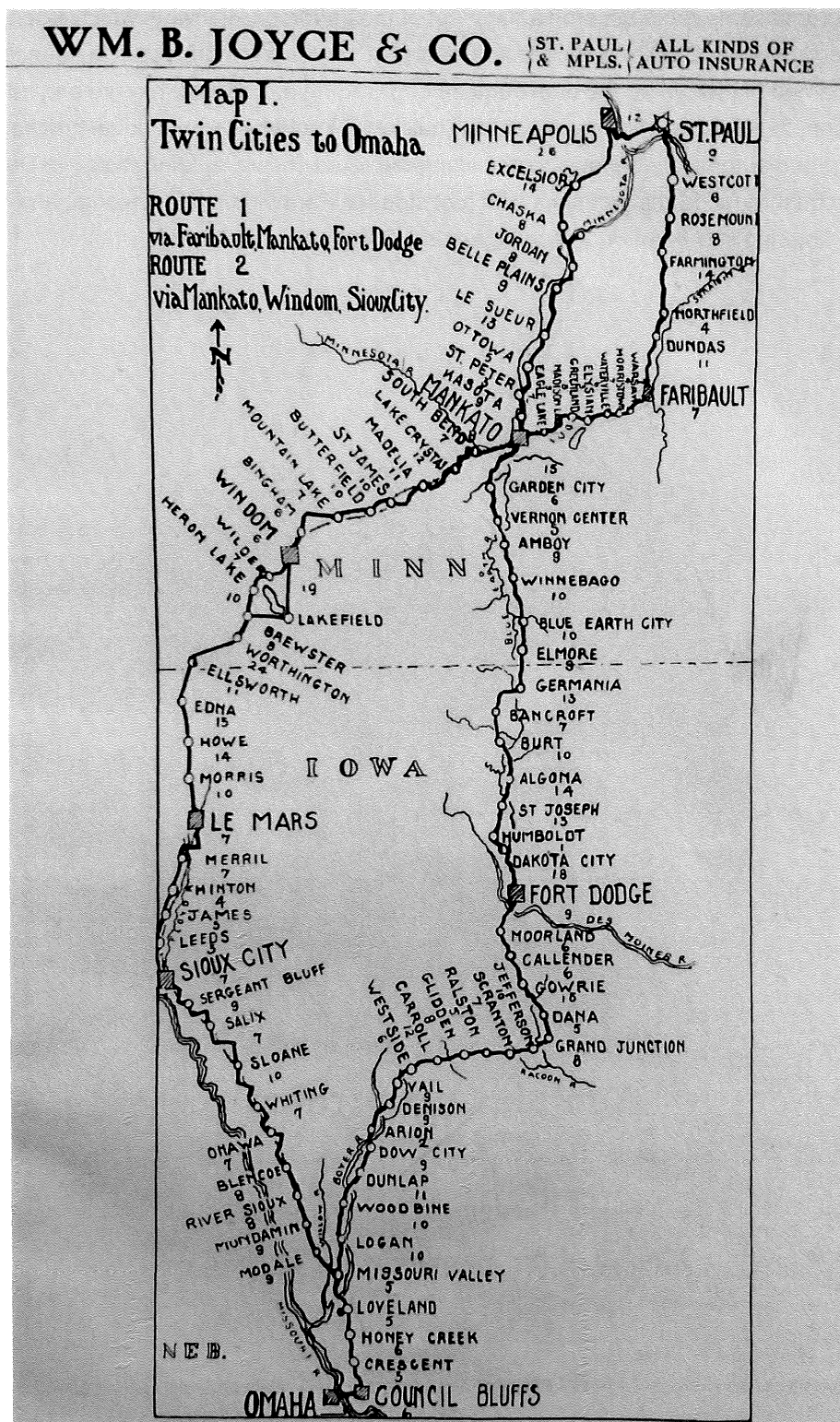


Figure 224. 1912 automobile tour guide map.³⁴²

³⁴² George W. Woods, *Minnesota Automobile Guide Book* (St. Paul, Minn.: Automobile Club of St. Paul, 1912).

A few years later that same route became a segment of the Jefferson Highway, which extended from Winnipeg, Canada, to New Orleans, Louisiana. Created in 1915 and incorporated in Minnesota in 1917, the prominent named highway had the dual purpose of providing a north-south route and honoring Thomas Jefferson, as it followed the border of the Louisiana Purchase. Promotional brochures for the highway encouraged automobile travel in states along the route, including Minnesota. In Dakota County the route traversed through farming centers with rest stops at Farmington, Rosemount, and Wescott (Eagan) before entering into Saint Paul (see Figure 22).³⁴³

³⁴³ Jefferson Highway Association, "Jefferson Highway Declaration" (Jefferson Highway Association, July 1916), Minnesota Historical Society; Jefferson Highway Association, "Pines and Palms" (Jefferson Highway Association, June 1923), Minnesota Historical Society; "The Land of Ten Thousand Lake Over Jefferson Highway, Minnesota"; Minnesota Highway Department, "Trail Registration for the Jefferson Highway, Minnesota," n.d., <http://reflections.mndigital.org/cdm/singleitem/collection/mdt/id/177>.

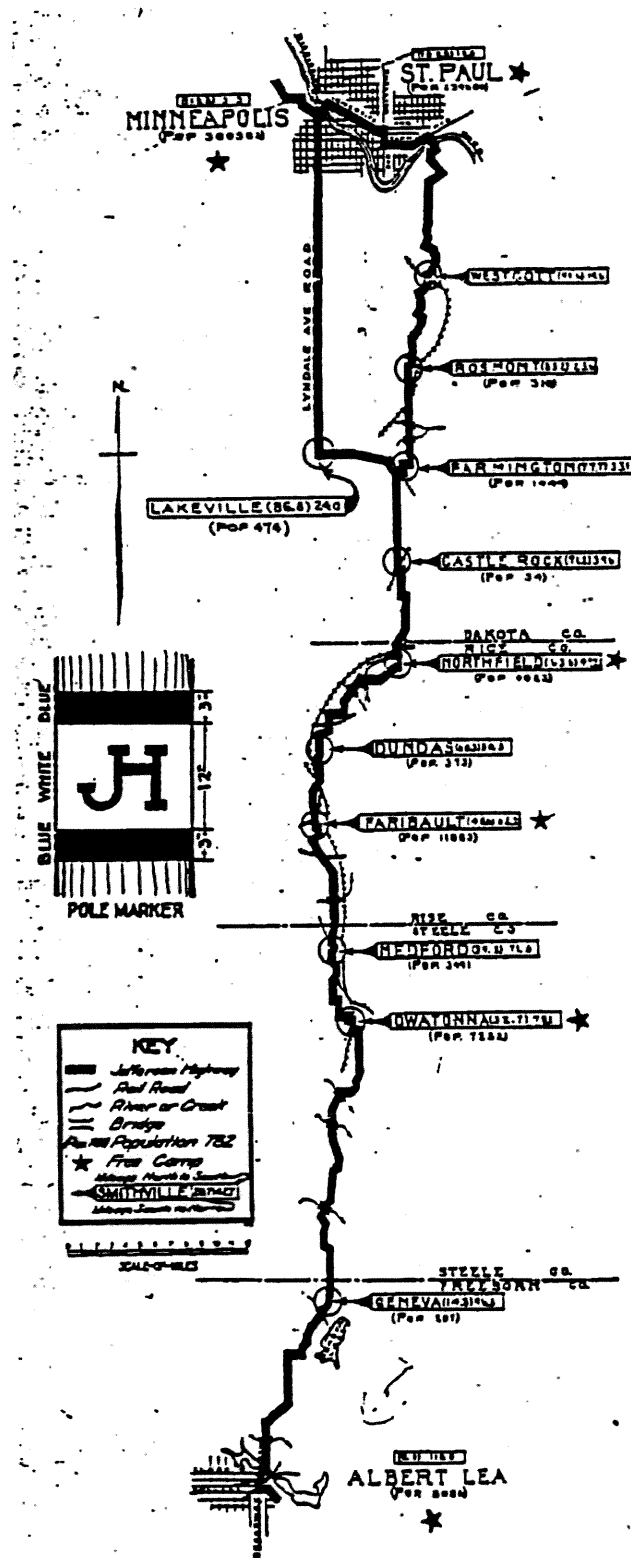


Figure 225. Jefferson Highway from southern Minnesota to Saint Paul.³⁴⁴

³⁴⁴ Jefferson Highway Association, "Pines and Palms."

Early-twentieth-century improvements

A Minnesota constitutional amendment first laid the groundwork for a highway system in 1905, enabling creation of a State Highway Commission and the designation of specific routes as State Roads.³⁴⁵

According to annual reports, both Ramsey and Dakota Counties received allotments for State Roads, one of which was the future TH 149 (Dodd Road) corridor.³⁴⁶

In 1917 the State established the Minnesota Highway Department (MHD) to fulfill the condition to obtain federal aid for roads.³⁴⁷ Although the MHD set standards for road building and educated citizens on the best engineering practices, it did not have the authority to construct roads until 1920, when Commissioner of Highways Charles Babcock's amendment to the state constitution established 70 Trunk Highway routes. Present-day TH 149 was first established in the constitutional amendment as constitutional route TH 1, where it is described as follows:

Route No. 1. Beginning at a point on the boundary line between the states of Minnesota and Iowa, southeasterly at Albert Lea and thence extending in a northwesterly direction to a point in Albert Lea and thence extending in a northerly direction to a point and on the southerly limits of the city of St. Paul and then beginning at a point on the northerly limits of the city of St. Paul and thence extending in a northerly direction to a point on the westerly limits of the city of Duluth and then beginning at a point on the northerly limits of the city of Duluth and thence extending in a northeasterly direction to a point on the boundary line between the state of Minnesota and the province of Ontario, affording Albert Lea, Owatonna, Faribault, Northfield, Farmington, St. Paul, White Bear, Forest Lake, Wyoming, Rush City, Pine City, Hinckley, Sandstone, Moose Lake, Carlton, Duluth, Two Harbors, Grand Marais and intervening and adjacent communities a reasonable means of communication, each with the other and other places within the state.³⁴⁸

³⁴⁵ The amendment was first proposed in 1898, but due to legal challenges was not formally adopted until 1905. Minnesota Department of Highways, "History and Organization of the Department of Highways – State of Minnesota," 7, 15-16; Minnesota Department of Highways, *Report to the House of Representatives Interim Committee on State Administration* (N.p.: n.p., 1943), 2, available from the Minnesota Highway Department Collection, Miscellaneous Records, Gale Family Library, Minnesota Historical Society, St. Paul, Minn.

³⁴⁶ Cooley, George, State Engineer, "Map of State of Minnesota Showing State Roads Designated by County Resolutions," Highway Map (St. Paul, Minn.: State Highway Commission of Minnesota, January 1907).

³⁴⁷ The MHD later became the Minnesota Department of Highways. For simplicity, the acronym MHD is used throughout this document. Bruce Seely, *Building the American Highway System: Engineers as Policy Makers* (Philadelphia: Temple University Press, 1987), 47; Minnesota Department of Highways, *Report to the House of Representatives Interim Committee on State Administration* (N.p., 1943), Available at the Minnesota Highway Department Collection, Miscellaneous Records, Gale Family Library, Minnesota Historical Society, St. Paul, Minn.

³⁴⁸ *Constitutional Trunk Highways, Transportation*, vol. 161.114, 1920, <https://www.revisor.mn.gov/statutes/?id=161.114>.

According to control section records, between 1919 and 1920 the route was graded and an asphalt base constructed from the future TH 55 to the Ramsey/Dakota County line.³⁴⁹ Similar construction work was completed south of TH 55 to present-day TH 3 between 1919 and 1922.³⁵⁰

Use of and improvements to the trunk highway

The Trunk Highway System provided important regional and interstate connections. TH 1 was one of eight highways linking Minnesota and Iowa and two connecting to the Canadian border.³⁵¹ Between 1923 and 1924 traffic on the Trunk Highway System rose substantially; traffic counts show a statewide increase of 26 percent overall, for a system-wide average daily traffic (ADT) of 846 in 1924.³⁵² Based on the results of counts taken at 178 locations throughout the system, TH 1 was a heavily traveled route emanating from the urban Twin Cities, although not one of the top-used routes.³⁵³ In addition, the Jefferson Transportation Company ran a bus route over the road.³⁵⁴ Daily traffic counts for 1924 along the segment of TH 1 from Farmington to Saint Paul showed that the highway carried 2,974 vehicles per day. Passenger traffic made up nearly all of the total volume, and out-of-state passenger vehicles accounted for approximately 10 percent of that amount. In contrast, commercial and freight traffic represented approximately eight percent of the overall ADT.³⁵⁵

With the creation of the U.S. Highway System in 1926, TH 1 was incorporated into the original route of U.S. Highway (US) 65, which stretched from Vidalia, Louisiana, to Saint Paul, Minnesota. TH 1 comprised the northernmost segment of the route at that time. The present-day TH 149 corridor remained a part of US 65 until 1933, when the route was diverted at Farmington towards Minneapolis. North of Farmington, the route became US 218. As the alignment extended northward into Saint Paul, US 218 was concurrent with US 52, and the initial TH 1 alignment became TH 88 north of the intersection of the two roads just south of Radio Center (see Figures 226 and 227).

³⁴⁹ Control Section information is not available for the portion of TH 149 in Ramsey County.

³⁵⁰ Minnesota Department of Highways, *Road Life Studies - Construction Project Log Record for Section 1916 in Dakota County*, 2007 1919, Minnesota Department of Transportation Roadway Data Products, <http://www.dot.state.mn.us/roadway/data/data-products.html>; Minnesota Department of Highways, *Road Life Studies - Construction Project Log Record for Section 1917 in Dakota County*, 2011 1919, Minnesota Department of Transportation Roadway Data Products, <http://www.dot.state.mn.us/roadway/data/data-products.html>; State Highway Department of Minnesota, *Plan and Profile of State Road No. 1 County of Dakota, City of St. Paul to STA. 318*, June 2, 1919, Minnesota Department of Transportation Plans Archive, http://dotapp7.dot.state.mn.us/cyberdocs_guest/Libraries/Default_Library/Groups/GUESTS/frameset.asp.

³⁵¹ *Constitutional Trunk Highways*.

³⁵² Minnesota Department of Highways, *Biennial Report of the Commissioner of Highways of Minnesota for 1923-1924* (Minneapolis, Minn.: Syndicate Printing, Co., 1925), 45.

³⁵³ Minnesota Department of Highways, *Biennial Report of the Commissioner of Highways of Minnesota for 1923-1924*, 196.

³⁵⁴ Minnesota Department of Transportation, "1981-1982 Official Transportation Map Minnesota," 1" = 16 miles (Minnesota Department of Transportation, 1982 1981), <http://reflections.mndigital.org/cdm/compoundobject/collection/mdt/id/1255/rec/58>.

³⁵⁵ Minnesota Department of Highways, *Biennial Report of the Commissioner of Highways of Minnesota for 1923-1924*, 192.

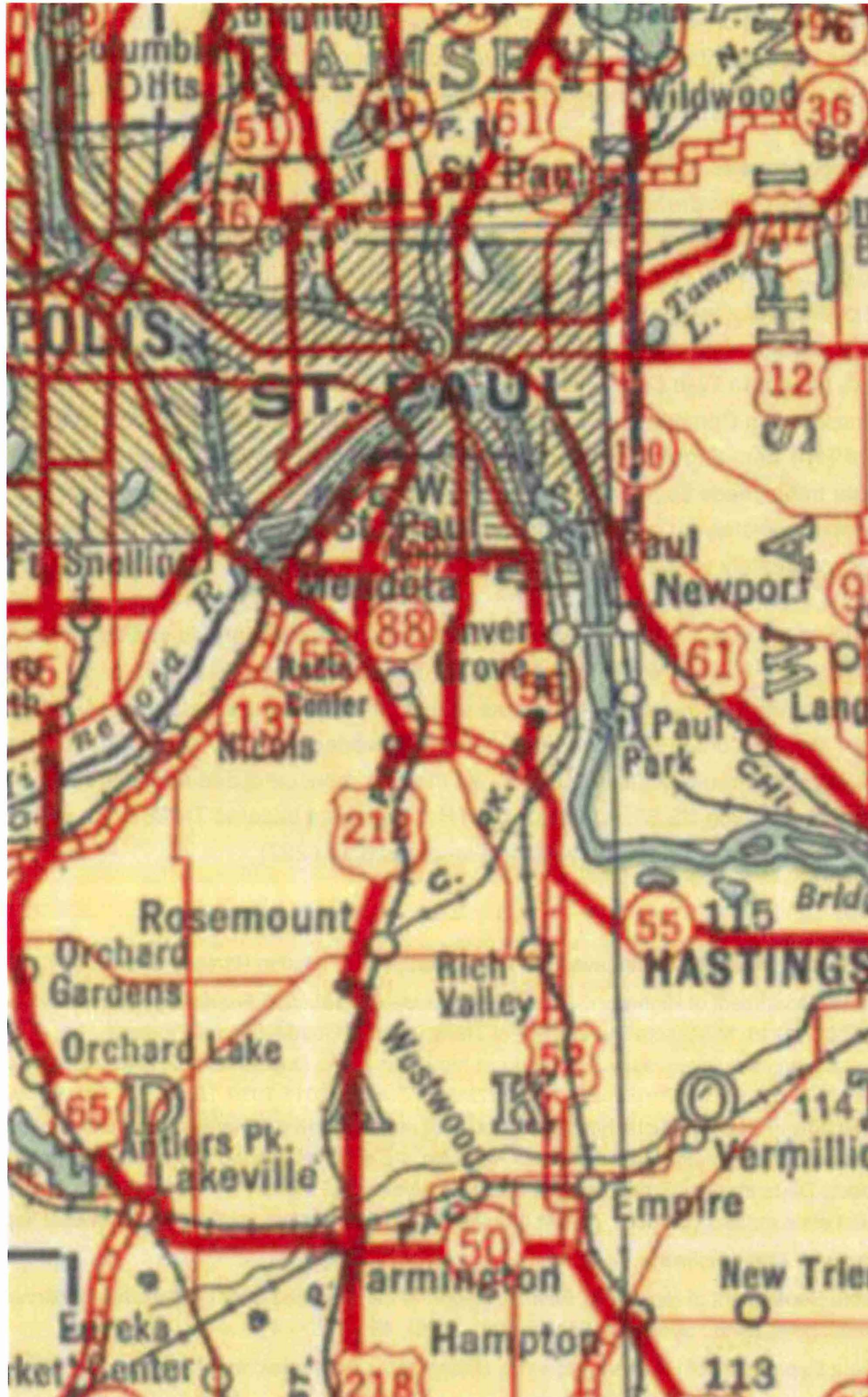


Figure 226. 1934 Map of TH 88 (present-day TH 149 corridor), US 65, and US 218.³⁵⁶

³⁵⁶ Minnesota Department of Transportation, "1981-1982 Official Transportation Map Minnesota/ Minnesota Lake and a Whole Lot More."

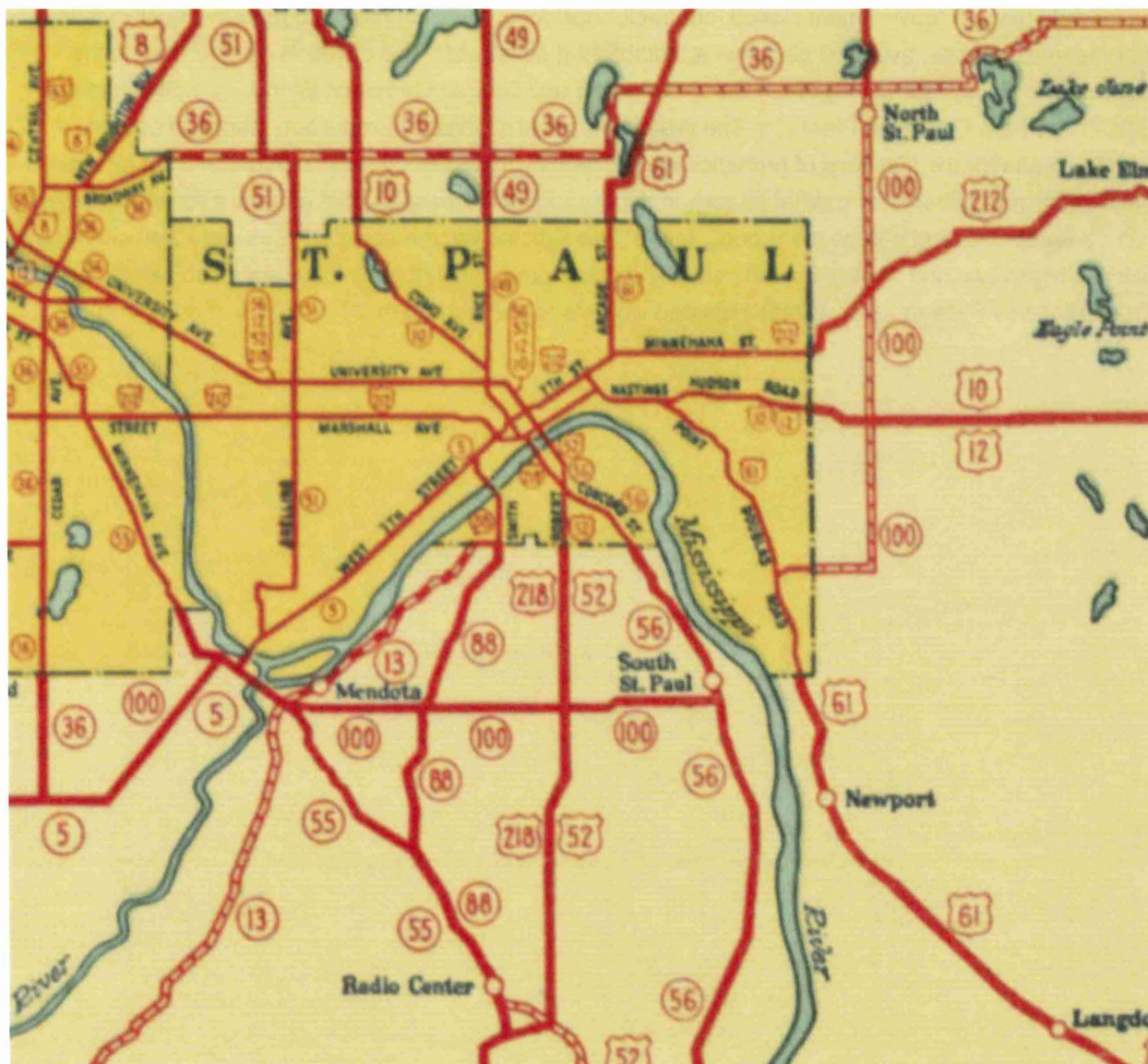


Figure 227. 1934 alignment of TH 88 (present-day TH 149).³⁵⁷

Industry

Prior to U.S. entry into World War II, the nation faced a severe shortage of crucial materials and equipment, particularly munitions. Much of the wartime manufacturing infrastructure developed during World War I was dismantled shortly after the armistice, and by the time Germany invaded Poland armament production in the U.S. was limited to six nineteenth-century facilities that were insufficient to meet demand.³⁵⁸ In response, beginning in 1940 the United States War Department established facilities

³⁵⁷ Minnesota Department of Transportation, "1981-1982 Official Transportation Map Minnesota/ Minnesota Lake and a Whole Lot More."

³⁵⁸ Robert C. Vogel and Deborah L. Crown, *The World War II Ordnance Department's Government-Owned Contractor-Operated (GOCO) Industrial Facilities: Twin Cities Ordnance Plant Historic Investigation*, U.S. Army Materiel Command Historic Context Series, Report of Investigations (Prepared for U.S. Army Corps of Engineers, December 1995), 9.

nationwide using a "government owned, contractor operated" (GOCO) model to produce much-needed war materiel. In total, over 200 plants were established nationwide, two of which were located in the Minneapolis-Saint Paul vicinity (Twin Cities Ordnance and Gopher Ordnance Works, as well as the non-GOCO Northern Ordnance Plant).³⁵⁹ The War Department's Office of Production Management set certain criteria for the locations of ordnance plants, namely that sites must be in mid-continent locations (thus safer from airborne or coastal attack), in thinly populated areas, and have ready access to railroads, natural resources, and a large labor pool. In the Twin Cities area, the selected sites were also served by existing highways, and throughout the construction and production phases they depended heavily on the Trunk Highway System to move materials and workers (see Figure 228).³⁶⁰

³⁵⁹ Patricia Dooley, "Gopher Ordnance Works," *Minnesota History*, Summer 1985, 217; Minnesota Department of Highways, *Biennial Report of the Commissioner of Highways of Minnesota from July 1, 1942 to June 30, 1944* (St. Paul, Minn.: Syndicate Printing, Co., 1944), 22.

³⁶⁰ Vogel and Crown, *The World War II Ordnance Department's Government-Owned Contractor-Operated (GOCO) Industrial Facilities: Twin Cities Ordnance Plant Historic Investigation*, 10–11.

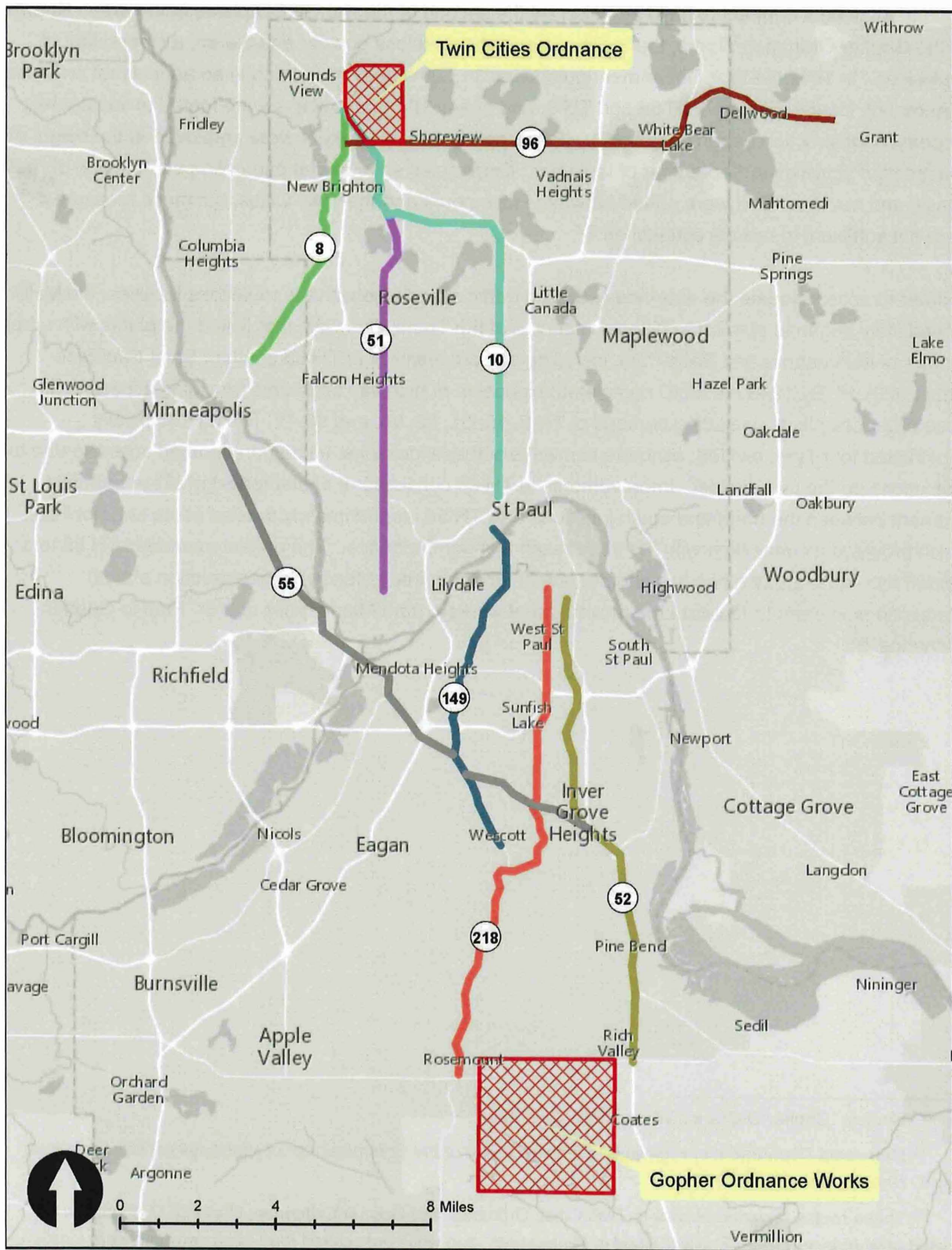


Figure 228. Map showing segments of Trunk Highway routes that connected munitions plants with Minneapolis and St. Paul.

Dupont obtained a contract to build and operate the second of the two GOCO plants in the area. Known as the Gopher Ordnance Works, the facility produced smokeless powder and oleum, a component of explosives. In 1942 the War Department purchased 11,500 acres of farmland in an agricultural area near Rosemount, located between TH 52 and TH 3, and nearly 100 farm owners were forced to vacate their property. Construction began in May of 1942 and nearly 19,500 workers were employed at the height of construction activities in September of that year. Companies encouraged carpooling and the use of mass transit, and new bus lines were added between Rosemount and the Twin Cities, but these measures were not sufficient to reduce congestion.³⁶¹

In order to accommodate the enormous surge in traffic associated with the munitions facilities, the MHD immediately began to plan for additional widening of the Trunk Highways that linked the plants with urban centers of Minneapolis and Saint Paul, including a short segment of TH 88 south of Saint Paul (see Figure 229).³⁶² By 1943 the MHD completed expansion of highway segments providing access to all three ordnance plants, including portions of TH 8, 10, 51, 52, 88, and 96.³⁶³ The MHD typically constructed four-lane, divided, concrete highways at these locations, using unreinforced concrete due to restrictions on the use of steel. Improvements to TH 88 consisted of a total redesign of the half-mile segment between the north and south junctions with TH 55, approximately 6 miles south of Saint Paul, which provided a connection with TH 52 to reach Gopher Ordnance. The project expanded TH 88 to a divided four-lane facility along this short segment, and required extensive reconstruction of both intersections in order to facilitate the movement of workers from Minneapolis and St. Paul to Gopher Ordnance.³⁶⁴

³⁶¹ Dooley, "Gopher Ordnance Works," 215, 225, 226.

³⁶² Minnesota Department of Highways, *Biennial Report of the Commissioner of Highways of Minnesota from July 1, 1942 to June 30, 1944*, 21.

³⁶³ These routes provided access to Twin Cities Ordnance and Gopher Ordnance; Northern Ordnance was located at what is now 4800 E. River Road in Minneapolis, and while associated road improvements were similar in nature, they occurred on local roads rather than the Trunk Highway System. Minnesota Department of Highways, *Biennial Report of the Commissioner of Highways of Minnesota from July 1, 1942 to June 30, 1944*, 22.

³⁶⁴ Minnesota Department of Highways, *Biennial Report of the Commissioner of Highways of Minnesota from July 1, 1942 to June 30, 1944*, 22.

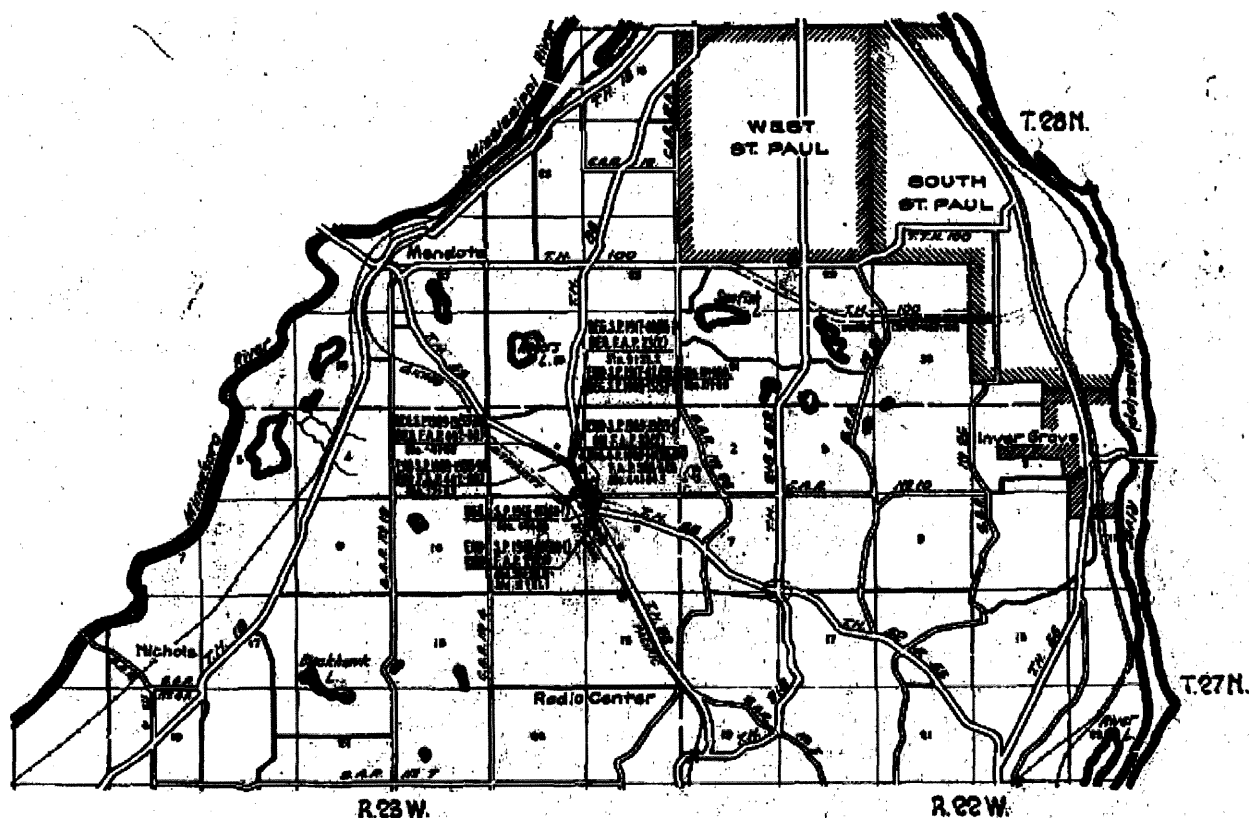


Figure 229. TH 88 expansion in 1942.³⁶⁵

These access projects were completed quickly and successfully alleviated the worst of the traffic conditions, and exemplify the main type of construction that the MHD engaged in under wartime restrictions. In the 1940-1942 biennium the MHD was able to complete projects that began shortly before wartime limitations were in effect, but their activities were subsequently restricted to work on access roads to defense plants, surfacing to protect newly completed grades, and essential emergency projects to repair roads damaged by floods and other conditions.³⁶⁶ Plans for the upgrades to TH 88 and other similar capacity-expansion projects also typically included roadside development work, adding evergreens and shade trees to medians and at the edges of the right-of-way to screen existing properties.

While TH 88 helped provide a connection associated with national defense activities in the area, this importance soon waned. Before construction was even complete, the War Department placed the plant on standby until July 1944, when it was briefly reactivated. Operations ceased in October 1945, and with the conclusion of the war the government liquidated the surplus equipment and materials, deeding the entire site to the University of Minnesota in 1947.³⁶⁷

³⁶⁵ State of Minnesota, Department of Highways, *Construction Plan for Grading and Paving Trunk Highway No. 55 & 88 Between 0.2 Mi. N of North Jct. TH 88 and 0.1 Mi. S of South Jct. TH 88*, July 31, 1942, 1916-01; 1917-02, Minnesota Department of Transportation Plans Archive, http://dotapp7.dot.state.mn.us/cyberdocs_guest/Libraries/Default_Library/Groups/GUESTS/frameset.asp.

³⁶⁶ *Biennial Report of the Commissioner of Highways of Minnesota from July 1, 1942 to June 30, 1944*, 11, 30.

³⁶⁷ Dooley, "Gopher Ordnance Works," 228.

Postwar

Although wartime restrictions limited highway improvement projects to those that were vital to national defense, the postwar period saw substantial advances in highway construction and planning on both the national and state level. Road use climbed quickly as Minnesota became more and more reliant on the Trunk Highway System for passenger, commercial, and industrial transportation. The state had one of the highest rates of automobile ownership in the country, and between 1946 and 1950 traffic counts at representative points across Minnesota increased by nearly 50 percent.³⁶⁸ The Trunk Highway System carried roughly half of the state's total traffic volume in this period, despite representing less than 10 percent of the total road mileage.³⁶⁹ However, many segments were approaching their 25- to 30-year life expectancy, and the Depression and war years created a substantial backlog of deferred maintenance that would take years to overcome.

Trunk Highway development during the postwar period reflected new initiatives, such as expressway and freeway planning. While not all highways were upgraded to controlled-access freeways, many heavily traveled routes were upgraded to divided, three- and four-lane facilities, often utilizing frontage roads in urban areas to separate local traffic from through traffic. In order to accommodate the increased volume and avoid congestion, the MHD attempted to provide divided highways "wherever their location and the amount and nature of traffic seems to justify this type of design."³⁷⁰

These design improvements are not reflected along TH 149 as very few changes were made to the route during the postwar period. A series of regrading and repaving projects, small reconstructions and addition of turn lanes, and traffic control signal projects were scattered throughout the postwar decades. The projects varied in size from work at a single intersection, such as traffic control signals, to work on larger portions of the corridor, such as the 1999 repaving and shoulder reconstruction project from Mendota Heights Road in Mendota Heights to Cherokee Avenue in Saint Paul.³⁷¹

The present-day TH 149 route was renumbered twice during the postwar period. The first in 1951, when TH 88 was renumbered as the southern extension of TH 49, which previously ran south from Lino Lakes along Rice Street through downtown Saint Paul. The route was re-designated again in 1980 as TH 149 in order to eliminate confusion between the northern and southern portions of TH 49 after control of the link

³⁶⁸ Minnesota Department of Highways, *Biennial Report of the Commissioner of Highways of Minnesota from July 1, 1948 to June 30, 1950*, 19; Minnesota Department of Highways, *Biennial Report of the Commissioner of Highways of Minnesota from July 1, 1950 to June 30, 1952*, 24-25.

³⁶⁹ *Biennial Report of the Commissioner of Highways of Minnesota from July 1, 1946 to June 30, 1948*, 15.

³⁷⁰ Minnesota Department of Highways, *Biennial Report of the Commissioner of Highways of Minnesota from July 1, 1948 to June 30, 1950* (St. Paul, Minn.: Perkins-Tracy Printing, Co., 1950), 43.

³⁷¹ Minnesota Department of Highways, *Construction Plan for Bituminous Mill and Overlay, Shoulder Reconstruction and Guardrail Located on T.H. 149 From 394.67 Meters North of Mendota Heights Road to 15.24 Meters North of Cherokee Avenue in St. Paul.*, January 21, 1999, Minnesota Department of Transportation Plans Archive, http://dotapp7.dot.state.mn.us/cyberdocs_guest/Libraries/Default_Library/Groups/GUESTS/frameset.asp.

in downtown Saint Paul was transferred to the City of Saint Paul and it was removed from the Trunk Highway System.³⁷² The route has remained TH 149 since that time.

Significance

As part of this evaluation the road corridor was evaluated under *Criteria A, B, and C*, both for its potential significance as Dodd Road, an early territorial road, and as a Trunk Highway.

Dodd Road evaluation

In 2002-2003 Dodd Road was previously evaluated and portions of it were subsequently listed in the National Register. Both the corresponding evaluation report and 2003 National Register Nomination established the significance of the entirety of Dodd Road. According to the documents, Dodd Road has statewide significance under *Criterion A* in the area of Transportation as one of the earliest roads in the state. The construction of Dodd Road facilitated trade and travel from Mendota to Saint Peter, Minnesota, during its early years as a territory. As the Nomination states, "Dodd Road became a usable overland 'all season' thoroughfare between these two destinations. Prior to its construction, overland travel throughout Minnesota was extremely limited and difficult."³⁷³ Dodd Road became an arterial road for the area, which made transportation and communication with southern Minnesota and St. Paul easier. The Nomination goes on to state:

By providing a serviceable route for trade and travel between Mendota and St. Peter the presence of Dodd Road eventually led to the founding of many communities in the region by entrepreneurs. The construction of Dodd Road materially aided in the westward movement of thousands of immigrants into south-central Minnesota Territory following the signing of the Treaty of Traverse des Sioux in 1851. Dodd Road facilitated this settlement during the territorial period and early years of statehood. The destiny of these communities was intertwined with the construction of Dodd Road and it initially brought prosperity to the farmers along the route. Nonetheless, this association promoted good fortune only until the conclusion of the Civil War when railroad development came into the region.³⁷⁴

According to the Nomination, Dodd Road does not have significance under *Criteria B or C*. Under *Criterion A*, the period of significance for Dodd Road spans from 1853 to 1864.

TH 149 evaluation

Two state-specific contexts were used in the evaluation of road as TH 149. These contexts include *Minnesota Trunk Highways (1921-1954)*, which focuses on development of the Trunk Highway System to 1954, and *Minnesota Bridges, 1955-1970 (including Trunk Highway Evaluations)*, which discusses improvements to the system in the postwar period from 1955 to 1970.³⁷⁵ Both contexts include an evaluation methodology and criteria tailored to Trunk Highways, developed using the National Register

³⁷² Minnesota Department of Transportation, "1981-1982 Official Transportation Map Minnesota/ Minnesota Lake and a Whole Lot More."

³⁷³ National Register of Historic Places, 8-1.

³⁷⁴ National Register of Historic Places, 8-1.

³⁷⁵ MnHPO has reviewed the initial draft of *Minnesota Trunk Highways (1921-1954)* in 2015 and provided comment. The historic context, evaluation criteria, and integrity considerations are currently under revision.

guidelines for evaluating resources. TH 149 was evaluated for potential significance both as the entire road and as the individual segment located within this project corridor.

Trunk Highway Evaluation, 1921-1954

TH 149 was evaluated for significance within the 1921-1954 period, in which a road may be significant under *Criterion A* for its associations with Transportation, Agriculture, Entertainment/Recreation, Industry, or Landscape Architecture. Research did not reveal any associations between the construction or improvement of TH 149 and the themes of Agriculture or Landscape Architecture. Based on a review of the road's history, areas under which the highway may obtain significance include Transportation, Industry, and Entertainment/Recreation. Each is discussed in detail.

Criterion A

(1) Transportation

In order to be significant in the area of Transportation in this period, TH 149 must demonstrate that it:

- Provided a new connection within the state or to an adjacent state that was not previously provided by another road;
- Was significantly improved as an important connection within the overall Trunk Highway System; or
- Was an important example of the MHD's beautification initiatives in the pre-1955 period.

TH 149 does not meet any of the criteria for significance in the area of Transportation within the *Minnesota Trunk Highways (1921-1954)* historic context. Although the highway was initially part of a larger road (TH 1) that provided an interstate connection, it was not a new connection. The original interstate connection, of which Dodd Road and later TH 149 was a part, was established in the mid-nineteenth century with the construction of the Mendota to Big Sioux River Road. The interstate crossing itself is also not of exceptional importance; the Trunk Highway System as designated in 1921 included a total of 22 interstate connections. Of the 22, eight Trunk Highways connected Minnesota with Iowa. The route was one of two Trunk Highways that made an international connection with Canada, the other being the original TH 6; however, that connection similarly does not exhibit exceptional importance. Furthermore, while TH 149 was initially a part of interstate and internationally connecting TH 1, as well as US 65, the segment was bypassed when the Trunk Highway System was renumbered in 1933. After that time the highway was not improved as an important connection within the Trunk Highway System, nor did research indicate that the highway represents an important example of an MHD initiative in highway development. Additionally, historic traffic counts for TH 1 did not indicate that the route carried a high traffic volume to and from Saint Paul. Improvements to the highway, including grading and surfacing, were typical of MHD efforts. As such, TH 149 is recommended not eligible under *Criterion A* in the area of Transportation as a Trunk Highway.

(2) Industry

To be considered significant in the area of Industry in the 1921-1954 period, the Trunk Highway must have:

- Opened access to previously inaccessible areas of raw materials for industries at the time of construction; or
- Served and was improved as a principal route to an important industrial facility.

TH 149 was one of several routes providing access from residential areas in Minneapolis and Saint Paul to one of the two GOCO munitions plants established in the Twin Cities area as part of wartime defense industry expansion. Although an approximately half-mile portion of TH 149 between the north and south junctions with TH 55 was improved to provide a connection with TH 52 and thereby access to these munitions plants, the improved segment represented a small fraction of the overall route mileage, and is not individually significant. This expansion is also not unique to TH 149, as other routes were expanded to provide access to ordnance plants. The importance of this connection was also limited as the use of the plant slowed even before construction was complete and the plant was shut down soon after construction. The Gopher Ordnance plant has been demolished and the site remediated; thus, the southern segment of the highway can no longer convey its association to wartime industry. As such, TH 149 is recommended not eligible under *Criterion A* in the area of Industry.

(3) Entertainment/Recreation

To be considered significant in the area of Entertainment/Recreation in the 1921-1954 period, the Trunk Highway must have been:

- Specifically constructed to provide vehicular access to a recreational area; or
- Significantly improved to enhanced access to a recreational area.

While early-twentieth-century vehicular tourism is associated with the route, specifically the Jefferson Highway, the recreational use of the corridor pre-dates the Trunk Highway System. The designation of the road as TH 1 (predecessor to TH 149) did not enhance or alter established tourism activities nor did it open access to new recreational areas or activities. As such, TH 149 is recommended not eligible under *Criterion A* in the area of Entertainment/Recreation.

Criterion C

To be significant in the area of Engineering during the 1921-1954 period, TH 149 must represent:

- An important variation or evolution of highway design, standard, or construction practices; or

- An early example of the MHD's efforts to upgrade the Trunk Highway to expressway standards.

TH 149 does not meet eligibility criteria under *Criterion C* in the area of Engineering. The highway is unremarkable for its engineering and did not represent a variation or evolution of MHD design, standards, or construction practices. The road was gradually paved prior to and at the time of its designation as a Trunk Highway in 1920. Since that time the MHD made general improvements to the alignment. The MHD updates generally followed standard designs and the route does not represent an early example of the MHD's efforts to upgrade the road to expressway standards. As such, TH 149 is recommended not significant under *Criterion C* in the area of Engineering.

Trunk Highway Evaluation, 1955-1970

According to the evaluation criteria established for the 1955-1970 period, Trunk Highways may possess significance under *Criterion A* in the area of Transportation if improvements were associated with the 1956 amendment to the state's funding program, or in the area of Entertainment/Recreation if significant improvements were intended specifically to benefit tourism or alleviate traffic issues. Under *Criterion C*, Trunk Highways may be significant only if they are examples of expressway construction. Research did not reveal any associations within the areas of either Transportation or Entertainment/Recreation, and TH 149 was not upgraded to a controlled-access expressway. As such, TH 149 does not meet the evaluation criteria under *Criteria A* or *C* and thus is recommended not eligible within the 1955-1970 Trunk Highway context.

Integrity

As Dodd Road has significance as an early road in Minnesota Territory, the segment of Dodd Road within the project corridor was assessed for integrity. The 2002 evaluation and 2003 National Register Nomination outline integrity requirements for Dodd Road. These requirements pertain to route alignment, physical appearance, rural setting, and sense of destination. Additionally, an eligible section of Dodd Road may also have overt associational qualities. Furthermore, the 2003 Nomination states that, "...segments of Dodd Road that have been paved with asphalt or concrete are not eligible for the National Register." It goes on to state that, "an eligible segment of Dodd Road should be in a setting characteristic of the original road during the period 1853 to 1864 (secluded rural "country" areas)."³⁷⁶

In terms of route alignment, research indicates that Dodd road retains its historic configuration within Dakota County, as the only known change to the road occurred in 1862, shortly after the initial construction of the road. These changes fall within the period of significance and are historic in their own right. Additionally, the road also retains its sense of destination and the continual demarcation of the road as Dodd Road signifies its association with the early territorial route. Substantial changes, however, have been made to this section of Dodd Road within the project corridor, specifically in terms of physical appearance and setting. Due to increased suburban development along the corridor, the rural setting of Dodd Road has been lost. Furthermore, improvements to the road through grading and resurfacing projects have substantially diminished its historic appearance and ability to convey its significance as a

³⁷⁶ National Register of Historic Places, 7-2.

Section 4

Results

territorial road. Other segments of Dodd Road (south of I-494) have retained their original appearance and thereby better convey the significance of the route (see Figures 230 through 232). Therefore, this segment of Dodd Road does not meet established integrity requirements. The portion of Dodd Road in the project corridor does not retain sufficient integrity to convey its significance.



Figure 230. Rice County section of Dodd Road at Fairbanks Trail, view facing south.



Figure 231. First section of Dodd Road in Le Sueur County at intersection with T-108, view facing west.



Figure 232. Second section of Dodd Road in Le Sueur County at intersection with TH 99, view facing northwest.

The portion of TH 149 within the project area does not appear to have significance as a Trunk Highway; therefore, an integrity assessment was not warranted.

Recommendation

As a result of this Phase II reevaluation, the segment of Dodd Road within the project corridor is recommended not eligible for the National Register under *Criteria A, B, or C* due to a loss of integrity.

Bibliography

- "1880 Census Dakota County," 1880. Dakota County Historical Society.
- "A Brief History of the Auto Mechanics Trade." *IAMAW Northwest District 250*. n.d.
- Andreas, A.T. "Andreas Atlas of the State of Minnesota." Minneapolis: A.T. Andreas, 1874. Available at the Dakota County Historical Society.
- . "Illustrated Historical Atlas of the State of Minnesota." Chicago: A.T. Andreas, 1874. Borchert Map Library, University of Minnesota.
http://geo.lib.umn.edu/twin_cities_maps/reference/map01428a.jpg.
- "Anthony Waldman House, 445 Smith Avenue North," 1960. Image No. 2295. Minnesota Historical Society Photograph Collection. <http://collections.mnhs.org>.
- Bade, James. "Somerset CC to Host Scholarship Scramble on June 23." *Hole Notes*, May 2008.
- Baker, Lindsay. "A History of School Design and Its Indoor Environmental Standards, 1900 to Today." *National Clearinghouse for Educational Facilities*, January 2012.
- Berg, Erin. *National Register of Historic Places, Pence Automobile Company Building, Minneapolis, Hennepin County, Minnesota*, July 2007. National Register #07001314.
- Besse, Kirk J. *Show Houses: Twin Cities Style*. 1st ed. Minneapolis, Minn.: Victoria, 1997.
- "BMC Industries, Inc. History." *Funding Universe*, 2004. <http://www.fundinguniverse.com/company-histories/bmc-industries-inc-history/>.
- Bruestle, Sharon, and Mildred Smith. "Historical Survey of Homes in Mendota Heights." Mendota / West St. Paul Historical Society Chapter, 1986. Available at the Dakota County Historical Society.
- "Building Permit - 627 Smith Avenue South." City of Saint Paul, Bureau of Public Buildings, August 1, 1921. Building Permit index. Ramsey County Historical Society.
- "Building Permit -1549 Dodd Road." City of Mendota Heights, June 13, 1977. Building Permit Database. City of Mendota Heights.
- "Building Permit -1549 Dodd Road." City of Mendota Heights, February 15, 2006. Building Permit Database. City of Mendota Heights.
- "Building Permit -1549 Dodd Road." City of Mendota Heights, November 7, 2006. Building Permit Database. City of Mendota Heights.
- "C.F. Staples." *St. Paul Pioneer Press*. c 1890. Dakota County Historical Society.
- C.M. Foote & Co. "Map of Ramsey and Hennepin Counties, with Adjacent Portions of Anoka, Wright; Carver, Scott, Dakota & Washington Counties, Minnesota." N.p.: C.M. Foote & Co., 1890. Available at the Minnesota Historical Society.

- Cohn, Angelo. *Norman B. Mears: The Man behind the Shadow Mask (Men of Achievement Series of Biographies)*. Minneapolis: T.S. Denison, 1972.
- . *Norman B. Mears: The Man behind the Shadow Mask (Men of Achievement Series of Biographies)*. Minneapolis, Minn.: T.S. Denison, 1972.
- Constitutional Trunk Highways. Transportation*. Vol. 161.114, 1920.
<https://www.revisor.mn.gov/statutes/?id=161.114>.
- "Contract Work." *The Saint Paul Globe*. April 9, 1878.
- Cooley, George, State Engineer. "Map of State of Minnesota Showing State Roads Designated by County Resolutions." Highway Map. St. Paul, Minn.: State Highway Commission of Minnesota, January 1907.
- "Copy of Deed Book Page," n.d. Dakota County Historical Society.
- Dakota County. "Dakota County GIS." *Dakota County*, 2016. <http://gis.co.dakota.mn.us/DCGIS/>.
- Dehaan, Mrs. Fred. "Minn. PWA Form 74- Federal Emergency Administration of Public Works State Director Questionnaire Covering Status of Owner's Fund and Estimated Cost of Project," October 17, 1936. Dakota County Historical Society.
- Diers, John W., and Aaron Isaacs. *Twin Cities by Trolley: The Streetcar Era in Minneapolis and St. Paul*. Minneapolis: University of Minnesota Press, 2007.
- "District No. 5 School Dedicated." *West St. Paul Booster and Dakota County Globe*, October 29, 1937. Dakota County Historical Society.
- Dooley, Patricia. "Gopher Ordnance Works." *Minnesota History*, Summer 1985.
- Elmer & Morrison. "T.T. Smith's Sub-Division No. 2." Dakota County, March 10, 1886. Dakota County.
- Empson, Donald. "Portrait of a Neighborhood." West 7th Street Neighborhood, Saint Paul, Minn., 1980.
- Glewwe, Lois A. *West St. Paul Centennial 1889-1989*. West St. Paul Centennial Book Committee, 1989.
- G.M. Hopkins Co. "C.L. Real Estate Atlas of the City of Saint Paul, Minnesota." Philadelphia: G.M. Hopkins Co., 1884.
- . "Plat Book of the City of Saint Paul Minn. and Suburbs." Philadelphia: G.M. Hopkins Co., 1928. Dakota County Historical Society.
- Godfrey, Anthony. *Historic Dodd Road: Reconnaissance Survey and National Register Nomination Recommendations*, 2002. Minnesota Historic Preservation Office, St. Paul, Minn.
- Gottfried, Herbert, and Jan Jennings. *American Vernacular Buildings and Interiors, 1870-1960*. New York: W.W. Norton & Company, Inc., 2009.
- Heilbron, Bertha L. "Minnesotans at Play." *Minnesota History* 36, no. 3 (September 1958): 89–94.

- Hess, Jeffrey A., and Paul Clifford Larson. *St. Paul's Architecture: A History*. Minneapolis, Minn.: University of Minnesota Press in cooperation with the City of St. Paul Heritage Preservation Commission, 2006.
- "Historical Aerial Photograph, Dakota County," 1947. Available in the Borchert Map Library, University of Minnesota.
- "Historical Aerial Photograph, Dakota County," 1953. Available in the Borchert Map Library, University of Minnesota.
- "Historical Aerial Photograph, Dakota County," 1957. Available in the Borchert Map Library, University of Minnesota.
- "Historical Aerial Photograph, Dakota County," 1970. Available in the Borchert Map Library, University of Minnesota.
- Historic Architecture Inventory List*. Saint Paul, Minn.: Minnesota Historical Society, 2016.
- History of Dakota County and the City of Hastings*. N.p.: North Star Publishing Company, 1881.
- Hueg, Hella Mears. Interview with James E. Fogerty, November 6, 2007. Minnesota Historical Society Collections. <http://collections.mnhs.org/cms/web5/media.php?pdf=1&irn=10171078>.
- Janice Olson Gawtry. "Dodd Road: The Story of a Frontier Highway." Minnesota State University, 2012. Dakota County Historical Society.
- Jefferson Highway Association. "Jefferson Highway Declaration." Jefferson Highway Association, July 1916. Minnesota Historical Society.
- . "Pines and Palms." Jefferson Highway Association, June 1923. Minnesota Historical Society.
- Jones, Dwayne. "A Field Guide to Gas Stations in Texas." Texas Department of Transportation, October 2003.
- Kenney, Dave. *Twin Cities Picture Show: A Century of Moviegoing*. St. Paul, Minn.: Minnesota Historical Society Press, 2007.
- Kuehn, Robert. "A History of West St. Paul." West St. Paul State Bank, c 1962.
- Landscape Research LLC. *Designed Historic Landscape Report Minnesota Governor's Residence (Horace H. and Clotilde M. Irvine House)*, 2013.
- Lathrop, Alan K. *Minnesota Architects: A Biographical Dictionary*. Minneapolis: University of Minnesota Press, 2010.
- Mahamed, Mahamud. Interview with Mead & Hunt, Inc., 627 Smith Avenue South, June 14, 2016.
- McAlester, Virginia, and Lee McAlester. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 2000.

- McAlester, Virginia, Lee McAlester, Lauren Jarrett, and Juan Rodriguez-Arnaiz. *A Field Guide to American Houses: The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. Revised and expanded edition/second edition. New York: Alfred A. Knopf, 2013.
- McAlester, Virginia Savage. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 2013.
- Mead & Hunt, Inc. *Historic Resources Inventory: Historic Resources in Portions of the Payne-Phalen, Thomas-Dale, and West 7th Street Neighborhoods*. Prepared for Historic Saint Paul, the Saint Paul Heritage Preservation Commission, and the Ramsey County Historical Society, July 2011.
- . *Saint Paul Historic Context Study: Neighborhoods at the Edge of the Walking City*, 2011.
- "Mendota Map 1890," 1890.
- Meyer, Sabine. *We Are What We Drink: The Temperance Battle in Minnesota*. Urbana, Chicago and Springfield, Ill.: University of Illinois Press, 2015.
- Minnesota Automobile Association. *Automobile Hand Book of the Tours from the Twin Cities to Points in Minnesota and Wisconsin*. [St. Paul, Minn.]: Minnesota State Automobile Association, Touring Committee, 1907.
- Minnesota Department of Highways. *Biennial Report of the Commissioner of Highways of Minnesota for 1923-1924*. Minneapolis, Minn.: Syndicate Printing, Co., 1925.
- . *Biennial Report of the Commissioner of Highways of Minnesota from July 1, 1942 to June 30, 1944*. St. Paul, Minn.: Syndicate Printing, Co., 1944.
- . *Biennial Report of the Commissioner of Highways of Minnesota from July 1, 1948 to June 30, 1950*. St. Paul, Minn.: Perkins-Tracy Printing, Co., 1950.
- . *Construction Plan for Bituminous Mill and Overlay, Shoulder Reconstruction and Guardrail Located on T.H. 149 From 394.67 Meters North of Mendota Heights Road to 15.24 Meters North of Cherokee Avenue in St. Paul.*, January 21, 1999. Minnesota Department of Transportation Plans Archive.
http://dotapp7.dot.state.mn.us/cyberdocs_guest/Libraries/Default_Library/Groups/GUESTS/frame set.asp.
- . *Report to the House of Representatives Interim Committee on State Administration*. N.p., 1943. Available at the Minnesota Highway Department Collection, Miscellaneous Records, Gale Family Library, Minnesota Historical Society, St. Paul, Minn.
- . *Road Life Studies - Construction Project Log Record for Section 1916 in Dakota County*, 2007 1919. Minnesota Department of Transportation Roadway Data Products.
<http://www.dot.state.mn.us/roadway/data/data-products.html>.
- . *Road Life Studies - Construction Project Log Record for Section 1917 in Dakota County*, 2011 1919. Minnesota Department of Transportation Roadway Data Products.
<http://www.dot.state.mn.us/roadway/data/data-products.html>.

- Minnesota Department of Transportation. "1981-1982 Official Transportation Map Minnesota." 1" = 16 miles. Minnesota Department of Transportation, 1982 1981.
<http://reflections.mndigital.org/cdm/compoundobject/collection/mdt/id/1255/rec/58>.
- Minnesota Highway Department. "Trail Registration for the Jefferson Highway, Minnesota," n.d.
<http://reflections.mndigital.org/cdm/singleitem/collection/mdt/id/177>.
- Minnesota Independent School District No. 197 (West Saint Paul). "Agency History Record," n.d. Minnesota Historical Society.
- Moss, Richard J. *Golf and the American Country Club*. Urbana, Ill.: University of Illinois Press, 2001.
- National Park Service. "Secretary's Standards for Rehabilitation," n.d.
- National Register Bulletin. "How to Apply the Criteria Considerations, Criteria Consideration E: Reconstructed Properties," n.d.
[https://www.nps.gov/nr/publications/bulletins/nrb15/nrb15_7.htm#crit con e](https://www.nps.gov/nr/publications/bulletins/nrb15/nrb15_7.htm#crit%20con%20e).
- National Register of Historic Places. "Multiple Property Documentation Form, Federal Relief Construction in Minnesota, 1933-1941." Statewide, Minnesota.
- . Dodd Road, Le Sueur and Rice Counties, Minnesota. NR# 03000520.
- National Register of Historic Places, Multiple Property Documentation Form. "Irvine Park Historic District." Ramsey County, Minnesota.
- Nelson, Charles. "Early Architecture of Minnesota." *Tech Talk, Minnesota's Architecture*, January 1999.
<http://www2.mnhs.org/about/publications/techtalk/TechTalkJanuary1999.pdf>.
- NETR Online. "Historic Aerials." *Historic Aerials*, 2016. <http://historicaerials.com/>.
- Niemeyer, James C. "Somerset View, Dakota County Minnesota." Dakota County, May 28, 1936.
<http://gis.co.dakota.mn.us/plats/pdfs/plats/J-26-1.pdf>.
- . "True to Its Tradition." *The Nation's Schools* 22, no. 2 (August 1938): 52–53.
- "Norman B. Mears - 1993 Inductee." *Minnesota Inventors Hall of Fame*, 2016.
<http://www.minnesotainventors.org/inductees/norman-b-mears.html>.
- "Norman B. Mears - 1993 Inductee." *Minnesota Inventors Hall of Fame*, 2016.
<http://www.minnesotainventors.org/inductees/norman-b-mears.html>.
- Nunnally, Patrick. *National Register of Historic Places Nomination Draft, Bridge 4667*. Saint Paul, Minn., 1994.
- Pennsylvania Historical & Museum Commission. "Colonial Revival Style 1880-1960." *Pennsylvania Architectural Field Guide*, 2016.
<http://www.phmc.state.pa.us/portal/communities/architecture/styles/colonial-revival.html>.

- Pinkney, Bertine F. "Plat Book of Dakota County, Minnesota." Philadelphia: Union Publishing Company, 1896. Dakota County Historical Society.
- Pinkney, B.F. "Plat Book of Dakota County, Minnesota." Philadelphia: Union Publishing Company, 1896. <http://reflections.mndigital.org/cdm/ref/collection/mhs/id/834>.
- Pioppi, Anthony. "Seth Raynor: Paradoxical Designer." *Golf Course Architecture*, October 2010. <http://www.golfcoursearchitecture.net/content/Seth-Raynor-paradoxical-designer>.
- "Ramsey County Interactive Property Map." n.d. <https://www.ramseycounty.us/residents/property/maps-surveys/interactive-map-gis>.
- Raymond, A.F. "Anton Waldeman House, 445 Smith Avenue North," 1936. Image No. 3163-A. Minnesota Historical Society Photograph Collection. <http://collections.mnhs.org>.
- R.L. Polk & Co. *Polk 1994 St. Paul, Minnesota City Directory*. Dallas, Tex.: R.L. Polk & Co., 1994.
- . *Polk's St. Paul City Directory*. St. Paul, Minn.: R.L. Polk & Co., 1922.
- . *Polk's St. Paul City Directory*. St. Paul, Minn.: R.L. Polk & Co., 1930.
- . *Saint Paul City Directory 1882-1883*. R.L. Polk & A.C. Dancer, 1882.
- . *South St. Paul and West St. Paul City Directory*. St. Paul, Minn.: R.L. Polk & Co., 1959.
- . *South St. Paul and West St. Paul City Directory*. St. Paul, Minn.: R.L. Polk & Co., 1964.
- . *South St. Paul and West St. Paul City Directory*. St. Paul, Minn.: R.L. Polk & Co., 1966.
- . *South St. Paul and West St. Paul City Directory*. St. Paul, Minn.: R.L. Polk & Co., 1974.
- Rosin, Elizabeth, and Dale Nimz. *National Register of Historic Places, Roadside Kansas*. Kansas, 2011.
- Saint Paul Heritage Preservation Commission. "Properties Designated for Heritage Preservation in Saint Paul," n.d. <https://www.stpaul.gov/DocumentCenter/View/4/79236.pdf>.
- "Saint Paul House." *Saint Paul Daily Globe*. August 10, 1884.
- "Sanborn Insurance Map of Saint Paul, Minnesota." Saint Paul, Minn.: Sanborn Map Company, revised through 1925 1903.
- "Sanborn Insurance Map of Saint Paul, Minnesota." New York: Sanborn Map Company, 1926.
- Sazevich, Jim. *Historic Homes of Saint Paul's Uppertown*. Historic Irvine Park Association and Preservation Alliance of Minnesota, n.d.
- . "Historic Property Inventory Form RA-SPC-5605," 1992.
- . Interview with Mead & Hunt, Inc., June 2016.
- . *Uppertown Survey*. Saint Paul, Minn., 1992.

- School District 197. "District Map." *School District 197*, 2016.
<http://www.isd197.org/cms/one.aspx?pagelId=14920542>.
- "School House Burned." *Dakota County Tribune*, January 12, 1899. Dakota County Historical Society.
- Schoolhouse (District 5) on Jefferson Highway, Dakota County*, 1937. Minnesota Historical Society Photograph Collection.
- Schreier, David M. *Picturing the Past: Events That Shaped Dakota County in the Twentieth Century*. N.p.: Dakota County Historical Society, 2003.
- Schroeder, Thomas. "Anthony Waldman House, Saint Paul, Ramsey County, Minnesota," 2011. Draft National Register Nomination.
<http://www.stonesaloon.com/NR%20Statement%20of%20Significance.pdf>.
- . Interview with Mead & Hunt, Inc., June 2016.
- Schroeder, Thomas, and Bob Frame. "Limestone Properties of Saint Paul's West Seventh Neighborhood Thematic Nomination." Saint Paul Minnesota, August 13, 2015.
- Schwartz, Elaine. Interview with Mead & Hunt, Inc., June 21, 2016.
- . Interview with Mead & Hunt, Inc., June 21, 2016.
- Seely, Bruce. *Building the American Highway System: Engineers as Policy Makers*. Philadelphia: Temple University Press, 1987.
- Shefchik, Rick. *From Fields to Fairways: Classic Golf Clubs of Minnesota*. Minneapolis, Minn.: University of Minnesota Press, 2012.
- Smead, Susan E., and Marc C. Wagner. "Assessing Golf Courses as Cultural Resources." *Cultural Resource Management* 23, no. 10 (2000): 16–21.
- Somerset Country Club. "Somerset...75 Years and Counting." Somerset Country Club, 1995. Dakota County Historical Society.
- . "The Somerset Country Club 1920-1985." Somerset Country Club, 1985. Dakota County Historical Society.
- "Somerset Heights PTA Plans Open House Nov. 17 for New Addition." *West St. Paul Booster*, November 13, 1953. Schools Folder. Dakota County Historical Society.
- "Somerset School Story Brought Up To Date." *Over the Years*, October 1978.
- "Staples Family," c 1900. Staples Family Folder. Dakota County Historical Society.
- State Highway Department of Minnesota. *Plan and Profile of State Road No. 1 County of Dakota, City of St. Paul to STA. 318*, June 2, 1919. Minnesota Department of Transportation Plans Archive.
http://dotapp7.dot.state.mn.us/cyberdocs_guest/Libraries/Default_Library/Groups/GUESTS/frame set.asp.

- State of Minnesota. *Minnesota Death Index, 1908-2002*. Minneapolis, Minn.: Minnesota Department of Health, 1932. Available at Ancestry.com.
- State of Minnesota, Department of Highways. *Construction Plan for Grading and Paving Trunk Highway No. 55 & 88 Between 0.2 Mi. N of North Jct. TH 88 and 0.1 Mi. S of South Jct. TH 88*, July 31, 1942. 1916-01; 1917-02. Minnesota Department of Transportation Plans Archive. http://dotapp7.dot.state.mn.us/cyberdocs_guest/Libraries/Default_Library/Groups/GUESTS/frame.set.asp.
- St Paul City Directory 1858-1859*. Saint Paul Minnesota: Newson & Barton, Publishers, 1858.
- Sturdevant, Andy. "Cornerstones of St. Paul: Exploring Chiseled (and Painted) Numbers Dating to 1858." *MinnPost*, June 19, 2013, sec. The Stroll. <https://www.minnpost.com/stroll/2013/06/cornerstones-st-paul-exploring-chiseled-and-painted-numbers-dating-1858>.
- The History Channel. "Automobiles," n.d. <http://www.history.com/topics/automobiles>.
- "The Land of Ten Thousand Lake Over Jefferson Highway, Minnesota," 1922. Minnesota Historical Society.
- "The Standard Form of Agreement between Owner and Architect," September 15, 1936. Dakota County Historical Society.
- Toltz, King, and Day, Architects. "N92 - T.K.D.A Photos, Hamm Building," 1995 1910. Box 3, available at the Andersen Library, University of Minnesota. Northwest Architecture Archives.
- . "N92 - T.K.D.A Photos, Miscellaneous Photos," 1995 1910. Box 1, available at the Andersen Library, University of Minnesota. Northwest Architecture Archives.
- . "N92 - T.K.D.A Photos, Photos A-H," 1995 1910. Box 2, available at the Andersen Library, University of Minnesota. Northwest Architecture Archives.
- . "N92 - T.K.D.A Photos, Photos I-L," 1995 1910. Box 4, available at the Andersen Library, University of Minnesota. Northwest Architecture Archives.
- . "Toltz, King, and Day Papers," 1995 1910. Available at the Andersen Library, University of Minnesota. Northwest Architecture Archives.
- Trygg, J. Wm. "Composite Map of United States Land Surveyor's Original Plats and Field Notes." Ely, Minn.: Trygg Land Office, 1964. Available at the Minnesota State Historic Preservation Office.
- Vogel, Robert C., and Deborah L. Crown. *The World War II Ordnance Department's Government-Owned Contractor-Operated (GOCO) Industrial Facilities: Twin Cities Ordnance Plant Historic Investigation*. U.S. Army Materiel Command Historic Context Series, Report of Investigations. Prepared for U.S. Army Corps of Engineers, December 1995.
- Warner & Foote. "Map of Dakota County." Minneapolis, Minn.: Warner & Foote, 1879. Available at the Dakota County Historical Society.

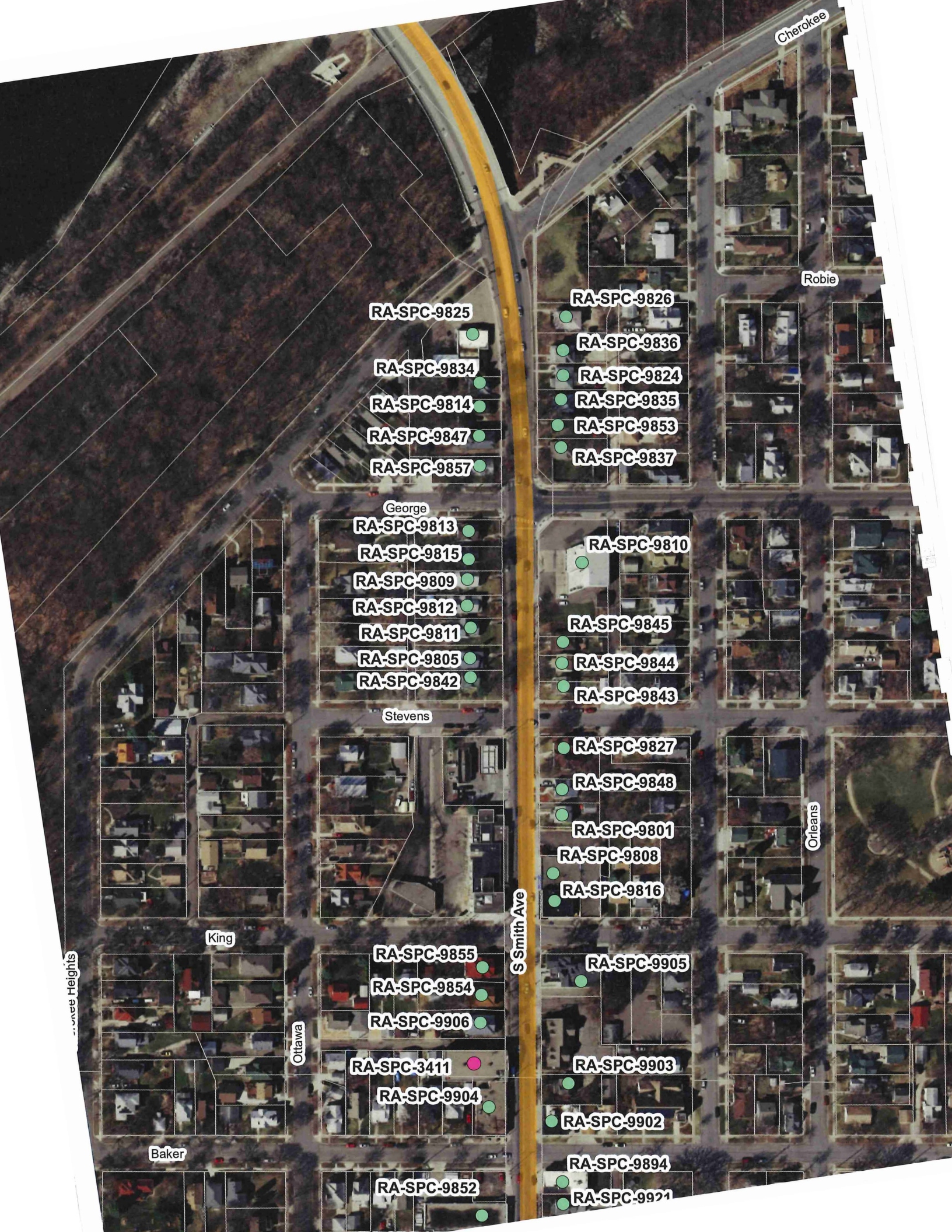
- Warner, Foote. "Map of Ramsey and Washington Counties: With Adjacent Portions of Anoka, Dakota & Hennepin Counties, Minn.," 1886. Available at Minnesota Historical Society Collections.
- Warner & Foote. "Map of Ramsey and Washington Counties: With Adjacent Portions of Anoka, Dakota & Hennepin Counties, Minn.," 1886. Available at Minnesota Historical Society Collections.
- Weisser, Amy. "'Little Red School House, What Now?' Two Centuries of American Public School Architecture." *Journal of Planning History* 5, no. 3 (August 2006): 196–217.
- . "Whither the Little Red Schoolhouse?" *Progressive Architecture*, March 1992, S9.
- "Wellge's Capitol of Minnesota." Saint Paul, Minn.: N.p., 1883.
- Wolston, Bill. "Somerset School," n.d. Dakota County Historical Society.
- Woods, George W. *Minnesota Automobile Guide Book*. St. Paul, Minn.: Automobile Club of St. Paul, 1912.
- . *Minnesota Automobile Guide Book*. St. Paul, Minn.: Automobile Club of St. Paul, 1912.
- World Golf Hall of Fame. "Charles B. MacDonald." *World Golf Hall of Fame*, 2016.
<http://www.worldgolfhalloffame.org/charles-blair-macdonald/>.
- Zellie, Carole, and Garneth Peterson. *Historic Context Study, Pioneer Houses: 1854-1880*. Saint Paul, Minn.: Prepared for the Saint Paul Heritage Preservation Commission, 2001.
<https://www.stpaul.gov/sites/default/files/Media%20Root/Planning%20%26%20Economic%20Development/Context%20Study%20-%20Pioneer%20Houses%20optimized.pdf>.
- . "St. Paul Historic Context Studies: Downtown St. Paul, 1849-1975." St. Paul Heritage Preservation Commission, May 2001.
<https://www.stpaul.gov/sites/default/files/Media%20Root/Planning%20%26%20Economic%20Development/Context%20Study%20-%20Downtown%20St.%20Paul%20optimized.pdf>.

THIS PAGE INTENTIONALLY LEFT BLANK

Appendix A. Maps of Surveyed Properties

THIS PAGE INTENTIONALLY LEFT BLANK





Cherokee

Robie

RA-SPC-9825

RA-SPC-9826

RA-SPC-9834

RA-SPC-9836

RA-SPC-9814

RA-SPC-9824

RA-SPC-9847

RA-SPC-9835

RA-SPC-9857

RA-SPC-9853

RA-SPC-9837

George

RA-SPC-9813

RA-SPC-9810

RA-SPC-9815

RA-SPC-9809

RA-SPC-9812

RA-SPC-9811

RA-SPC-9805

RA-SPC-9842

RA-SPC-9845

RA-SPC-9844

RA-SPC-9843

Stevens

RA-SPC-9827

RA-SPC-9848

RA-SPC-9801

RA-SPC-9808

RA-SPC-9816

Orleans

King

RA-SPC-9855

RA-SPC-9905

RA-SPC-9854

RA-SPC-9906

RA-SPC-3411

RA-SPC-9903

RA-SPC-9904

RA-SPC-9902

Baker

RA-SPC-9852

RA-SPC-9894

RA-SPC-9921

S Smith Ave

Cherokee Heights

Page

RA-SPC-9887

RA-SPC-9888

RA-SPC-9866

RA-SPC-9883

RA-SPC-9881

RA-SPC-9895

RA-SPC-9895

RA-SPC-9912

RA-SPC-9897

RA-SPC-9818

RA-SPC-9907

RA-SPC-9830

RA-SPC-9829

RA-SPC-9828

Curtice

RA-SPC-9817

RA-SPC-9819

RA-SPC-9874

RA-SPC-9899

RA-SPC-9803

RA-SPC-9807

RA-SPC-9804

RA-SPC-9802

RA-SPC-9846

RA-SPC-9884

RA-SPC-9892

RA-SPC-9898

RA-SPC-9916

RA-SPC-9908

Wyoming

RA-SPC-9891

RA-SPC-9863

RA-SPC-9882

RA-SPC-9880

RA-SPC-9879

DK-WPC-060

DK-WPC-075

DK-WPC-075

S Smith Ave

RA-SPC-9873

RA-SPC-9889

RA-SPC-9862

RA-SPC-9901

RA-SPC-9861

RA-SPC-9860

RA-SPC-9859

RA-SPC-9886

RA-SPC-9885

RA-SPC-9841

RA-SPC-9840

RA-SPC-9823

RA-SPC-9822

Sidney

RA-SPC-9821

RA-SPC-9820

RA-SPC-9839

RA-SPC-9838

RA-SPC-9856

RA-SPC-9806

RA-SPC-9896

RA-SPC-9900

RA-SPC-9893

RA-SPC-9914

RA-SPC-9920

RA-SPC-9922

RA-SPC-9915

RA-SPC-9849

Winona

RA-SPC-9864

RA-SPC-9872

RA-SPC-9890

RA-SPC-9878

RA-SPC-9877

RA-SPC-9876

RA-SPC-9875

DK-WPC-069

Cherokee Heights

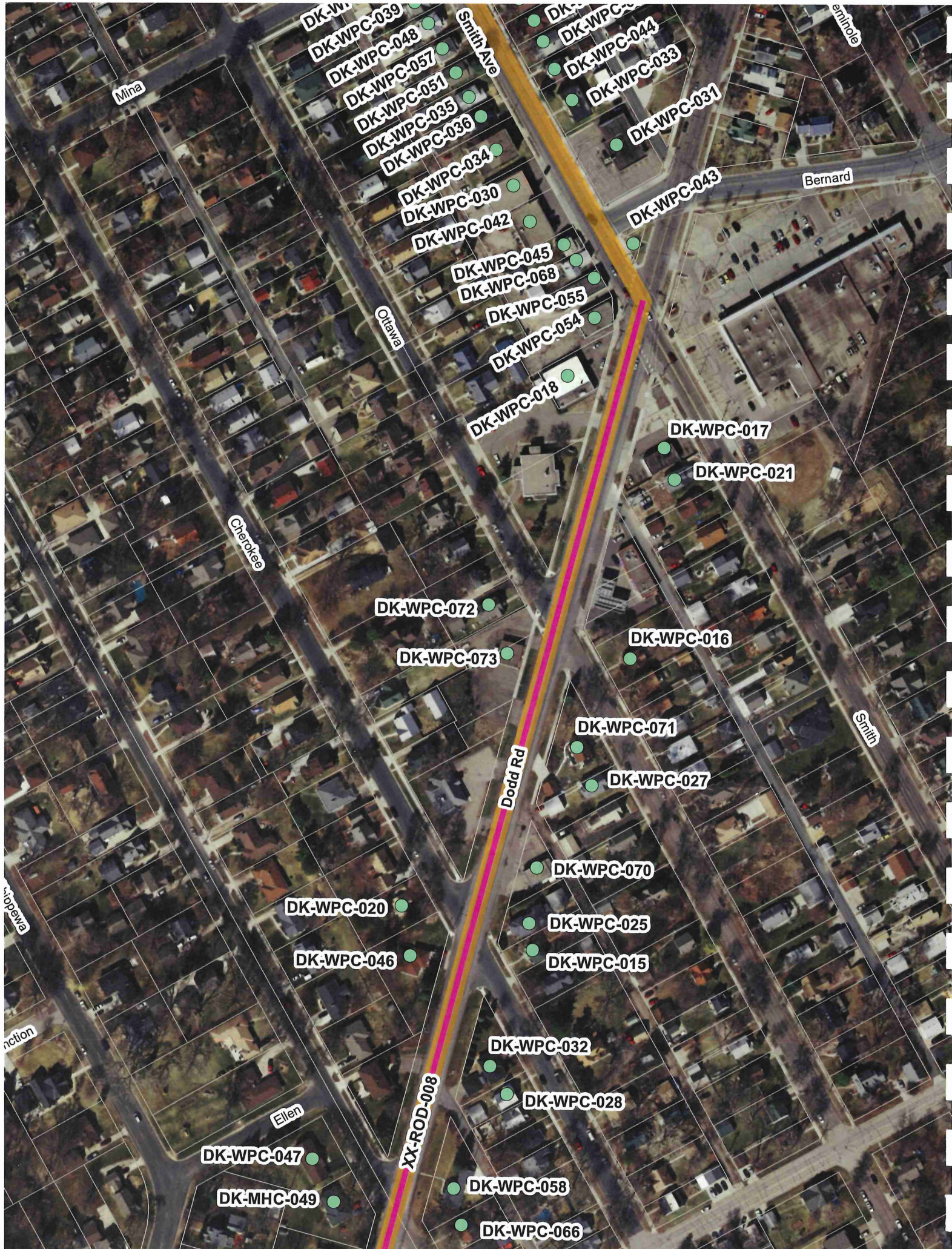
Ottawa

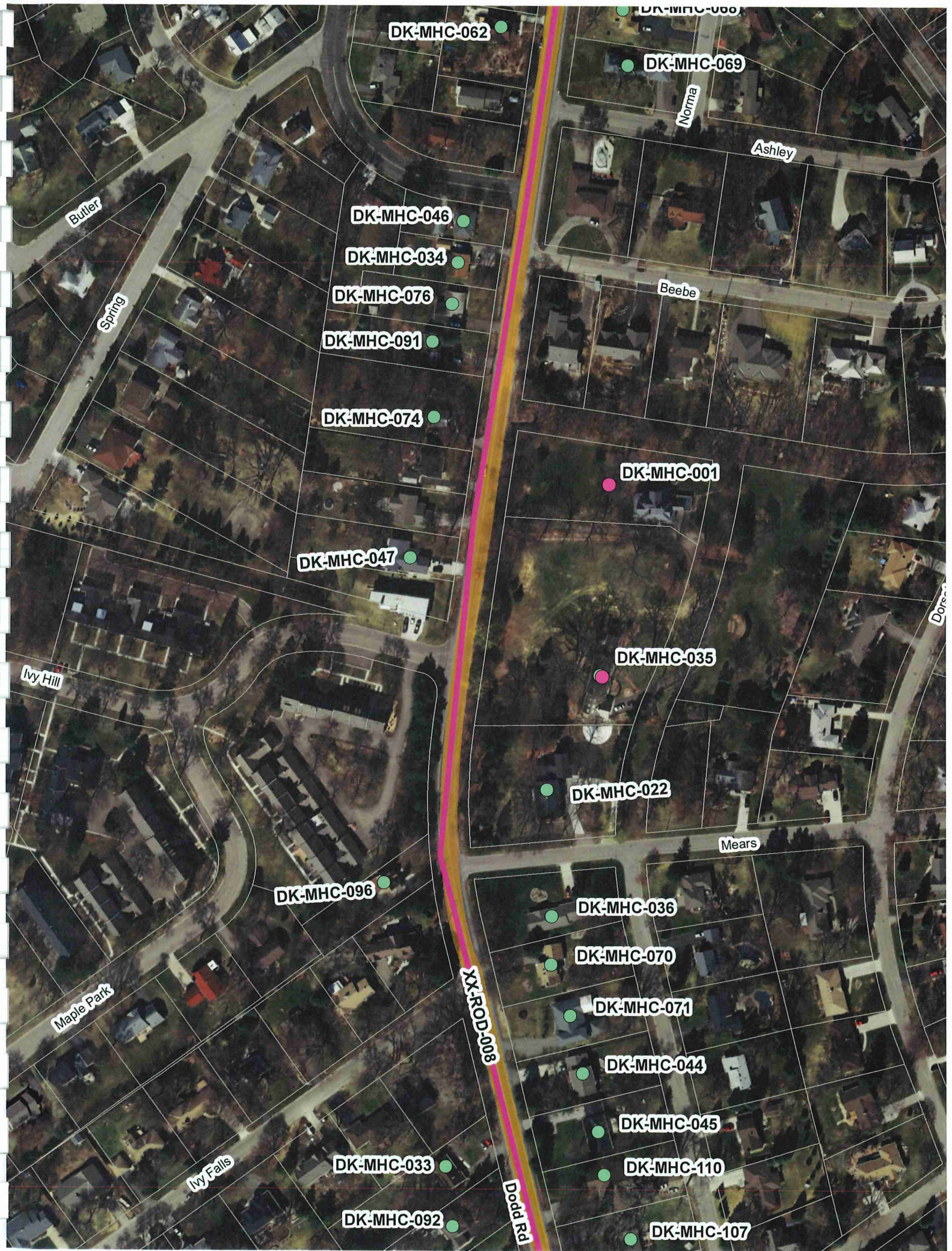
Manomin

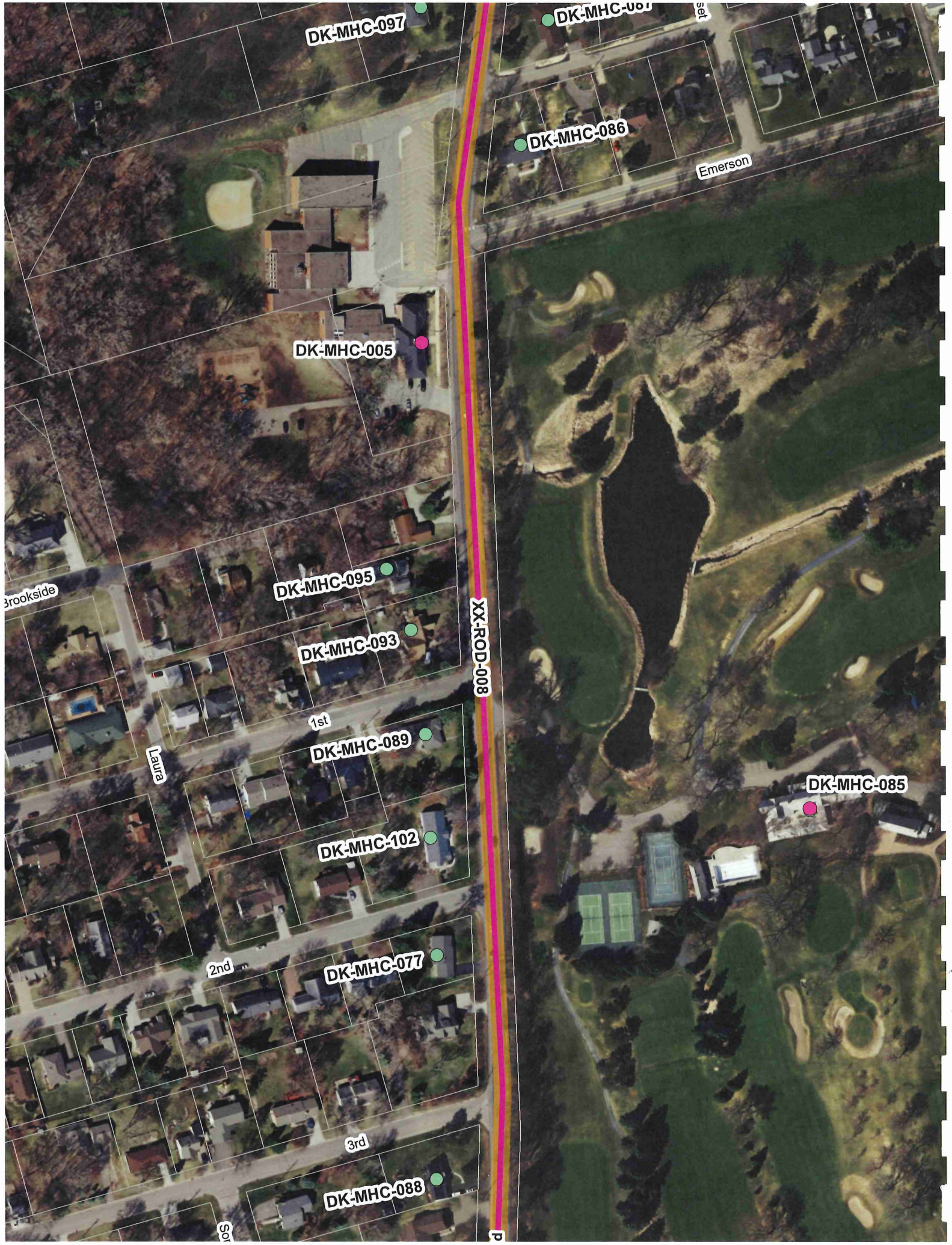
Seminole

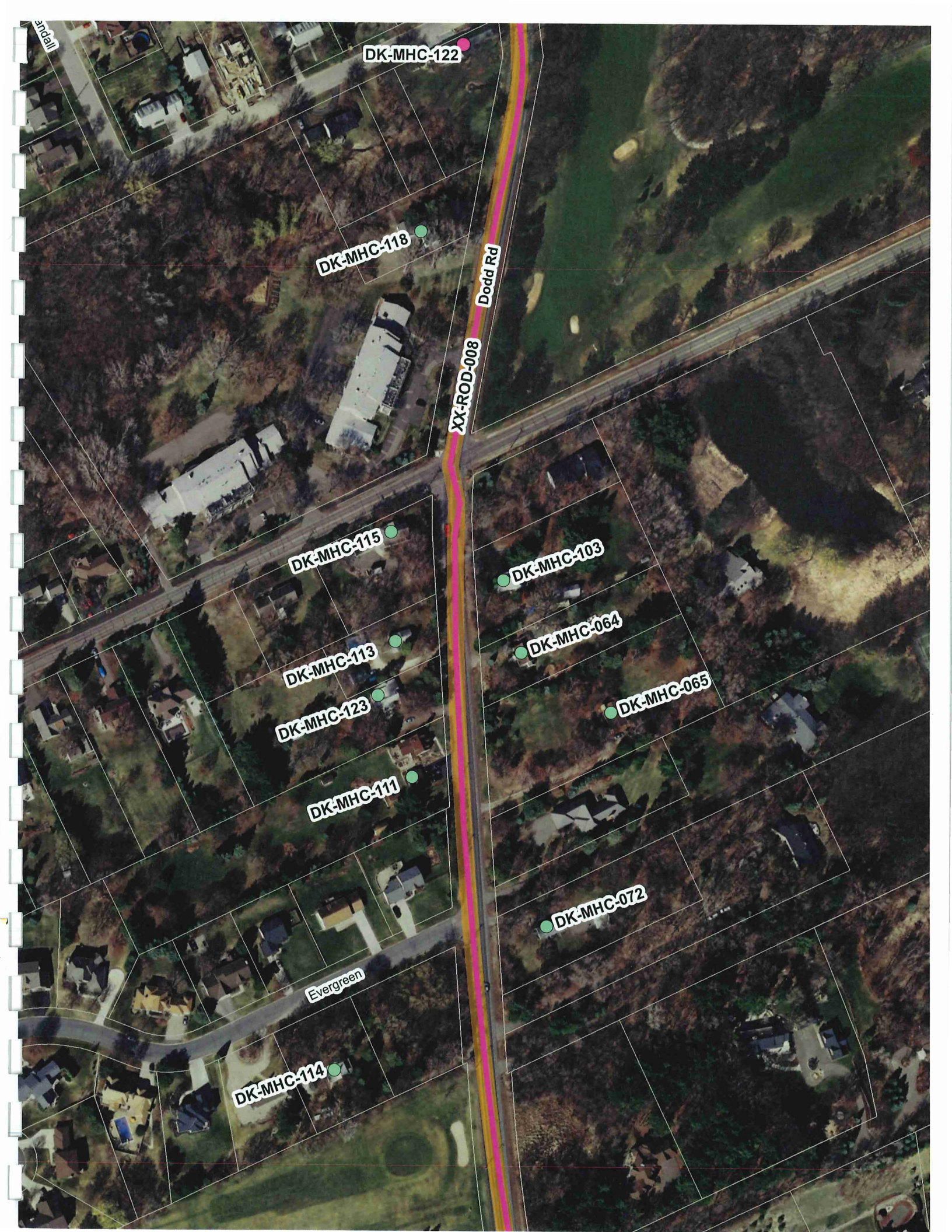
Annapolis St

Annapolis









DK-MHC-122

DK-MHC-118

Dodd Rd

XX-ROD-008

DK-MHC-115

DK-MHC-103

DK-MHC-113

DK-MHC-064

DK-MHC-123

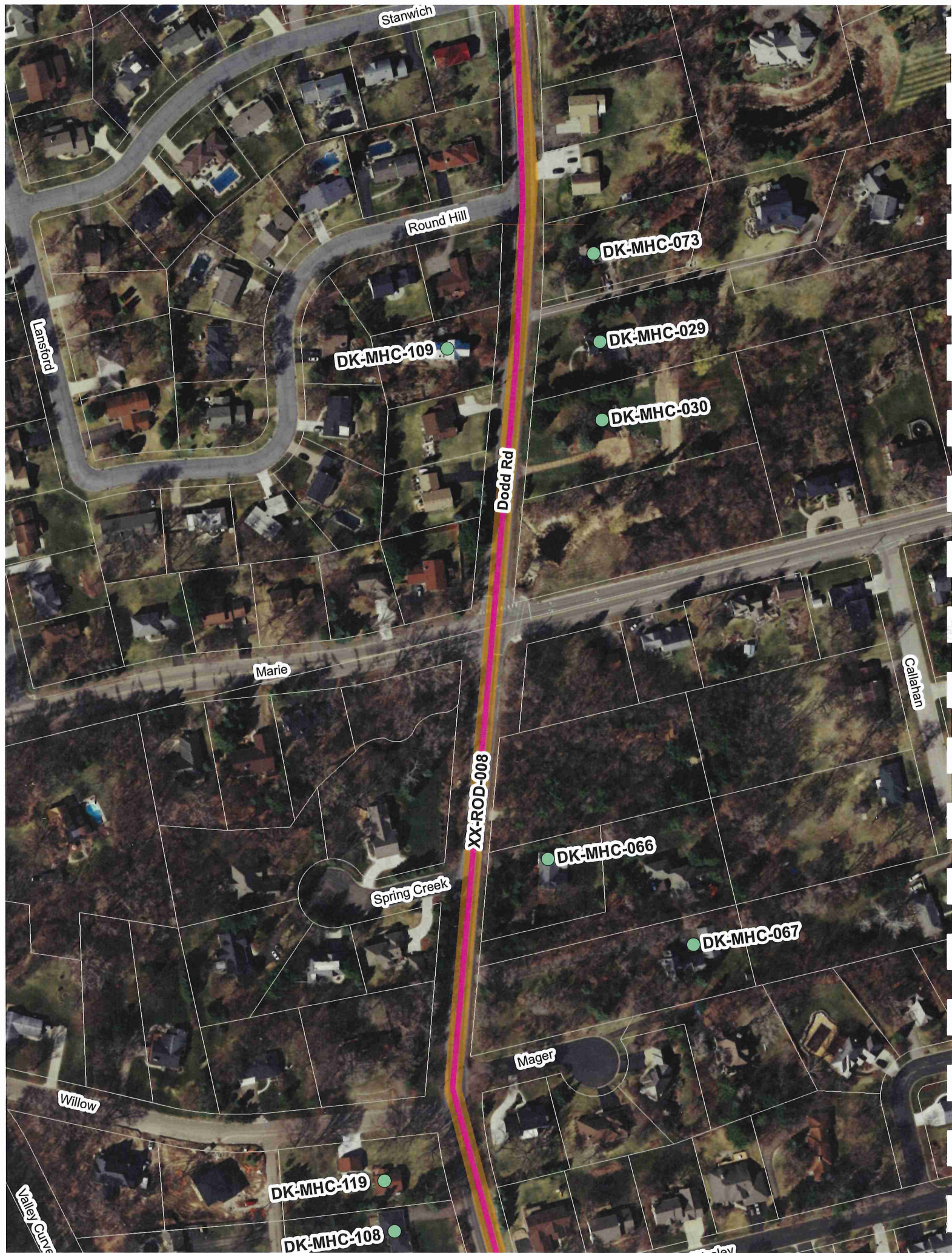
DK-MHC-065

DK-MHC-111

DK-MHC-072

Evergreen

DK-MHC-114



Stanwich

Round Hill

Lansford

DK-MHC-109

DK-MHC-073

DK-MHC-029

DK-MHC-030

Dodd Rd

Marie

Callahan

XX-ROD-008

DK-MHC-066

Spring Creek

DK-MHC-067

Willow

Mager

DK-MHC-119

DK-MHC-108

Valley Curve

Valley

Valley Curve

Hilltop

Freeway

DK-MHC-075

DK-MHC-058

DK-MHC-056

Ridge

DK-MHC-055

Dodd Rd

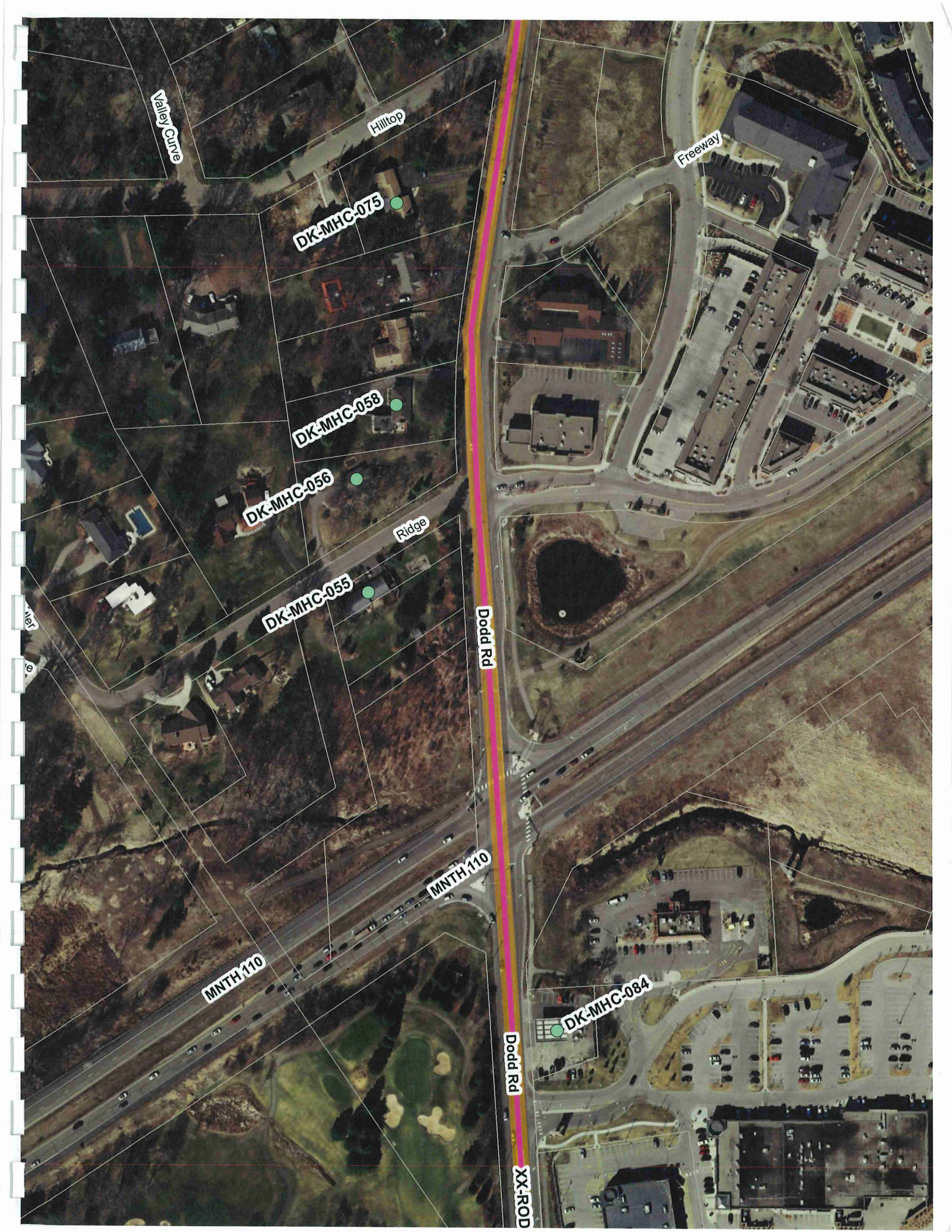
MNTH 110

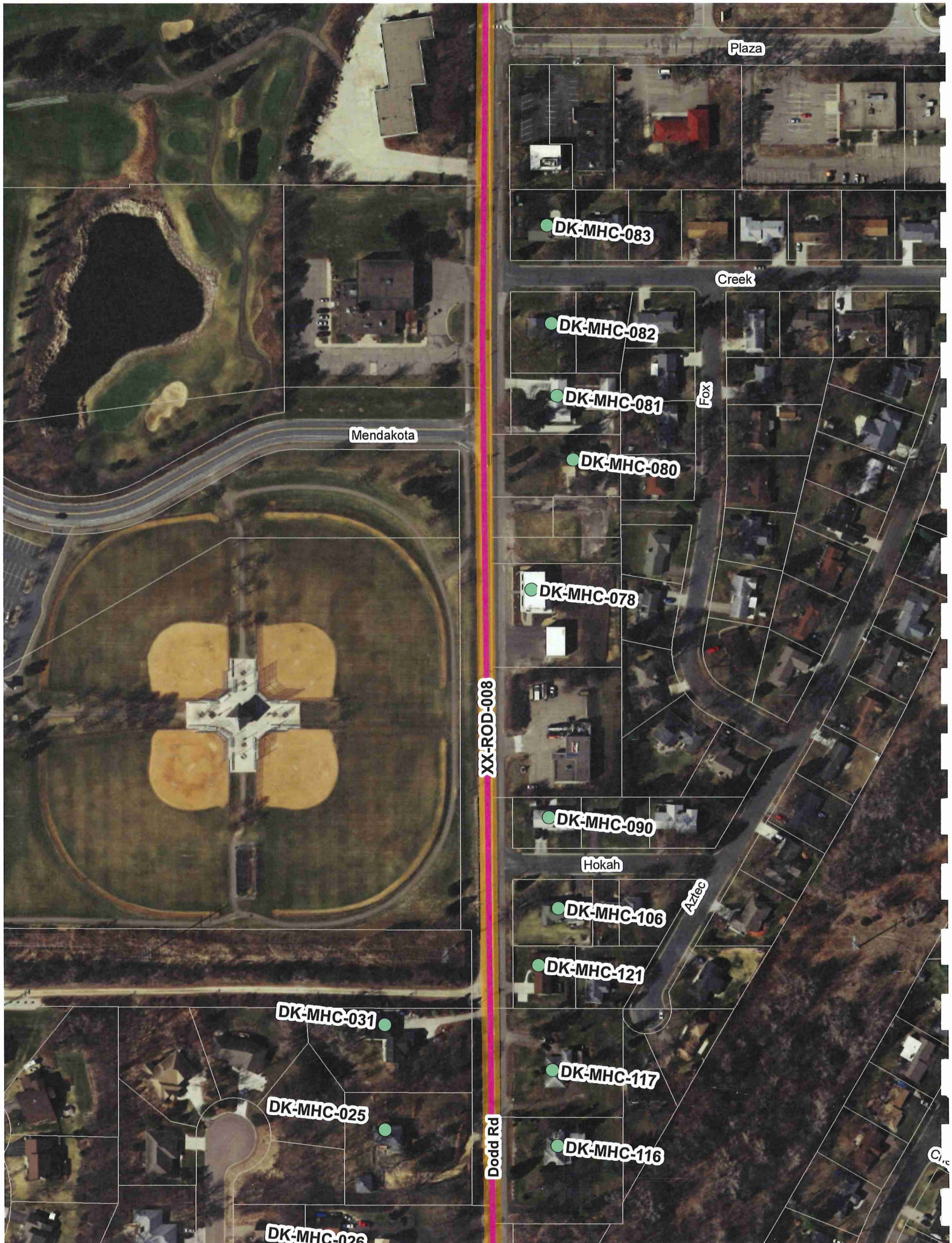
MNTH 110

Dodd Rd

DK-MHC-084

XX-ROD







DK-MHC-028

Cheri

Keokuk

Pueblo

Mohican

Bluebill

DK-MHC-054

DK-MHC-040

DK-MHC-039

DK-MHC-038

DK-MHC-037

Kressin

Lake

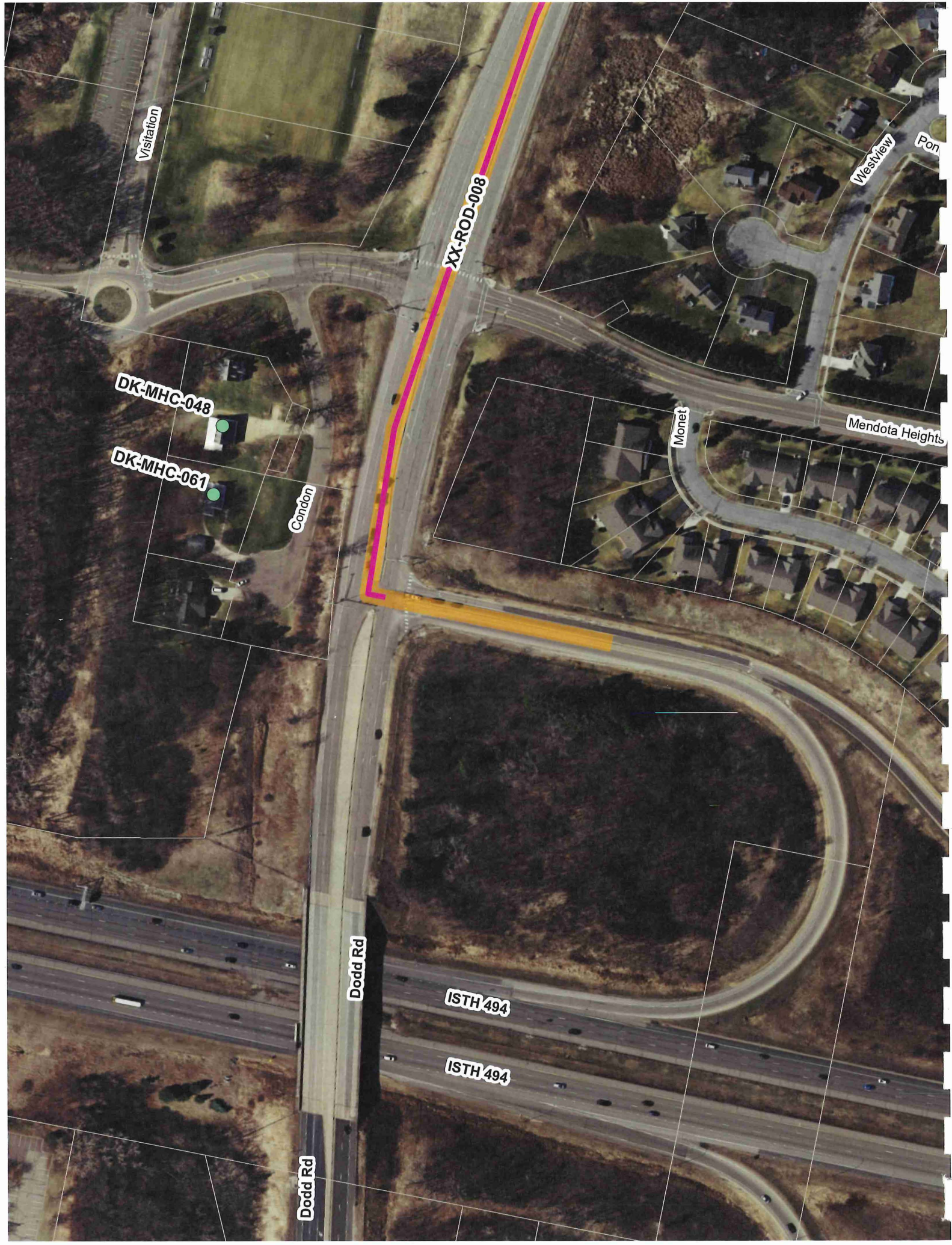
Pagel

Dodd Rd

XX-ROD-008

Hazel

Havenview



Visitation

XX-ROD-008

Westview

Pon

DK-MHC-048

DK-MHC-061

Condon

Monet

Mendota Heights

Dodd Rd

ISTH 494

ISTH 494

Dodd Rd