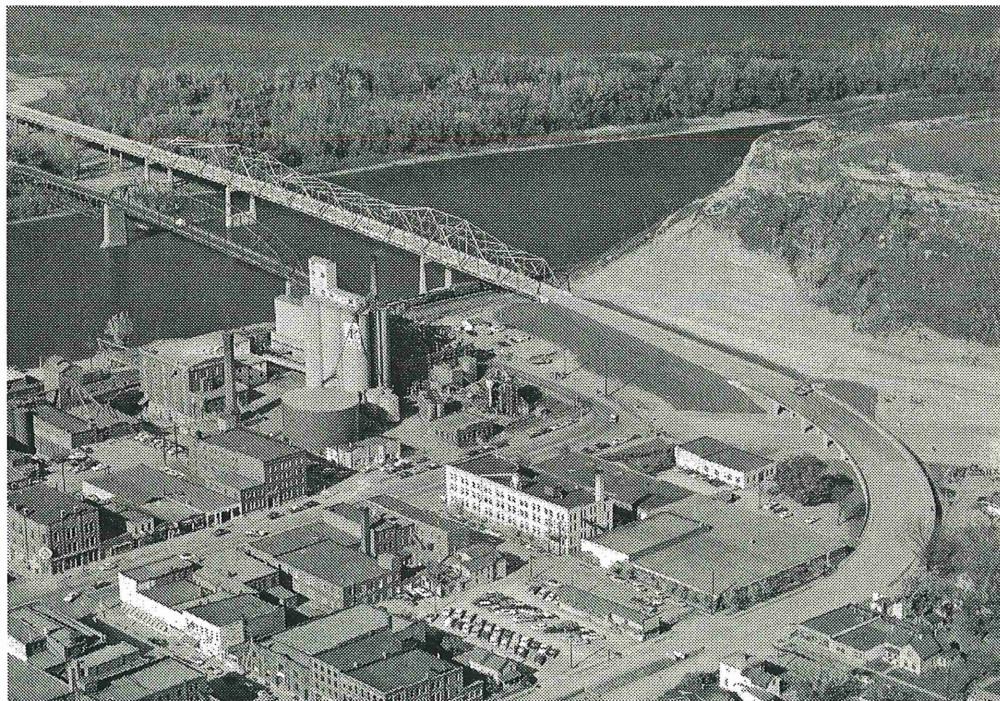




**Red Wing Bridge and Route Improvement Project  
Phase I Architecture-History Investigation, US Hwy 63,  
Bridge 9040, Goodhue County, Minnesota and  
Pierce County, Wisconsin (SP 2515-21)**



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**Submitted to the  
Minnesota Department of Transportation  
November 2011**

**Prepared by  
Susan Granger and Scott Kelly  
Gemini Research, Morris, Minnesota**

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**RED WING BRIDGE AND ROUTE IMPROVEMENT PROJECT  
PHASE I ARCHITECTURE-HISTORY INVESTIGATION,  
US HWY 63, BRIDGE 9040, GOODHUE COUNTY,  
MINNESOTA AND PIERCE COUNTY, WISCONSIN  
(SP 2515-21)**

**Submitted to the  
Minnesota Department of Transportation  
November 2011**

Authorized and funded by the  
Minnesota Department of Transportation  
and the Federal Highway Administration  
Agreement 97932

Prepared by  
Susan Granger and Scott Kelly  
Gemini Research, Morris, Minnesota

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On the cover: October 1960 photo by the St. Paul Dispatch (Minnesota Historical Society)

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## EXECUTIVE SUMMARY

The Minnesota Department of Transportation (MnDOT), in cooperation with the Wisconsin Department of Transportation (WSDOT), is proposing to reconstruct or replace Bridge 9040 that carries US 63 over the Mississippi River at Red Wing (SP 2515-21; US 63). The proposed undertaking is called the Red Wing Bridge and Route Improvement Project. Bridge 9040, also called the Eisenhower Bridge, was completed in 1960 and links the city of Red Wing, in Goodhue County, Minnesota, with Trenton Island in Trenton Township, Pierce County, Wisconsin.

In the fall of 2010 MnDOT contracted with Gemini Research to conduct the first phase of a process to identify historic architecture-history properties that might potentially be affected by the undertaking. Called a Phase I architecture-history investigation, the survey was conducted in compliance with Section 106 of the National Historic Preservation Act of 1966 as amended (36 CFR 800). Section 106 requires that responsible government agencies take historic properties into consideration during the planning of undertakings that are funded, permitted, or licensed by the federal government. "Historic properties" are defined by the Act as properties that are listed on, or eligible for, the National Register of Historic Places (NRHP).

Mn/DOT and Gemini Research identified a 490-acre Modified Environmental Site Assessment Investigation Area (MESAIA) for the architecture-history survey. The MESAIA formed an intensive-level survey area in which Gemini Research inventoried all properties except those built after 1970. Within a larger Visual Area of Potential Effect that surrounds the MESAIA, Gemini Research inventoried only those properties that were listed on, or potentially eligible for, the National Register *and* were geographically situated such they might experience substantial visual effects from the undertaking.

Gemini Research conducted its investigation in 2011. Gemini inventoried 291 properties at the Phase I level. Fourteen properties in the MESAIA were found to postdate 1970 and were therefore not inventoried. All but 2 of the 291 inventoried properties are located entirely within the City of Red Wing. Two properties span the state border and are located in both Red Wing and Trenton Township, Pierce County, Wisconsin.

Gemini recommends that 133 of the 291 inventoried properties are not eligible for the National Register.

Gemini recommends that 158 of the 291 inventoried properties be considered Phase II properties. Phase II properties are eligible for, or listed on, the National Register, or merit or require further work to assess their National Register eligibility.

A total of 133 of the 158 Phase II properties are already listed on the National Register or are located within a National Register-listed or -eligible historic district.

It is recommended that 28 of the 158 Phase II properties require further research to determine or clarify National Register eligibility.

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Individual Minnesota architecture-history inventory forms, Wisconsin inventory information, and this final report comprise the final products of the Phase I investigation. These documents will be on file at the State Historic Preservation Office of Minnesota, located in St. Paul, and the State Historic Preservation Office of Wisconsin, located in Madison.

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GD-RWC-1403	209 5th St. W	House . . . . .	5.175
GD-RWC-1404	303 5th St. W	Office Bldg (Palmquist Dental) . . . . .	5.176
GD-RWC-1405	311 5th St. W	House (Body & Soul) . . . . .	5.177
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GD-RWC-788	410 Green St.	House . . . . .	5.252
GD-RWC-789	413 Green St.	Kjellstrom House . . . . .	5.253
GD-RWC-790	414 Green St.	Anderson House . . . . .	5.254
GD-RWC-791	417 Green St.	House . . . . .	5.255
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GD-RWC-1387	ca. 100 Highway 63	Bridge 9103 . . . . .	5.269
GD-RWC-1422	521 Hill St.	Miller House . . . . .	5.273
GD-RWC-1380	230 Ikata Dr.	RW Sewage Pumping Station . . . . .	5.275
GD-RWC-1384	810 Levee Rd.	CMSPP RR Spur at Burdick Grain Co. . . . .	5.276
GD-RWC-1383	810 Levee Rd.	Burdick Grain Terminal Elev (RW Grain) . . .	5.283
GD-RWC-281	ca. 1300 Levee Rd.	Red Wing Yacht Club . . . . .	5.283
GD-RWC-005	401 Levee St.	Red Wing Iron Works . . . . .	5.289
GD-RWC-1373	ca. 416 Levee St.	Chic, Milw & St Paul Pump House . . . . .	5.290
GD-RWC-106	418-420 Levee St.	Chic, Milw & St Paul Passenger Depot . . .	5.291
GD-RWC-111	432 Levee St.	Levee Park . . . . .	5.294
GD-RWC-019	129 Main St. W	Red Wing Shoe Company . . . . .	5.298
GD-RWC-1425	ca. 205 Main St. W	Behren's Supply Co. Annex . . . . .	5.303
GD-RWC-299	207-217 Main St. W	Red Wing Creamery (Behren's) . . . . .	5.304
GD-RWC-300	223 Main St. W	Kempe Blk (Barrel House) . . . . .	5.305
GD-RWC-301	301 Main St. W	Sterling's Brick Blk (Ferrin's) . . . . .	5.306
GD-RWC-302	302-306 Main St. W	Buchholz-Hadler-Moeller (Riverfront Ctr) . .	5.307
GD-RWC-303	303 Main St. W	Sparrell's Blk (Ferrin's) . . . . .	5.308
GD-RWC-304	305 Main St. W	Sterling and Co. (Ferrin's) . . . . .	5.309
GD-RWC-305	307-311 Main St. W	J. C. Penney Co. (Sarah's) . . . . .	5.310
GD-RWC-306	308 Main St. W	Day Blk (Riverfront Ctr) . . . . .	5.311
GD-RWC-307	310 Main St. W	Betcher Blk (Riverfront Ctr) . . . . .	5.313
GD-RWC-308	312-316 Main St. W	Wilson-Baker Blk (Riverfront Ctr) . . . . .	5.315
GD-RWC-1426	315 Main St. W	Red Wing Shoe Co. Store-Museum . . . . .	5.316
GD-RWC-310	318-322 Main St. W	Simmons-Swanson Blk (Riverfront Cntr) . .	5.317
GD-RWC-311	319-321 Main St. W	Smith-McDonald Blk (Inspired Home) . . .	5.318
GD-RWC-312	323 Main St. W	Towne Blk (RW Confectionery) . . . . .	5.319
GD-RWC-314	325-327 Main St. W	Lawther Blk (Confluence Marketing) . . . . .	5.320
GD-RWC-1427	328 Main St. W	LaGrange Park & Parking Ramp . . . . .	5.321
GD-RWC-315	329 Main St. W	Clark and Hawley Blk (Moments on Main) .	5.322
GD-RWC-004	406 Main St. W	St. James Hotel . . . . .	5.323
GD-RWC-006	409 Main St. W	Keystone Building (DeLeon) . . . . .	5.325
GD-RWC-1428	412 Main St. W	Medical Block Clinic (St. James Hotel) . . .	5.327
GD-RWC-317	413-423 Main St. W	Boxrud Bros Blk (Riverbend Market) . . . .	5.329
GD-RWC-1429	416 Main St. W	Northern States Power (St. James Hotel) . .	5.330
GD-RWC-318	420-426 Main St. W	Pioneer Garage (Johnson Tire) . . . . .	5.331
GD-RWC-320	433-435 Main St. W	Phelps Blk (Brickhouse Pub) . . . . .	5.332
GD-RWC-1430	434 Main St. W	Young Men's Christian Association . . . . .	5.333
GD-RWC-321	437-439 Main St. W	Cogel-Betcher Blk (RW Chamber) . . . . .	5.334
GD-RWC-107	604 Main St. W	Preston's Auto Sales (Taco Johns) . . . . .	5.335
GD-RWC-1431	610 Main St. W	Lawrence Realty & Construction . . . . .	5.336
GD-RWC-1432	620 Main St. W	Lawrence-Bohmbach Insurance . . . . .	5.337
GD-RWC-1433	621 Main St. W	Econo Foods . . . . .	5.338
GD-RWC-015	726 Main St. W	Chicago Great Western Depot (Caribou) . .	5.340
GD-RWC-1436	526 Minnesota St.	Mossberg House . . . . .	5.343
GD-RWC-1438	1166 Oak St.	RW City Hospital & Home . . . . .	5.346
GD-RWC-360	201-207 Plum St.	Lawther-Park Blk (Travel Leaders) . . . . .	5.353
GD-RWC-361	210 Plum St.	Globe Electric (Ferrin's) . . . . .	5.354
GD-RWC-362	212 Plum St.	Sterling Block (Ferrin's) . . . . .	5.355

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GD-RWC-363	213 Plum St.	Little Green Front (5 de Mayo) . . . . .	5.357
GD-RWC-364	214 Plum St.	Linne Building (Ferrin's) . . . . .	5.358
GD-RWC-365	217-221 Plum St.	National Guard Armory-Masonic Hall . . . . .	5.359
GD-RWC-366	302 Plum St.	Greenwood Blk (Liberty's) . . . . .	5.360
GD-RWC-368	303 Plum St.	Lyons Brick Block . . . . .	5.361
GD-RWC-367	304 Plum St.	Lindberg Blk (Liberty's) . . . . .	5.362
GD-RWC-369	306-308 Plum St.	Boston Blk (Liberty's) . . . . .	5.364
GD-RWC-370	307 Plum St.	Red Wing Creamery (Red Men) . . . . .	5.365
GD-RWC-371	309-313 Plum St.	Clum Blk (Metro Apts) . . . . .	5.366
GD-RWC-372	310 Plum St.	Smith Harness Shop (Roxx) . . . . .	5.368
GD-RWC-373	312-314 Plum St.	White Front Clothing (B.S. Bar) . . . . .	5.369
GD-RWC-375	316 Plum St.	Winters Building . . . . .	5.370
GD-RWC-376	318 Plum St.	Peterson Meat (Sorenson Financial) . . . . .	5.371
GD-RWC-378	320-324 Plum St.	Salvation Army (Elks) . . . . .	5.372
GD-RWC-010	325-327 Plum St.	Hotel de Batlo (Eagle House) . . . . .	5.373
GD-RWC-379	326-330 Plum St.	Becker Grocery (Elks) . . . . .	5.375
GD-RWC-1439	401 Plum St.	First National Bank (Wells Fargo) . . . . .	5.376
GD-RWC-1440	425 Plum St.	Kohn Grocery (Red Wing Laundry) . . . . .	5.380
GD-RWC-1441	501 Plum St.	Usem Furniture (Salvation Army) . . . . .	5.383
GD-RWC-1442	511 Plum St.	Bernie's Tire (Salvation Army) . . . . .	5.386
GD-RWC-1443	512 Plum St.	Kruger Garage (Al's Antique) . . . . .	5.388
GD-RWC-1444	514 Plum St.	Livery (Al's Antique) . . . . .	5.389
GD-RWC-018	113 Potter St.	Simmons Milling-RW Milling (ADM) . . . . .	5.390
GD-RWC-1445	301 Potter St.	Behren's Machine Service . . . . .	5.394
GD-RWC-1446	321 Potter St.	Light Industrial Bldg (A-1) . . . . .	5.395
GD-RWC-1447	510 Potter St.	House . . . . .	5.396
GD-RWC-711	511 Potter St.	House . . . . .	5.397
GD-RWC-768	304 Sanderson St.	House . . . . .	5.398
GD-RWC-769	308 Sanderson St.	House . . . . .	5.399
GD-RWC-770	309 Sanderson St.	Remshardt House . . . . .	5.400
GD-RWC-771	310 Sanderson St.	Erickson House . . . . .	5.401
GD-RWC-772	315 Sanderson St.	Arntson House . . . . .	5.402
GD-RWC-773	318 Sanderson St.	Olson House . . . . .	5.403
GD-RWC-774	412 Sanderson St.	House . . . . .	5.404
GD-RWC-064	222 West Ave.	U.S. Post Office . . . . .	5.405
GD-RWC-068	308-314 West Ave.	Lidberg Doublehouse . . . . .	5.406
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## **INTRODUCTION**

The Minnesota Department of Transportation (MnDOT), in cooperation with the Wisconsin Department of Transportation (WSDOT), is proposing to reconstruct or replace Bridge 9040 which carries US 63 over the Mississippi River at Red Wing (SP 2515-21; US 63). The undertaking is called the Red Wing Bridge and Route Improvement Project. Bridge 9040, also called the Eisenhower Bridge, was completed in 1960 and links the city of Red Wing, in Goodhue County, Minnesota, with Trenton Island in Trenton Township, Pierce County, Wisconsin.

In the fall of 2010 MnDOT contracted with Gemini Research to conduct a Phase I architecture-history investigation in association with the undertaking. (MnDOT contracted with another firm, Two Pines Resources Group, to conduct a separate archaeological study.)

The architecture-history cultural resources investigation is being conducted in compliance with Section 106 of the National Historic Preservation Act of 1966 as amended (36 CFR 800). Section 106 requires that responsible government agencies take historic properties into consideration during the planning of undertakings that are funded, permitted, or licensed by the federal government. "Historic properties" are defined by the Act as properties that are listed on, or eligible for, the National Register of Historic Places (NRHP).

A Phase I architecture-history investigation generally characterizes the historic resources in a given survey area and makes recommendations regarding properties that require more detailed study to determine their National Register eligibility. In specific, a Phase I investigation identifies sites or districts that are already listed on the National Register, and those that merit or require further investigation to determine their National Register eligibility. Collectively these properties are termed Phase II properties.

Research and evaluation of the Phase II properties will occur in subsequent step in the Section 106 process. MnDOT will then determine the potential impact of the proposed undertaking on properties listed on, or eligible for, the National Register, and will seek ways to avoid, reduce, or mitigate any potential negative effects.

This report summarizes the findings of Gemini Research's Phase I architecture-history investigation.

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## INTRODUCTION

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## PROJECT OBJECTIVE AND METHODS

## PROJECT OBJECTIVE AND METHODS

### ■ PROJECT OBJECTIVE

The objective of this cultural resources investigation was to complete the first phase of a process to identify historic architecture-history properties that might potentially be affected by the Red Wing Bridge and Route Improvement Project (SP 2515-21; US 63). Architecture-history properties are generally standing structures, as opposed to archaeological resources. "Historic" properties are defined by the National Historic Preservation Act as amended (36 CFR 800) as properties listed on, or eligible for, the National Register of Historic Places (NRHP). Identifying historic properties will allow MnDOT and others to take significant cultural resources into consideration during project planning.

Specifically, this Phase I architecture-history survey sought to identify:

- properties listed on the National Register or in a National Register-listed historic district,
- properties already determined to be eligible for the National Register or in a National Register-eligible historic district,
- properties that merit or require further architecture-history work to evaluate their National Register eligibility, and
- properties that do not appear to be eligible for the National Register.

A Phase II investigation is expected to follow this Phase I survey. During Phase II, intensive research and analysis is conducted as needed and the properties' eligibility for the National Register evaluated. The proposed undertaking's potential effect on historic properties is then assessed.

### ■ BRIEF DESCRIPTION OF THE UNDERTAKING

The proposed Red Wing Bridge and Route Improvement Project (SP 2515-21; US 63) includes:

- potential rehabilitation or replacement of Bridge 9040 (US Hwy 63) over the Mississippi River,
- improvement of bridge approach roads on the Wisconsin side,
- rehabilitation or replacement of a related bridge, Bridge 9103, that carries Highway 63 over Highway 61 on the Minnesota side,
- improvements to Highway 61, Highway 63, and TH 58 connections near Bridge 9040.

The project generally encompasses a portion of Red Wing, Minnesota, near its downtown, and a portion of Trenton Island in Trenton Township, Pierce County, Wisconsin (T113N R14W Sec. 29-30 and T124N R18W Sec. 10-11).

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## PROJECT OBJECTIVE AND METHODS

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In the east-west direction (parallel with the Mississippi River at this location), the Improvement Project will likely extend from approximately Red Wing's West Avenue on the west, to a point just west of the intersection of East Fifth Street and Highway 61/63 on the east.

In the north-south direction, the project will likely extend from a point in Pierce County about 2,000' north of the intersection of Highway 63 and 825th Street on the north, to approximately one-half block south of Red Wing's Fifth Street on the south.

**Bridge Alternatives.** The Improvement Project proposes to reconstruct or replace Bridge 9040 over the Mississippi. One potential option would rehabilitate and possibly widen Bridge 9040 at its current location. Another alternative would replace Bridge 9040 in its current location. Another would build a replacement bridge at a new location farther west. One option rehabilitates Bridge 9040 at its current location and adds a second bridge to carry half of the Highway 63 traffic. Three potential bridge locations were considered for the purposes of this cultural resources study: a bridge at Bridge 9040's current location, a bridge aligned with Red Wing's Plum Street (TH 58), and a bridge aligned with Red Wing's Broad Street (which splits to become West and East Avenues south of Main Street).

In some scenarios, a new Mississippi River bridge would be a few feet taller than the current bridge's elevation.

On the Wisconsin end, the Highway 63 approach to the Mississippi River bridge would likely be raised and widened. Access to Island Camping and Marina and nearby properties would be altered.

On the southern end of Bridge 9040, the curving concrete Bridge 9103 that carries Highway 63 over Highway 61 could potentially be replaced with a similar structure that was perhaps slightly taller than Bridge 9103. One option is to build a new curving "buttonhook" ramp to carry traffic that is traveling south over the Mississippi River and then turning east onto Highway 61/63. This ramp would probably be located southeast of the current Bridge 9103.

Bridge 9449, which carries Highway 61/63 over East Fifth Street at the eastern end of the Improvement Project, is expected to remain in place.

**Other Changes.** The Bridge and Route Improvement Project will potentially include changes to street widths, curb alignments, turning lanes, medians, sidewalk widths, traffic volume, traffic direction, traffic signaling, and parking throughout the Modified Environmental Site Assessment Investigation Area (MESAIA) identified on Map 1, particularly in downtown Red Wing.

## ■ PROJECT METHODS

Susan Granger served as Gemini Research's Principal Investigator for the Phase I architecture-history survey. Gemini conducted the investigation in 2011.

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## PROJECT OBJECTIVE AND METHODS

### ***Area of Potential Effect***

An Area of Potential Effect or APE is generally defined as the geographic area in which potential effects to historic properties caused by the undertaking are most likely to occur. Potential effects generally include the possibility of right-of-way acquisition, construction activity (e.g., earth-moving, vibration from construction, construction staging), visual or auditory effects, significant changes to traffic patterns, property access changes, and other potential effects during and after construction. An architecture-history survey is generally conducted within an APE.

**Modified Environmental Site Assessment Investigation Area.** Before this cultural resources investigation began, the Minnesota Department of Transportation (MnDOT) identified an Environmental Site Assessment Investigation Area (ESAIA) for the Red Wing Bridge and Route Improvement Project which was designed to encompass the area potentially affected by the undertaking. Gemini Research modified the ESAIA in three locations to better reflect details of the undertaking and its potential to affect architecture-history properties, as follows: At the northern end of the ESAIA, Gemini extended the ESAIA boundary about 2,500' farther north along Highway 63 because of a likely northward increase in construction limits. At the eastern end of the project, Gemini extended the ESAIA boundary about 1,000' farther east to approximately the intersection of East Fifth Street and Highway 61/63, again because of a likely increase in construction limits. At the western end of the ESAIA, Gemini extended the boundary west to Fulton Street to take into consideration the option that a bridge might be built across the Mississippi at Broad Street. Map 1 shows the resulting Modified Environmental Site Assessment Investigation Area (MESAIA).

The MESAIA served as the general boundary for Gemini Research's intensive-level Phase I architecture-history survey. Within this area, MnDOT requested that Gemini inventory all properties except those built after 1970.

**Visual APE.** Gemini Research identified a second component of the architecture-history APE, called the Visual APE, for the purposes of this cultural resources review (Map 1). The Visual APE lies outside the MESAIA and is the area in which historic properties might experience substantial visual effects from the undertaking, but not other types of potential effects. Gemini Research developed the Visual APE by field-checking locations from which properties might have a significant view of a new or rehabilitated bridge if it were built at one of the three possible locations (the current location, at Plum Street, or at Broad Street).

Within the Visual APE, Gemini Research inventoried only those properties that were listed on, or potentially eligible for, the National Register *and* were geographically situated such they might experience substantial visual effects from the undertaking. (See Survey Selection Strategy below.)

### ***Literature Search***

At the beginning of the investigation, Gemini conducted a literature search to examine previous cultural resources studies, to understand the historical development of the survey area including key contexts and themes, to become familiar with the types of properties expected to be encountered, and to identify sources to be used for site-specific research. The References

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## PROJECT OBJECTIVE AND METHODS

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chapter of this report lists many of the most important sources identified in the literature search. The Historical Background sketch in Chapter 3 summarizes some of the background research.

### ***Historic Contexts***

Historic contexts are a tool used in cultural resources investigations to help identify, understand, and evaluate the potential significance of historic properties. In 1994 the City of Red Wing's Heritage Preservation Commission (HPC) hired Bear Creek Archaeology to prepare a historic context study for the city. The firm identified 12 historic contexts that describe patterns, events, and themes which influenced the development of Red Wing's cultural resources (Vogel 1994). Eight of the 12 local historic contexts were applicable to the Phase I survey:

#### **Red Wing Historic Context**

Development of Downtown Red Wing, 1853-1930s  
River, Railroad, and Highway Transportation in Red Wing, 1840s-1940s  
Industrial Development in Red Wing, 1853-1945  
Red Wing Town Planning and the City Beautiful Movement, 1853-1930  
Development of Red Wing Residential Neighborhoods, 1853-1945  
Government Institutions in Red Wing, 1853-1945  
Historic Landscapes in Red Wing, 1,000 BC-AD 1945  
Red Wing Churches and Cemeteries, 1837-1945

The Minnesota State Historic Preservation Office (MnSHPO) has developed a series of statewide historic contexts also used to help identify and understand the significance of cultural resources. The MnSHPO periodically adds new historic contexts to the series. Eight of the MnSHPO's statewide historic contexts were applicable to the Phase I survey:

#### **Minnesota Statewide Historic Context**

Early Agriculture and River Settlement, 1840-1870  
Railroads and Agricultural Development, 1870-1940  
Tourism and Recreation in the Lake Regions, 1870-1945  
Urban Centers, 1870-1940  
Federal Relief Construction in Minnesota, 1933-1943  
Geographic Features of Cultural Significance  
Railroad Development in Minnesota, 1862-1956  
Bridges in Minnesota, 1955-1970

In its *Wisconsin Cultural Resource Management Plan* (1986) the Wisconsin SHPO identified a similar set of themes and study units designed to summarize the development of cultural resources in Wisconsin and to help surveyors identify, understand, and evaluate Wisconsin resources. Gemini Research reviewed these study units in preparation for the Phase I survey.

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## PROJECT OBJECTIVE AND METHODS

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### ***Previously-Inventoried Properties***

See Chapter 3 for a list of architecture-history properties in the MESAIA that had been previously inventoried by the MNSHPO in its Minnesota Historic Properties Inventory and by the Wisconsin SHPO in its Architecture and History Inventory. These properties were resurveyed by Gemini Research (unless they had been razed).

### ***Properties Listed on the National Register***

See Chapter 3 for a list of architecture-history properties in the MESAIA that are already listed on the National Register. These National Register-listed properties include three historic districts (Map 2).

### ***Historic Districts Designated by the City of Red Wing***

To date, the City of Red Wing has designated no individual historic sites.

The City has designated four historic districts in the vicinity of the MESAIA:

Downtown Historic District  
Historic Mall District  
West Residential Historic District  
St. James Historic District

See Map 3 for district boundaries. The National Register eligibility of all properties in the MESAIA that are also in a local historic district will be assessed by the end of Phase II.

Three of the local historic districts – the Historic Mall District, West Residential Historic District, and St. James Historic District – have boundaries similar to, but not identical to, three National Register-listed districts – the Red Wing Mall Historic District, Red Wing Residential Historic District, and St. James Hotel Complex. (Compare Maps 2 and 3.)

The fourth local district – the Downtown Historic District – has boundaries similar to, but not identical to, a historic district that is eligible for, but not listed on, the National Register – the Potential Red Wing Commercial Historic District. (Compare Maps 3 and 5.)

Programs pertaining to Red Wing's local historic districts are administered under the auspices of the city's Heritage Preservation Commission (HPC). The Red Wing HPC is a Certified Local Government (CLG) under provisions of the National Historic Preservation Act as amended (36 CFR 600).

### ***Survey Selection Strategy***

**Intensive-Level Architecture-History Survey Within the MESAIA.** MnDOT requested that Gemini Research inventory all properties within the Modified Environmental Site Assessment Investigation Area (MESAIA) (Map 1) except those built after 1970. The MESAIA therefore served as the basic boundary for Gemini Research's intensive-level Phase I architecture-history survey.

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## PROJECT OBJECTIVE AND METHODS

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**Architecture-History Survey Within the Visual APE.** Within the Visual APE, Gemini Research inventoried only those properties that were listed on, or potentially eligible for, the National Register *and* were geographically situated such that the property could potentially experience substantial visual effects from the proposed undertaking (particularly from a bridge rehabilitation or replacement at one of the three proposed locations: the current location, Plum Street, or Broad Street). Gemini focused on properties that were specifically sited or designed to take advantage of scenic views or properties designed with architectural elements (e.g., belvederes, bay windows, banks or windows, or porches) that accessed the view.

For example, parts of two National Register-listed historic districts – the Red Wing Mall Historic District and the Red Wing Residential Historic District – are located within the Visual APE but outside the MESAIA (Maps 1 and 2). Gemini Research examined all properties in the two districts that were outside the MESAIA but within the Visual APE and selected for inventory those that were geographically situated so that substantial visual effects from the proposed undertaking were possible. Three were selected: the Lawther House (927 3rd St. W; GD-RWC-023), the Sprague House (1008 3rd St. W; GD-RWC-142), and the Wilkinson House (1104 3rd St. W; GD-RWC-149). Each has an upper-story tower, belvedere, or porch, designed for viewing the river valley, that gives the property a viewshed in which Bridge 9040, or a potential new bridge at Broad Street or Plum Street, plays a substantial role.

Gemini Research examined properties located on the edges of the steep bluffs south, southwest, and southeast of downtown Red Wing. Many structures along the bluffs were intentionally sited and designed to take advantage of dramatic views of the river valley, Barn Bluff, and the city below. Some properties were built on streets platted in the late 19th and early 20th centuries with names such as Pleasantview, Summit, and Grandview. Properties examined by Gemini Research included circa 1930s scenic overlook walls at Soldiers Memorial Park on Sorin's Bluff and at Oakwood Cemetery. Neither scenic overlook was selected for the inventory, however, because Gemini determined that a potential bridge at one of the three possible locations would not comprise a substantial part of the viewshed and therefore would not cause a significantly change in the view from the overlook.

Most buildings on the hillsides or bluff edges were ultimately not selected for the inventory because they were either physically altered or found to postdate 1970, or because Gemini determined in the field that the proposed undertaking would not cause a substantial change to the property's viewshed. Some of the properties examined but not selected for the inventory include:

Address	Historic Name
1316 W. 4th St.	Hempftling House
1412 W. 4th St.	Red Wing Health Center
1625 W. 4th St.	Featherstone House
1707 W. 4th St.	House
1735 W. 4th St.	House
1741 W. 4th St.	House
910 W. 6th St.	House
918 W. 6th St.	House
1831 Grandview Ave.	House

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## PROJECT OBJECTIVE AND METHODS

410 Harding St.	House
999 Kingman Ave.	House (now Vogel House)
1012 Kingman Ave.	Sundberg House (now Vogel House)
1104 Oak St.	House
1118 Oak St.	House
1160 Oak St.	Williams House
503 Summit Ave.	Lindgren-Johnson House

### ***Phase II Properties***

After conducting fieldwork and, in some cases, a limited amount of site-specific background research, Gemini Research culled from the inventoried (Phase I) properties those that merit or require further investigation (i.e., Phase II work) to assess their National Register eligibility. These properties, along with those already listed on, or eligible for, the National Register, comprise the Phase II properties.

### **■ FINAL PRODUCTS: INVENTORY FORMS AND SURVEY REPORT**

Gemini Research prepared a Minnesota Architecture-History Inventory Form for all inventoried properties. Wisconsin Architecture History survey information was submitted to that state for two properties that span the state border, Bridge 9040 and the Mississippi River Nine-Foot Channel, Red Wing Segment. The Wisconsin Architecture and History Inventory was updated for the Wisconsin site that had been previously inventoried but has been razed.

Gemini prepared this final report to explain the objectives, methods, and results of the Phase I survey.

Minnesota architecture-history inventory forms, Wisconsin inventory information, and this final report comprise the final products of the investigation. Copies of the inventory forms and survey report will be archived at the Minnesota State Historic Preservation Office (MnSHPO) at the Minnesota Historical Society in St. Paul. Information pertaining to Wisconsin is on file at the Wisconsin State Historic Preservation Office (SHPO) at the Wisconsin State Historical Society in Madison.

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**PROJECT OBJECTIVE AND METHODS**

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## PROJECT RESULTS

### ■ BRIEF DESCRIPTION OF THE SURVEY AREA

The Modified Environmental Site Assessment Investigation Area (MESAIA), which doubled as the intensive-level survey area, encompasses about 490 acres and is focused on Bridge 9040, the Eisenhower Bridge (Map 1). The MESAIA is roughly one mile wide, east to west. (The entire city of Red Wing stretches about 11 miles, east to west, along the Mississippi River.) The MESAIA is in T113N R14W Sections 29-30 and T124N R18W Sections 10-11.

On the eastern side of the MESAIA is Barn Bluff, a 350' island mesa that is Red Wing's most well-known landmark (Fig. 1). Much of the MESAIA is comprised of the gently-sloping floodplain on which Red Wing was established. Several steep, irregular, wooded bluffs begin to rise sharply about two blocks south of the MESAIA. They include College Hill, located west of West Avenue, and Sorin's Bluff, located east of East Avenue. College Hill, Sorin's Bluff, and Barn Bluff form a semicircle that encloses downtown Red Wing on the southwest, southeast, and northeast.

On the Wisconsin side of the Mississippi, the MESAIA contains about half of Trenton Island (also called Pucketville), a low-lying, flood-prone land mass characteristic of the delta islands and back channels in this part of the Mississippi River (Fig. 2). The island has several wetlands and a larger body called Mud Lake or Upper Lake. Highway 63 crosses the island from southeast to northwest, and both the highway and the island's other road, 825th Street, are built on extensive fill. The island was once dotted with seasonal cottages and year-round homes (particularly west of the MESAIA along the western shore) but most buildings were removed and the residents relocated in the 1990s during flood-mitigation programs. On the bank of the Mississippi immediately across from downtown Red Wing are three Trenton Island properties with modern facilities: the Harbor Bar and Grill, Island Camping and Marina, and Trenton Island Yacht Club. All three maintain multiple boat slips on the river and the latter two operate campgrounds.

Three of Red Wing's most important historic transportation corridors pass east and west through the MESAIA (Fig. 7). They are the Mississippi River, the former Chicago, Milwaukee, St. Paul, and Pacific Railroad (now the Soo Line), and Highway 61. Most of Red Wing's industries developed along these transportation routes, as did the central business district.

The MESAIA includes some of Red Wing's most important cultural resources. They include:

- Barn Bluff
- a one-mile stretch of the Mississippi River's main channel
- much of Red Wing's historic harbor and wharf area
- about half of Red Wing's 50-block original plat of 1853
- the central business district
- several historic industrial plants
- about half of the central civic Mall, a wedge of land on the west side of downtown sited with parks, churches, and public buildings
- the city's two principal passenger depots and remaining railroad corridor
- a one-mile segment of the historic Highway 61 corridor

- early residential blocks including East Red Wing, or the East End, platted in the 1860s

## ■ HISTORICAL BACKGROUND

Red Wing has been the subject of several good local history publications, only some of which are mentioned here. They include Madeline Angell's detailed 1977 history of the city, and county histories by Rasmussen (1935) and Johnson (2000). The Red Wing Republican Eagle's 2007 book about Red Wing (edited by Dosdall and Erickson) is heavily illustrated with excellent historic photos, including many from the Goodhue County Historical Society's extensive collection. Historical narratives are mixed with personal impressions in the Republican Eagle's *Red Wing: Reflections* (2007) and *More Reflections* (2008), and in Marcy Doyle's *Face of Red Wing* (2008).

Among the many cultural resource reports prepared by and for the City of Red Wing and its Heritage Preservation Commission (HPC) are inventory forms and reports by Carrie J. Conklin (1978-1986), who conducted precedent-setting survey and analysis for the HPC. As Carrie Conklin Becker, she also wrote *The Houses of Red Wing* (1997). Research by local historian Thomas J. Lutz was used in local designation studies and National Register nominations for Red Wing's historic districts in the late 1970s and early 1980s. The Lutz research is archived at the county historical society.

The history of Pierce County, Wisconsin, is summarized in a well-written essay on the website of the Pierce County Historical Association ([www.piercecountyhistorical.org](http://www.piercecountyhistorical.org)), which is based in Ellsworth, as well as in other sources.

### ***Early History***

Red Wing is located on the western bank of the Mississippi River in Goodhue County, just above Lake Pepin. The river valley at Red Wing is more than three miles wide. Steep limestone bluffs rise dramatically on the western bank of the river and then merge into the highlands of driftless prairies beyond. The Mississippi River flows in a wide curve around Red Wing's best known landmark, Barn Bluff, a 350' limestone escarpment. (Barn Bluff was included in the current inventory; see GD-RWC-280.)

The site of Red Wing has been inhabited for centuries. Several thousand people likely lived in the Red Wing area between 900 and 1300 A.D., and a Mdewakanton (or *Mde wakan ed otunwahé*) village of about 300 people was located at Red Wing until the time of intensive Euro-American settlement. The Mdewakanton were pressured to leave Red Wing in 1853. Some Native American families moved to Prairie Island northwest of Red Wing. Their descendants still live on the island among a larger community, the Prairie Island Band of Mdewakanton Dakota.

The first Euro-American settlers at Red Wing were Christian missionaries who arrived in 1837 and 1838. For nearly 20 years a handful of missionaries and fur traders lived next to the Mdewakanton. In 1851, treaties between the Mdewakanton and the U.S. Government opened present-day Goodhue County and the rest of southern Minnesota to Euro-American settlement.

Red Wing was platted in 1853, five years before statehood. The original town comprised roughly 50 blocks, extending from about Franklin Street on the west to Bluff Street on the east, and from

the Mississippi River on the north to about Seventh Street on the south. (Half of the original plat is in the current survey area.) The original plat was unusual for Minnesota because it reserved a central area for public buildings, schools, and churches, much like older cities on the East Coast and in Europe. (This formed the basis of Red Wing's current civic Mall; the Red Wing Mall Historic District is described near the end of this chapter.) Freeborn's Addition closely followed the original plat. It added 12 blocks on the west side of the original 50 blocks and extended the grid of streets west to Cedar Street.

In 1854 the first institution of higher learning in Minnesota Territory opened in Red Wing. Hamline University held classes in a commercial building until 1856 when it occupied its own building on the site of present-day Central Park in the central Mall. In 1869 Hamline relocated to St. Paul.

In 1855 a federal land office opened at Red Wing, one of six in Minnesota Territory. Thousands of immigrants from New England, Sweden, Germany, Denmark, Holland, and Norway landed by steamboat, visited the land office to arrange for homesteads, and headed west to establish new farms and towns. Many of downtown Red Wing's first businesses were started by Yankee or Old Stock Americans who catered to this pioneer trade.

By the time Red Wing formed a city government in 1857, it was already a bustling farm supply and marketing town with a growing central business district and a string of grain warehouses and wharf structures on the riverbank. Over the next three decades, Red Wing played a key role in the development of Minnesota's steamboat lines, grain shipping, railroads, flour milling, manufacturing, and retail services.

Red Wing's population tripled between 1855 to 1860, and then tripled again in the 1860s. Technological advances in wheat milling in the 1860s caused wheat prices to soar and spurred farmers to plant thousands of acres of wheat. In 1873, Goodhue County ranked first in Minnesota in both wheat fields – more than 134,000 acres – and in the wheat harvest – more than 3 million bushels.

As wheat production boomed, Red Wing's grain shipping industry flourished. Before railroads were built, southeastern Minnesota farmers had to haul their grain overland to the river ports of Red Wing, Hastings, and Winona where the grain was shipped south on boats. In 1873, wheat shipments out of Red Wing topped 1.8 million bushels, straining the city's warehouse capacity and reportedly making the Red Wing the largest wheat marketing center in the world.

Red Wing's first railroad, the St. Paul and Chicago, arrived in 1870 (GD-RWC-1371). The railroad through Red Wing was an important one – it served key grain terminals along the Mississippi River and was the second rail line to link the Twin Cities and Chicago. In 1874 the railroad became the Chicago, Milwaukee, and St. Paul. The company built a new passenger depot on Levee Street in 1905 (GD-RWC-106). In 1926 it became the Chicago, Milwaukee, St. Paul, and Pacific (CMSTPP).

In 1882 the Minnesota Central Railroad built tracks from Red Wing to Waterville. The next year the name was changed to the Wisconsin, Minnesota, and Pacific. The line had a small roundhouse at Red Wing. The railroad was operated by the Minneapolis and St. Louis Railway, and in 1899 came under control of the Chicago Great Western. In 1889 another company, the

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Duluth, Red Wing, and Southern, built tracks from Red Wing to Zumbrota. In 1901 this line was also purchased by the Chicago Great Western. In 1906 the Chicago Great Western built a two-story brick depot on Main Street in Red Wing to serve their divisional headquarters (GD-RWC-015).

By the 1870s Red Wing was the fifth-largest city in Minnesota. By the 1890s, however, Red Wing's river traffic had declined and only two packets per week were stopping at Red Wing instead of at least two per day (Angell 1977: 212). The change occurred as a network of railroads, grain elevators, and mills were built in inland areas. This freed southern Minnesota farmers from the expense of hauling their grain to river ports; instead they could ship their product in boxcars. In addition, in the late 1870s the region's wheat yields crashed as the result of decades of monocropping which depleted the soil and invited plant disease and pests. Goodhue County farmers were forced to diversify and began to focus on raising barley and flax, as well as milking cows.

### ***Early Industrial Production***

As river traffic and grain shipping declined, Red Wing's economic base began to broaden and the city became a regional manufacturing center. Nearly all major factories were located along railroad lines. The first industries to develop were lumbering, furniture making, and limestone quarrying. Flour milling and clay manufacture followed, as did the manufacture of leather goods and the production of malt, lime, and linseed oil.

By the mid-1880s, Red Wing was a leading flour milling center. Among the most important were Red Wing Mills at Potter and Levee (razed), La Grange Mills at Plum and Levee (razed), and Simmons Milling, later called Red Wing Milling Company, which was established in 1901 at Potter and Levee (GD-RWC-018).

The city's lumber and woodworking plants included Cogel and Blakely, established in 1857 on the riverbank at Minnesota Street. It later became Charles Betcher's sawmill and sash, door, and blind factory (razed). Betcher also had a sawmill on the riverfront on the eastern side of Cedar Street (razed), and a retail lumberyard at Main and Broad (GD-RWC-1419). Betcher employed dozens of men making lumber, lath, shingles, sash, doors, blinds, hubs, spokes, and bent woodwork. His son, Charles Betcher, Jr., continued the lumber and woodworking business.

Red Wing companies also made furniture and wagons. Red Wing Manufacturing's furniture factory was at the southwestern corner of Bluff and Main (razed). Another company, Red Wing Furniture Company, opened in 1880 at Main and Dakota (razed) and employed 60 men. Wagonmakers included Kappel Wagon Works downtown at 219-221 W. 3rd (GD-RWC-008). The largest wagonmaker was Red Wing Wagon Company, located west of downtown at Main and Jackson Streets (razed).

Stone was a critical construction material in Minnesota from the 1850s until the early 20th century when less-costly poured cement and concrete blocks became available. Several limestone quarries were located on Barn Bluff (GD-RWC-280) and Sorin's Bluff. Numerous companies quarried the stone for building purposes and to burn in kilns to make quick lime, an ingredient in mortar, plaster, and soil amendments. In the late 19th century Red Wing was known as the center of lime production in Minnesota (Johnson 2000: 102).

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Red Wing was also the hub of Minnesota's fired-clay or terra cotta industry for 100 years from the 1860s to the 1960s (Vogel 1994). Red Wing factories made clay and stoneware jugs, crocks, dishes, architectural ornament, drainage tile, sewer pipe, gutters, chimney tops, and bricks. The first local potteries were small enterprises established in the early 1860s. In 1868 Francis and William Philleo started the first architectural terra cotta works west of Chicago. It was later known as Red Wing Terra Cotta Company and was owned by Philander Sprague. (The Sprague House, inventoried at 1008 W. 3rd, GD-RWC-142, is decorated with terra cotta made by the factory.)

Brickmaking in Red Wing began on a small scale in 1855. By the mid-1870s, the city had four large brickyards and Red Wing bricks were shipped statewide. Red Wing Brick Company was one of the leading yards.

The most important of Red Wing's pottery companies, Red Wing Stoneware, was established in 1877 and located at the western end of Main Street (now Old West Main). Competing factories included Minnesota Stoneware (1883) and North Star Stoneware (1892), both located nearby. In the 1890s the three companies, which made similar products, combined sales forces in a joint venture called Union Stoneware. Union Stoneware was reorganized in 1906 as Red Wing Stoneware, and in 1936 became the modern Red Wing Potteries. The pottery closed in 1967 (extant).

The city's two leading sewer pipe manufacturers were Red Wing Sewer Pipe (1891) at Jackson and Main (office extant) and John Rich Sewer Pipe (1892) along Featherstone Road (razed). The two companies merged in 1901, and in 1907 the combined company was employing 250 men.

Red Wing's leather and boot industry is still thriving and is Goodhue County's longest-lived manufacturing sector. The first shoe factory was established in downtown Red Wing in 1861. Finding good-quality leather was a problem until 1872 when the S. B. Foot Tanning Company was founded. The Red Wing Shoe Company was established in 1905 by Charles Beckman and about 20 other local investors. In 1905 the factory opened at Main and Potter (GD-RWC-019). The company steadily expanded, became internationally known after World War II, and continues to be one of Red Wing's largest employers. In 1986 the company bought the century-old S. B. Foot Tannery to ensure an economical supply of leather.

Five breweries were operating in Red Wing by the 1880s. Not only did they employ workers, but the breweries purchased local barley and malt, and made possible companion industries such as barrelmaking. The most important breweries were Hoffman Brewery at Main and Jefferson, which in 1871 became the Christ Brewery (razed), and City Brewery on Bush near Fourth, which in 1873 became Remmeler City Brewery (razed).

By 1901, barley had become Goodhue County's leading cash crop. At the turn of the century, several local malting companies were formed including Ferrin's (1899, razed), Minnesota Malting, which opened in 1900 in the old North Star Pottery (razed), and Red Wing Malting at Broad and Levee (GD-RWC-109), which opened in 1901. According to historian Frederick Johnson, by 1910 the malt business had surpassed that of Red Wing's flour milling industry (Johnson 2000: 158).

### ***Red Wing at Mid-Century***

Red Wing's diverse, homegrown industries helped the community weather the Depression of the 1930s better than many other cities in Minnesota. Although Red Wing lost no major businesses during the Depression, many factories scaled back to a fraction of normal output and family income dropped dramatically.

The Depression of the 1930s saw substantial improvements to public infrastructure through federally-funded Depression-relief programs of the New Deal. A Civilian Conservation Corps (CCC) camp, one of many in southeastern Minnesota, was located on the northeastern side of Barn Bluff. Crews hired under the Works Progress Administration (WPA) and similar programs built new structures at Colvill School at 269 E. 5th (GD-RWC-456), City Hospital at 1166 Oak (GD-RWC-1438), Colvill Park, Soldiers Memorial Park, and Oakwood Cemetery, among other locations. Crews laid sewer lines, poured sidewalks, and paved streets, including Highway 61 between Red Wing and Hastings. The largest work project was the construction of Lock and Dam No. 3 on the Mississippi River just north of Red Wing at Prairie Island. The lock and dam was built as part of the U.S. Army Corps of Engineers' Mississippi River Nine-Foot Navigation Channel (see GD-RWC-1452).

The construction of houses, factories, and commercial buildings stalled during the 1930s and during U.S. involvement in World War II (1941-1945). For five years after the war, new housing demand burgeoned but there was little new construction to replace aging and overcrowded units. Finally, about 1945, Red Wing, like the rest of the country, began to meet the shortage and entered a period of rigorous growth as new housing developments were platted (including Red Wing's Sunnyside Addition) and businesses began to reinvest and expand. The Nine-Foot Channel on the Mississippi, which was completed in the 1940s, revitalized river traffic, which added to the new economic development. (See the Red Wing Harbor and Levee, GD-RWC-1424.) Red Wing and other river cities saw new public and private investment in harbors, wharfs, terminals, warehouses, and factories. At the same time, state and federal highway systems were improved and long-haul trucking became as important to local commerce and industry as rail service had been.

### ***Early Cultural Development***

As Red Wing grew in the late 19th and early 20th centuries, local residents founded or constructed several educational and charitable institutions including the Ursuline Villa Maria Academy (razed), Red Wing Seminary (razed), Lutheran Ladies Seminary (razed), the Minnesota State Training School (extant), St. John's Hospital (razed), and City Hospital at 1166 Oak (GD-RWC-1438). Citizens established parks and formed numerous cultural and civic organizations. Many of Red Wing's major parks and public buildings were built or replaced after 1900 in a renewal effort associated with the City Beautiful Movement. Much of this new construction was located in the survey area. Examples include:

- Broadway Park, now Rich Park, at ca. 506 W. 3rd (GD-RWC-113)
- Levee Park at 432 Levee (GD-RWC-111)
- Chicago, Milwaukee, & St. Paul Depot at 418-420 Levee (GD-RWC-106)
- Red Wing City Hall at 315 W. 4th (GD-RWC-009)
- Sheldon Memorial Auditorium at 443 W. 3rd (GD-RWC-002)

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## PROJECT RESULTS

- U.S. Post Office at 222 West Ave. (GD-RWC-064)
- public acquisition of Barn Bluff (GD-RWC-280)

This collection of resources also included the YMCA at Main and Broad and the Carnegie-Lawther Library on East Avenue, both of which were replaced on the same site. Outside of the survey area, the development of Colvill Park (extant) and improvements to Oakwood Cemetery (extant) were part of the same movement.

### ***Residential Development Within the Survey Area***

The survey area contains a large portion of the residential East End (or East Red Wing), as well as homes on the western side of downtown which form the eastern edge of a large historic neighborhood that developed on the flat river terrace and extends from downtown westward to Featherstone Road and the valley of Hay Creek.

East Red Wing was actually incorporated as a separate village in 1857 but soon merged with Red Wing. Most of its houses were built between the 1870s and 1915, but it contains a few very early and altered houses from the 1850s and 1860s. Among the most intact houses from the late 19th century are the Luft Doublehouse at 519 Bluff (GD-RWC-746) and the Culbertson-Gipfort House at 133 E. 4th (GD-RWC-389). More than 80 houses in East Red Wing, particularly on East Third Street, were moved or demolished in the late 1950s to make way for Highway 61/63, which was realigned from East Seventh Street to the southern slope of Barn Bluff.

The sides and tops of the bluffs south and southwest of downtown were also platted fairly early with choice lots designed to provide expansive views of the Mississippi River Valley. The Institute Addition, platted on College Hill in 1873, for example, was platted with a street called "Lookout Street" near the present-day intersection of Hill and Sixth. Betcher's Addition was platted in 1882 with a two-block-long street called Grandview Avenue. Another addition had streets called Summit and Pleasantview. Despite the distance from downtown and the inconvenience of traversing the bluffs, a number of houses and early institutions – notably the Red Wing Seminary and the Lutheran Ladies Seminary – were built on the blufftops. Large Victorian-era houses included the Williams House, built ca. 1865 at 1160 Oak St. (altered), the Jennison House at 1166 Oak (razed), and large houses near the intersections of Fifth and Buchanan (razed) and Fifth and Harding (razed). In 1898 Red Wing City Hospital was developed in and around the Jennison House (GD-RWC-1438). The Red Wing Ladies Seminary on West Sixth Street burned in 1920 and one property inventoried in the survey, the McCoy-Jorgensen House at 1400 W. 6th, was built a few years later on part of the vacated site (GD-RWC-1408). The Red Wing Seminary on Sixth Street east of Hill Street was demolished after World War II. Two inventoried houses were built on part of its vacated site – the Hedin House, built in 1951 at 725 W. 6th (GD-RWC-1407), and the Miller House, built in 1954 at 521 Hill (GD-RWC-1422).

### ***Historic Preservation***

One of the industries in Red Wing that flourished after World War II, the Red Wing Shoe Company, played a leading role in a historic preservation movement that helped revitalize downtown Red Wing and its tourist industry beginning in the 1970s. Among the leaders of the effort was William D. Sweasy ("Bill, Sr."), who became president of the Red Wing Shoe Company in 1949 and board chairman in 1972. Historian Frederick Johnson explains that Sweasy "had

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## PROJECT RESULTS

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a deep affection for Red Wing. He decided to use the financial resources of the Red Wing Shoe Foundation to reinvigorate the town. In the ensuing two decades he started a breathtaking series of projects that made him, in a town known for its benefactors, Red Wing's greatest philanthropist" (Johnson 2000: 312). Under Sweasy's direction, Red Wing Shoes purchased the aging St. James Hotel at 406 Main (GD-RWC-004) in 1977 and renovated and expanded the hotel, which reopened in 1979. In 1988 the company completed rehabilitation of an entire block of historic downtown commercial buildings in the 300 block of Main Street and moved the company headquarters offices into them (see GD-RWC-302 through GD-RWC-310). More preservation followed as citizens raised money to renovate Sheldon Memorial Auditorium at 443 W. 3rd (GD-RWC-002), which reopened in 1988. Broadway Park (now Rich Park) at ca. 506 3rd (GD-RWC-113) was rehabilitated in 1987-1990. The Milwaukee Road Passenger Depot on Levee Street (GD-RWC-106) was restored in the 1990s, as was nearby Levee Park (GD-RWC-111). At the same time, local property owners repaired and restored dozens of commercial buildings and homes. In addition to these bricks-and-mortar projects, citizens organized the Red Wing Heritage Preservation Commission, lobbied for City-designation of several historic districts, and worked to nominate three historic districts and several individual sites to the National Register of Historic Places.

### ***Trenton Island, Pierce County, Wisconsin***

Across the Mississippi River from Red Wing, at the northern end of the Eisenhower Bridge (Bridge 9040), is Trenton Island or Pucketville in southwestern Pierce County, Wisconsin. The flood-prone island was sparsely populated by small cabins and homes beginning in the 1850s. In 1860 the township (Trenton) had 249 residents. In the late 1860s the island was used for the quarantine of cholera victims. In general, southwestern Pierce County remained lightly populated while most development in the county was concentrated around Prescott, Wisconsin, about 28 miles northwest at the junction of the St. Croix and Mississippi Rivers.

Trenton Island was crossed by a muddy road that was often under water. Red Wing citizens and the City of Red Wing paid for several improvements to the island road, including a series of bridges across its wetlands. Trenton Island and Red Wing were linked by regular ferry service in 1863.

In 1886 the Chicago, Burlington, and Quincy Railroad was built along the eastern bank of the Mississippi enroute between the Twin Cities and Chicago. The village of Hager City, about 2 1/2 miles north of the Mississippi, developed at the intersection of the railroad and present-day Highway 63. Today it remains a small, unincorporated community.

Some residents of Trenton Island supported themselves by fishing, hunting, and/or farming on a very small scale. Others worked in Red Wing. Many were of Scandinavian descent.

The first wagon bridge over the Mississippi's main channel was authorized by Congress in 1871 but was never built. A bridge was finally completed in 1895. It was aligned with Bluff Street in Red Wing and, at the Wisconsin end, had a sharp turn to the west to avoid Trenton Island's Mud Lake (Fig. 2). When the bridge opened on May 1, 1895, there was "an immense celebration" attended by residents of both Red Wing and Wisconsin (Angell 1977: 195). The bridge operated as a toll bridge from 1895-1917. The road on Trenton Island became part of Wisconsin's new trunk highway system and was improved by the State of Wisconsin in 1924.

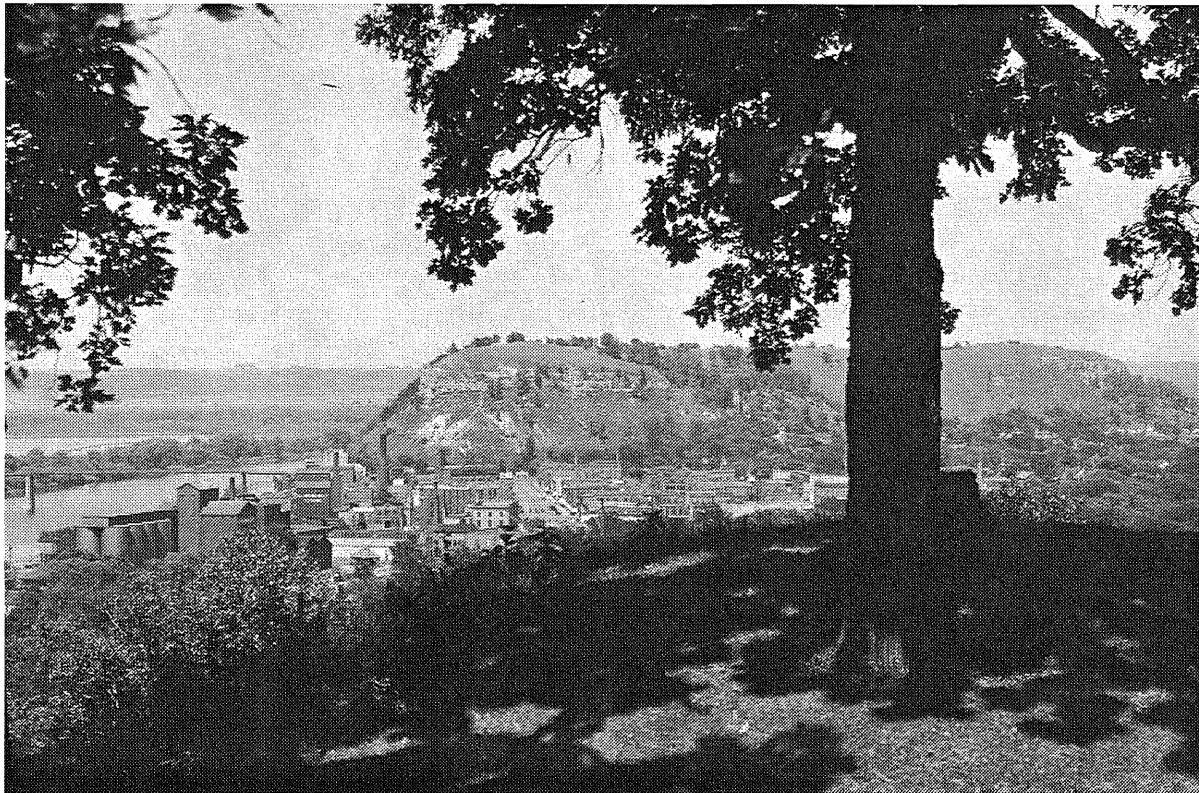
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## PROJECT RESULTS

About a half-dozen saloons and small eating establishments were built along the highway on Trenton Island in the late 19th and early 20th centuries. The island's present-day Harbor Bar and Grill, located at the northern end of Bridge 9040, is a descendant of those businesses, located in a modern structure. For many decades Trenton Island had a rough reputation as a lawless no-man's-land with a house of prostitution, Prohibition bootleggers, boisterous bars, and sometimes-violent crime (Angell 1977: 241; "Harbor Bar"). In 1910 a portion of the island was cleared and a park established there by a group called the Interstate Park Association. A campground was established in the park in 1928 (Irvine 1941: 142). Red Wing's baseball diamond was located on the island at one point. By the 1930s the group of summer cottages on the island was growing and a few people still lived there year-around, although severe flooding was common.

In the 1990s many of Trenton Island's buildings were moved or demolished and its residents relocated in a federal- and state-funded flood-mitigation clearance project. As part of the process, the Red Wing Area Fund purchased more than \$800,000 of riverbank property to preserve natural landscapes across the river from Red Wing. The City of Red Wing now owns 35 acres of this property with a conservation easement to the Minnesota Land Trust.



**Fig. 1.** View of Barn Bluff and the 1895 Mississippi River bridge from City Hospital grounds; ca. 1915, photo by G. E. Flink (Minn Hist Soc) (facing NE)



**Fig. 2.** Red Wing on the Mississippi with Trenton Island (Wisconsin) in the foreground; 1941 (Minn Hist Soc) (facing SE)

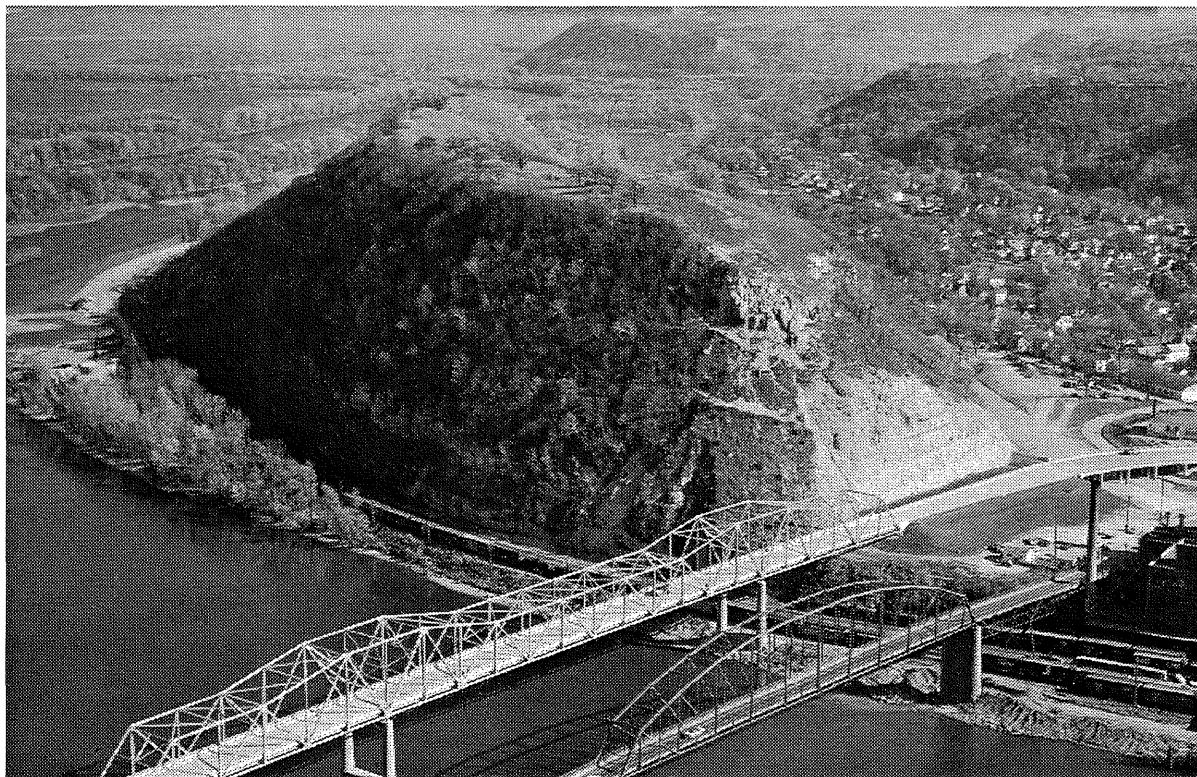


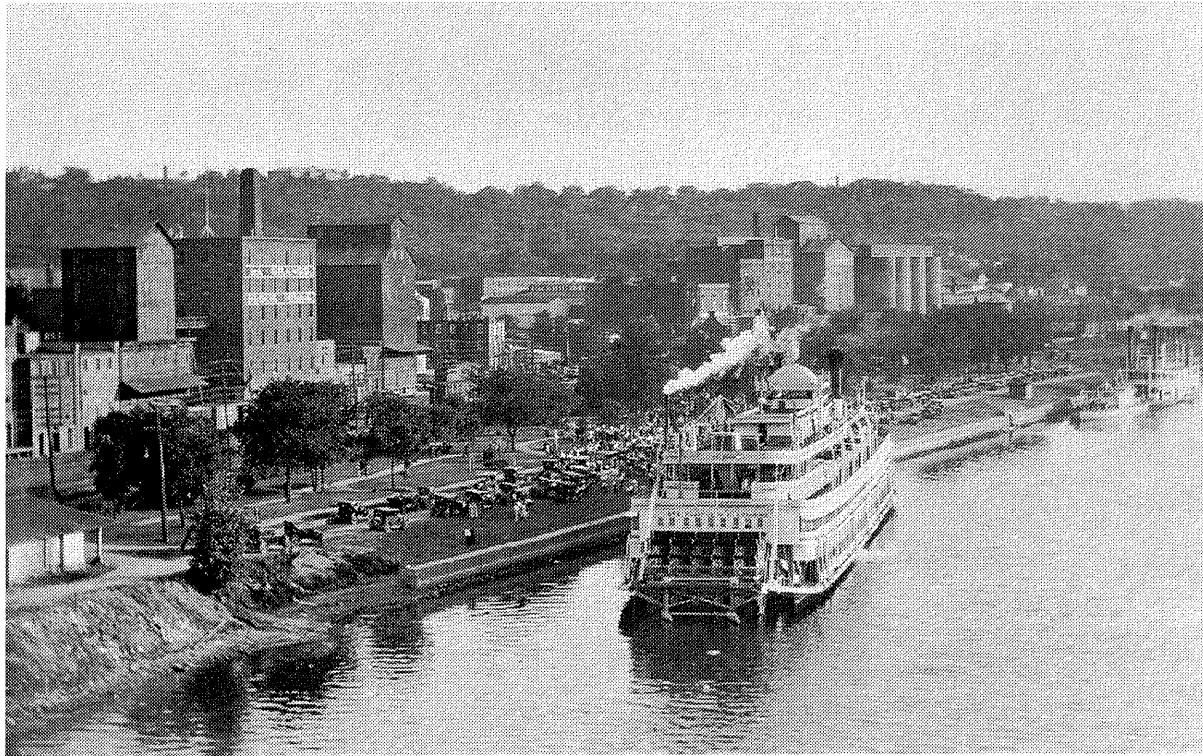
Fig. 3. Newly-completed Bridge 9040 and its 1895 predecessor; note that the western end of Barn Bluff was shaved off for the new bridge approach; October 1960, photo by St. Paul Dispatch (Minn Hist Soc) (facing E)



Fig. 4. Red Wing Harbor and Levee taken from Barn Bluff; ca. 1900 (Minn Hist Soc) (facing W)



Fig. 5. CMSTPP Railroad and Red Wing Harbor and Levee (with straight levee wall or wharf built 1904-1906), taken from Barn Bluff; June 1936, photo by Mpls Star (Minn Hist Soc) (facing W)



**Fig. 6.** Red Wing Harbor and Levee (with levee wall or wharf built 1904-1906); ca. 1930, photo by Kenneth Wright (Minn Hist Soc) (facing SW)



Fig. 7. Downtown Red Wing with three transportation corridors – river, railroad, and highway; ca. 1945, photo by Mpls Star Tribune (Minn Hist Soc) (facing NE)



**Fig. 8.** Downtown Red Wing with curved concrete Bridge 9103 at right, and Bridge 9040 and the 1895 bridge over the river; October 1960, photo by St. Paul Dispatch (Minn Hist Soc) (facing N)

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## PROJECT RESULTS

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### ■ PREVIOUSLY INVENTORIED PROPERTIES

Gemini found that 73 architecture-history properties in the Minnesota portion of the Modified Environmental Site Assessment Investigation Area (MESAIA) had been inventoried in previous cultural resource surveys. During fieldwork Gemini found that 27 of the 73 previously-inventoried properties had been razed. The remaining 46 were included in the Phase I inventory.

In the Wisconsin portion of the MESAIA, one property had been previously recorded in the Wisconsin Architecture and History Inventory. Gemini found that the building had been razed.

Previously-inventoried properties in the MESAIA are listed on the table below.

**Table 1. Previously Inventoried Architecture-History Properties in the MESAIA  
(listed in order by inventory number)**

SHPO Inv #	Address	Name	Included in Inventory?	
<b>Wisconsin</b>				
AHI 24926		Red Wing Rd. N	Town hall	Razed
<b>Minnesota</b>				
GD-RWC-001			Red Wing Mall Historic District (NRHP)	Yes
GD-RWC-002	443	3rd St. W	Sheldon Memorial Auditorium	Yes
GD-RWC-004	406	Main St. W	St. James Hotel Complex	Yes
GD-RWC-005	401	Levee St.	Red Wing Iron Works	Yes
GD-RWC-006	409	Main St. W	Keystone Building	Yes
GD-RWC-007	305-313	Bush St.	Gladstone Building	Yes
GD-RWC-008	219-221	3rd St. W	Kappel Wagon Works	Yes
GD-RWC-009	315	4th St. W	Red Wing City Hall	Yes
GD-RWC-010	325-327	Plum St.	Hotel de Batlo	Yes
GD-RWC-011	116	Plum St.	Polk Insurance Company	Razed
GD-RWC-012	316-318	Bush St.	Berglund's Stone Block-AOUW	Yes
GD-RWC-013	319	3rd St. W	Anderson Building-Daily Eagle	Yes
GD-RWC-015	726	Main St. W	Chicago Great Western Depot	Yes
GD-RWC-018	113	Potter St.	Simmons Milling-Red Wing Milling	Yes
GD-RWC-019	129	Main St. W	Red Wing Shoe Company	Yes
GD-RWC-022			Red Wing Resident. Hist District (NRHP)	Yes
GD-RWC-023	927	3rd St. W	Lawther House	Yes
GD-RWC-026	216	Dakota St.	Hewitt Laboratory	Yes
GD-RWC-046	219	5th St. W	Nelson House	Razed
GD-RWC-061	126	5th St. E	Freeborn House	Razed
GD-RWC-064	222	West Ave.	U.S. Post Office	Yes
GD-RWC-065	617	3rd St. W	Smith House	Yes
GD-RWC-066	607-609	3rd St. W	Smith Duplex	Yes
GD-RWC-067	603	3rd St. W	Cliff's Typewriter Shop	Yes
GD-RWC-068	308-314	West Ave.	Lidberg House	Yes
GD-RWC-069	312	West Ave.	Chalet Studio	Yes

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GD-RWC-070	320	West Ave.	St. Paul's Evang. Lutheran Church	Yes
GD-RWC-081	321	West Ave.	Christ Episcopal Church	Yes
GD-RWC-082	508	4th St. W	Christ Church Parish House	Yes
GD-RWC-090	211	Broadway	Commercial building	Razed
GD-RWC-091	225	East Ave.	Red Wing Public Library	Yes
GD-RWC-093	315	East Ave.	East Avenue Professional Building	Yes
GD-RWC-094	317	East Ave.	Goodhue Co. Abstract Office	Razed
GD-RWC-095	454	4th St. W	Masonic Temple	Yes
GD-RWC-099	506	6th St. W	Washington School	Razed
GD-RWC-105	434	Main St.	YMCA	Razed
GD-RWC-106	418-420	Levee St.	Chic, Milw & St Paul Passenger Depot	Yes
GD-RWC-107	604	Main St. W	Preston's Auto Sales	Yes
GD-RWC-108	116	Broad St.	State Employment Office	Yes
GD-RWC-109	102	Broad St.	Red Wing Malting Company	Yes
GD-RWC-111	432	Levee St.	Levee Park	Yes
GD-RWC-113	ca. 506	3rd St. W	Broadway Park	Yes
GD-RWC-115	702	3rd St. W	Hayes House	Yes
GD-RWC-118	710-712	3rd St. W	Bragg-Olson House	Yes
GD-RWC-119	716	3rd St. W	Kayser and Wettstein House	Razed
GD-RWC-121	718-724	3rd St. W	Ahlers Flats	Yes
GD-RWC-123	726-728	3rd St. W	Worden Flats	Yes
GD-RWC-1371		Soo Line RR	CMSTPP Railroad, Red Wing Segment	Yes
GD-RWC-1373	ca. 416	Levee St.	Chic, Milw & St Paul Pump House	Yes
GD-RWC-1378	ca. 700	5th St. E	Red Wing Water Dept. Pump House 2	Yes
GD-RWC-1380	230	Ikata Dr.	Red Wing Sewage Pumping Station	Yes
GD-RWC-1383	810	Levee Rd.	Burdick Grain Co. Terminal Elevator	Yes
GD-RWC-1384	810	Levee Rd.	CMSTPP RR Spur at Burdick Grain Co.	Yes
GD-RWC-1387	ca. 100	Highway 63	Bridge 9103	Yes
GD-RWC-163	628	4th St. W	Reinhart House	Razed
GD-RWC-271	317	Dakota St.	Worden House	Razed
GD-RWC-309	313-317	Main St.	Ben Franklin Store	Razed
GD-RWC-313	324-328	Main St.	Simmons Block	Razed
GD-RWC-316	330	Main St.	Freeborn-Hoffman Building	Razed
GD-RWC-319	425-429	Main St.	Busch Garage	Razed
GD-RWC-347	216-218	Bush St.	Hickman Hotel	Razed
GD-RWC-348	220	Bush St.	Bixby Block	Razed
GD-RWC-374	315-317	Plum St.	General Services Garage	Razed
GD-RWC-377	319	Plum St.	Miller Hotel	Razed
GD-RWC-410	240	4th St. E	House	Razed
GD-RWC-420	119	5th St. W	House	Razed
GD-RWC-444	234	5th St. E	Jensen House	Razed
GD-RWC-452	257	5th St. E	House	Razed
GD-RWC-460	331	5th St. E	House	Razed
GD-RWC-468	427	5th St. E	House	Razed
GD-RWC-736	321	Bluff St.	Red Wing Gas Light Company	Razed
GD-RWC-741	419	Bluff St.	House	Razed
GD-RWC-775	416	Sanderson St.	House	Razed

**■ PROPERTIES ALREADY LISTED ON THE NATIONAL REGISTER**

Thirteen properties in the MESAIA are listed on the National Register of Historic Places (NRHP). They include both individually-listed sites and historic districts. The properties are listed on the table below. Property locations are shown on Map 4. District boundaries are shown on Map 2. Lists of properties in the NRHP-listed historic districts appear on Tables 6, 7, and 8.

**Table 2. Properties in the MESAIA Listed on the National Register**

SHPO Inv #	Address	Name	
GD-RWC-001			Red Wing Mall Historic District
GD-RWC-022			Red Wing Residential Historic District
GD-RWC-004			St. James Hotel Complex
GD-RWC-280		Barn Bluff	Barn Bluff
GD-RWC-008	219-221	3rd St. W	Kappel Wagon Works
GD-RWC-002	443	3rd St. W	Sheldon Memorial Auditorium
GD-RWC-023	927	3rd St. W	Lawther House
GD-RWC-009	315	4th St. W	Red Wing City Hall
GD-RWC-007	305-313	Bush St.	Gladstone Building
GD-RWC-026	216	Dakota St.	Hevitt Laboratory
GD-RWC-005	401	Levee St.	Red Wing Iron Works
GD-RWC-006	409	Main St. W	Keystone Building
GD-RWC-015	726	Main St. W	Chicago Great Western Depot

**■ PROPERTIES THAT POSTDATE 1970**

Gemini Research encountered 14 properties in the MESAIA that postdate 1970 and were therefore not inventoried as per the Phase I survey research design. It is recommended that these properties are not eligible for the National Register. The properties are listed on the table below.

**Table 3. Properties in the MESAIA That Postdate 1970**

	<b>Address</b>		<b>Name</b>
<b>Wisconsin</b>	N650	825th St.	Island Camping and Marina
	N673	825th St	Harbor Bar and Grill
	N671	825th St	Trenton Island Yacht Club
<b>Minnesota</b>	218	4th St. W	American Legion
	123	5th St. E	House
	255	5th St. E	Apartment building
	515	5th St. E	Bluffview Townhouses
	119-121	5th St. W	Duplex
	428	5th St. W	Red Wing HRA
	307	Dakota St.	Discovery Financial Center
	709	Main St. W	Randy's Fast Food
	727	Main St. W	Freedom Valu Center
	428	Plum St.	Red Wing Fire Station
	411	Potter St.	Runnings Farm and Fleet

## ■ INVENTORIED PROPERTIES

Gemini Research inventoried 291 properties at the Phase I level. All but 13 of the 291 properties are located within the Modified Environmental Site Assessment Investigation Area (MESAIA). (See Survey Selection Strategy in Chapter 2.) The 13 properties not in the MESAIA were inventoried because of possible visual effects.

All but two of the 291 properties are located entirely within the City of Red Wing. Two properties – Bridge 9040 (Eisenhower Bridge; GD-RWC-909) and the Red Wing Segment of the Mississippi River 9' Channel (GD-RWC-1452) are located in both the City of Red Wing and Trenton Township, Pierce County, Wisconsin.

The 291 inventoried properties are listed on the table below, arranged in order by street address. See Appendix A for a list of the properties arranged in order by SHPO Inventory Number. See Map 4 for property locations. A photograph and brief description of each property appears in Chapter 5. (There are additional photos on individual inventory forms.)

**PROJECT RESULTS**

**Table 4. Red Wing Bridge and Route Improvement Project: Phase I Architecture-History Properties  
(listed in order by street address; see Appendix A for properties by SHPO inventory number)**

SHPO Inv #	Address	Historic Name	Other Name	Not Eligible for NRHP	Requires Phase II
GD-RWC-1451		Red Wing Commercial Historic District			Phase II
GD-RWC-001		Red Wing Mall Historic District			Phase II
GD-RWC-022		Red Wing Residential Historic District			Phase II
GD-RWC-280		Barn Bluff	Mount LaGrange		Phase II
GD-RWC-1371	Soo Line RR	CMSTPP RR Corridor Hist Dist, RW Seg	Soo Line Railroad		Phase II
GD-RWC-1452		Mississippi River 9' Channel, RW Seg			Phase II
GD-RWC-1424	Levee Rd.	Red Wing Harbor and Levee			Phase II
GD-RWC-380	135	3rd St. E	Brugge House		Not Eligible
GD-RWC-381	141	3rd St. E	Olson House		Not Eligible
GD-RWC-382	147	3rd St. E	Anderson House		Not Eligible
GD-RWC-1389	153	3rd St. E	House		Not Eligible
GD-RWC-383	157	3rd St. E	Sundell House		Not Eligible
GD-RWC-008	219-221	3rd St. W	Kappel Wagon Works	Knudsen's Cheesecake	Phase II
GD-RWC-1390	223	3rd St. W	Red Wing Creamery Ice Cream Plant		Phase II
GD-RWC-1391	ca. 229	3rd St. W	Mississippi Valley Garden		Phase II
GD-RWC-324	313	3rd St. W	IOOF Hall	Carlson's Sports Center	Phase II
GD-RWC-325	318	3rd St. W	Metro Theater	Malmquist Home Furnishings	Phase II
GD-RWC-013	319	3rd St. W	Anderson Building-Daily Eagle	Tee it Up-Red Wing Appliance	Phase II
GD-RWC-326	320	3rd St. W	Anderson Shoes	Cut Above Home	Phase II
GD-RWC-327	321	3rd St. W	Commercial Building	Body and Soul	Phase II
GD-RWC-328	401-411	3rd St. W	Wilkinson Building	Red Wing Corner Drug	Phase II
GD-RWC-329	410-412	3rd St. W	Union Block	Hanish Bakery (E part)	Phase II
GD-RWC-1392	413	3rd St. W	Sherman Grocery	United Way	Phase II
GD-RWC-331	414-416	3rd St. W	Centennial Block	Patterson Chiro-Hanish Bakery (W part)	Phase II
GD-RWC-330	415-419	3rd St. W	Brink-Hawkins-Luce Block	Shear Perfection-Coffeehouse	Phase II
GD-RWC-332	418	3rd St. W	Ahler Electric	Midwest Vision Center	Phase II
GD-RWC-333	420-430	3rd St. W	Goodhue County Co-op Dept. Store	Cornerstone Community Church	Phase II
GD-RWC-334	425	3rd St. W	Magnussen's Pharmacy	Best of Times Bookstore	Phase II

## PROJECT RESULTS

GD-RWC-335	427	3rd St. W	Commercial Building	Blue Moon	Phase II
GD-RWC-1393	429	3rd St. W	Commercial Building	Creative Clips	Phase II
GD-RWC-337	432-438	3rd St. W	Webster Livery Stable	Kask Electric-Struss Optical	Phase II
GD-RWC-336	433	3rd St. W	Red Wing Printing Company	Republican Eagle Building	Phase II
GD-RWC-002	443	3rd St. W	Sheldon Memorial Auditorium		Phase II
GD-RWC-113	ca. 506	3rd St. W	Broadway Park	Rich, John H., Park	Phase II
GD-RWC-067	603	3rd St. W	Cliff's Typewriter Shop	Farmers Insurance-Chris' Cuts	Phase II
GD-RWC-066	607-609	3rd St. W	Smith Duplex		Phase II
GD-RWC-065	617	3rd St. W	Smith House		Phase II
GD-RWC-115	702	3rd St. W	Hayes House		Phase II
GD-RWC-118	710-712	3rd St. W	Bragg-Olson House		Phase II
GD-RWC-121	718-724	3rd St. W	Ahlers Flats		Phase II
GD-RWC-123	726-728	3rd St. W	Worden Flats		Phase II
GD-RWC-023	927	3rd St. W	Lawther House	Octagon House Bed & Breakfast	Phase II
GD-RWC-142	1008	3rd St. W	Sprague House		Phase II
GD-RWC-149	1104	3rd St. W	Wilkinson House		Phase II
GD-RWC-384	120	4th St. E	Gunderson House		Not Eligible
GD-RWC-385	121	4th St. E	Oskey House		Not Eligible
GD-RWC-386	124	4th St. E	Wilson House		Not Eligible
GD-RWC-387	125	4th St. E	Hubbard House		Not Eligible
GD-RWC-388	130	4th St. E	Johnson House		Not Eligible
GD-RWC-389	133	4th St. E	Culbertson-Gipfort House		Phase II
GD-RWC-390	134	4th St. E	Bordson House		Not Eligible
GD-RWC-391	137	4th St. E	Hendel House		Not Eligible
GD-RWC-392	141	4th St. E	Hanson House		Not Eligible
GD-RWC-393	142	4th St. E	Lund House		Not Eligible
GD-RWC-394	147	4th St. E	Erickson House		Not Eligible
GD-RWC-395	150	4th St. E	Gunderson House		Not Eligible
GD-RWC-396	202	4th St. E	Fogerquist House		Not Eligible
GD-RWC-397	207	4th St. E	House		Not Eligible
GD-RWC-398	213	4th St. E	Sall House		Not Eligible
GD-RWC-399	214	4th St. E	Anderson House		Not Eligible
GD-RWC-400	215	4th St. E	Hult House		Not Eligible

**PROJECT RESULTS**

GD-RWC-401	220	4th St. E	House		Not Eligible	
GD-RWC-402	221-223	4th St. E	House		Not Eligible	
GD-RWC-403	225	4th St. E	Ellingson House		Not Eligible	
GD-RWC-404	227	4th St. E	Erickson House		Not Eligible	
GD-RWC-405	228	4th St. E	Ingebritson House		Not Eligible	
GD-RWC-406	232	4th St. E	Landberg House		Not Eligible	
GD-RWC-407	233	4th St. E	Nelson House		Not Eligible	
GD-RWC-408	236	4th St. E	Swanstrom House		Not Eligible	
GD-RWC-409	239	4th St. E	Seline House		Not Eligible	
GD-RWC-411	243	4th St. E	Nelson House		Not Eligible	
GD-RWC-412	247	4th St. E	Shakespeare House		Not Eligible	
GD-RWC-413	250	4th St. E	Daily House		Not Eligible	
GD-RWC-414	255	4th St. E	House		Not Eligible	
GD-RWC-415	263	4th St. E	Lindell House		Not Eligible	
GD-RWC-416	273	4th St. E	House		Not Eligible	
GD-RWC-417	301	4th St. E	Gulbrandson House		Not Eligible	
GD-RWC-418	309	4th St. E	Eichinger House		Not Eligible	
GD-RWC-338	312	4th St. W	Commercial Building	Walt's Shoe Service		Phase II
GD-RWC-1394	314	4th St. W	Commercial Building	Zibble Insurance		Phase II
GD-RWC-009	315	4th St. W	Red Wing City Hall			Phase II
GD-RWC-339	418	4th St. W	Northwestern Bell Telephone Co.	Qwest		Phase II
GD-RWC-1395	434	4th St. W	Downtown Plaza		Not Eligible	
GD-RWC-095	454	4th St. W	Masonic Temple	Vogel and Gorman Attorneys		Phase II
GD-RWC-082	508	4th St. W	Christ Church Parish House	Wells Memorial Parish House		Phase II
GD-RWC-1397	1527	4th St. W	Featherstone-Sweasy House			Phase II
GD-RWC-1398	1603	4th St. W	Metzler House			Phase II
GD-RWC-1400	1759	4th St. W	Doebler House			Phase II
GD-RWC-1401	1765	4th St. W	Tollison House	Millard House		Phase II
GD-RWC-425	103	5th St. E	Davidson House			Phase II
GD-RWC-426	108	5th St. E	Axelson House		Not Eligible	
GD-RWC-427	112	5th St. E	Anderson House		Not Eligible	
GD-RWC-428	120	5th St. E	House		Not Eligible	
GD-RWC-429	122	5th St. E	House		Not Eligible	

## PROJECT RESULTS

GD-RWC-430	128	5th St. E	House		Not Eligible
GD-RWC-431	201	5th St. E	Johnson House		Not Eligible
GD-RWC-432	202	5th St. E	Hendel House		Not Eligible
GD-RWC-433	205	5th St. E	House		Not Eligible
GD-RWC-434	209	5th St. E	Otis House		Not Eligible
GD-RWC-435	210	5th St. E	Ogilvie House		Not Eligible
GD-RWC-436	214	5th St. E	Lindblom House		Not Eligible
GD-RWC-437	217	5th St. E	House		Not Eligible
GD-RWC-438	218	5th St. E	Hanson House		Not Eligible
GD-RWC-439	221	5th St. E	Malloy House		Not Eligible
GD-RWC-440	222	5th St. E	Reinbold House		Not Eligible
GD-RWC-441	225	5th St. E	Nelson House		Not Eligible
GD-RWC-442	228	5th St. E	Berlin House		Not Eligible
GD-RWC-443	233	5th St. E	Ferrin House		Not Eligible
GD-RWC-445	238	5th St. E	Olson House		Not Eligible
GD-RWC-446	241	5th St. E	Olson House		Not Eligible
GD-RWC-447	242	5th St. E	Rask House		Not Eligible
GD-RWC-448	244	5th St. E	Bergen House		Not Eligible
GD-RWC-449	248	5th St. E	Heinrichs House		Not Eligible
GD-RWC-450	252	5th St. E	House		Not Eligible
GD-RWC-451	256	5th St. E	House		Not Eligible
GD-RWC-453	264	5th St. E	House		Not Eligible
GD-RWC-454	268	5th St. E	House		Not Eligible
GD-RWC-456	269	5th St. E	Colvill School	Colvill School Family Center	Not Eligible
GD-RWC-455	272	5th St. E	House		Not Eligible
GD-RWC-457	304	5th St. E	Anderson House		Phase II
GD-RWC-458	312	5th St. E	House		Not Eligible
GD-RWC-459	326	5th St. E	House		Not Eligible
GD-RWC-461	332	5th St. E	House		Not Eligible
GD-RWC-462	338	5th St. E	House		Not Eligible
GD-RWC-463	342	5th St. E	House		Phase II
GD-RWC-464	402	5th St. E	House		Not Eligible
GD-RWC-465	410	5th St. E	House		Not Eligible

**PROJECT RESULTS**

GD-RWC-466	425	5th St. E	House		Not Eligible	
GD-RWC-467	425.5	5th St. E	House		Not Eligible	
GD-RWC-469	429	5th St. E	House		Not Eligible	
GD-RWC-1378	ca. 700	5th St. E	Red Wing Water Dept. Pump House 2			Phase II
GD-RWC-424	101	5th St. W	Pirius House		Not Eligible	
GD-RWC-423	107	5th St. W	Anderson House		Not Eligible	
GD-RWC-422	111	5th St. W	Anderson House		Not Eligible	
GD-RWC-421	117	5th St. W	Warner House		Not Eligible	
GD-RWC-419	127	5th St. W	House		Not Eligible	
GD-RWC-1402	201	5th St. W	Chinnock House		Not Eligible	
GD-RWC-1403	209	5th St. W	House		Not Eligible	
GD-RWC-1404	303	5th St. W	Office Building	Palmquist Dental	Not Eligible	
GD-RWC-1405	311	5th St. W	House	Body & Soul Massage-Shears Magik	Not Eligible	
GD-RWC-1406	315	5th St. W	Livery	Sign Worx	Not Eligible	
GD-RWC-1407	725	6th St. W	Hedin House			Phase II
GD-RWC-1408	1400	6th St. W	McCoy-Jorgensen House	Blue House		Phase II
GD-RWC-795	407	Arkin St.	House		Not Eligible	
GD-RWC-796	415	Arkin St.	House		Not Eligible	
GD-RWC-797	419	Arkin St.	House		Not Eligible	
GD-RWC-1410	233	Bluff St.	Light Industrial Building	Laune's Alignment	Not Eligible	
GD-RWC-1411	312	Bluff St.	Automobile Service Garage		Not Eligible	
GD-RWC-735	320	Bluff St.	Pratt Bottling Works	Viking Coca Cola Bottling	Not Eligible	
GD-RWC-1412	321	Bluff St.	Warehouse	City of Red Wing Parks Building	Not Eligible	
GD-RWC-737	403	Bluff St.	Sexton House		Not Eligible	
GD-RWC-738	409	Bluff St.	Anderson House		Not Eligible	
GD-RWC-739	413	Bluff St.	House			Phase II
GD-RWC-740	415	Bluff St.	Johnson House		Not Eligible	
GD-RWC-742	423	Bluff St.	Erickson House		Not Eligible	
GD-RWC-743	433	Bluff St.	Carlson House		Not Eligible	
GD-RWC-744	513	Bluff St.	Chellson House		Not Eligible	
GD-RWC-746	519	Bluff St.	Luft Doublehouse			Phase II
GD-RWC-109	102	Broad St.	Red Wing Malting Company	Fleischmann Malting Company		Phase II
GD-RWC-108	116	Broad St.	State Employment Office	Royal Crown Dental Studio		Phase II

## PROJECT RESULTS

GD-RWC-912	112	Bush St.	Riedell Shoes Inc.	Art Reach		Phase II
GD-RWC-340	202	Bush St.	Lawther Block	Uffda Shop (N pt)-Townhouse Condos		Phase II
GD-RWC-341	204-208	Bush St.	Lawther Block Addition	Uffda Shop (S pt)-Christian Books		Phase II
GD-RWC-342	207-209	Bush St.	Lawther Block	Wise Penny		Phase II
GD-RWC-343	210	Bush St.	Smith Block	Subhouse		Phase II
GD-RWC-344	211-213	Bush St.	Lawther Block	Life's Little Oasis		Phase II
GD-RWC-345	212	Bush St.	Wallower Block	Great Dragon Buffet		Phase II
GD-RWC-346	215-221	Bush St.	Busch Block	Josephsons-Staghead-Bev's Cafe		Phase II
GD-RWC-1413	216-224	Bush St.	Goodhue Co. National Bank Annex	Associated Bank Annex		Phase II
GD-RWC-350	223	Bush St.	Hoffman Block	Claydon's Hallmark Shop (N part)		Phase II
GD-RWC-351	225-227	Bush St.	Smith-Masonic Block	Claydon's Hallmark Shop (S part)		Phase II
GD-RWC-349	226-228	Bush St.	Goodhue County National Bank	Associated Bank		Phase II
GD-RWC-352	301-303	Bush St.	Lawther Post Office Block	Howe's Jewelers-Hana No'eau		Phase II
GD-RWC-007	305-313	Bush St.	Gladstone Building	RW Arts-Apropos Home-Clothes Horse		Phase II
GD-RWC-354	310-314	Bush St.	The Casino	Thunder Clan Trading Post		Phase II
GD-RWC-355	315-317	Bush St.	McCart Livery Stable	Hallstroms		Phase II
GD-RWC-012	316-318	Bush St.	Berglund's Stone Block-AOUW	Kiki's Simple Abundance-Body Kneads		Phase II
GD-RWC-1414	319-321	Bush St.	Becker Grocery	Aliveo Military Museum		Phase II
GD-RWC-356	320	Bush St.	Dunham Beauty Shop	Lori's New York Fashions		Phase II
GD-RWC-357	325	Bush St.	Chief Theater	Blue Duck		Phase II
GD-RWC-359	327	Bush St.	Swanson Short Order Restaurant	River City Dental		Phase II
GD-RWC-358	328	Bush St.	Edbлом Conoco Station	Gernentz Auto Service		Phase II
GD-RWC-1415	404	Bush St.	Goodhue Co. Nat'l Bank Auto Bank	Associated Bank Auto Bank	Not Eligible	
GD-RWC-1416	410	Bush St.	Supermarket	Koplin's Village Market	Not Eligible	
GD-RWC-1417	419	Bush St.	Medical Block Clinic	Red Wing Community Development Office		Phase II
GD-RWC-1418	503	Bush St.	Marigold Dairies	Hair Associates-Midwest Bonding	Not Eligible	
GD-RWC-798	501	Centennial St.	Nyquist House		Not Eligible	
GD-RWC-799	502	Centennial St.	Sell House		Not Eligible	
GD-RWC-1419	115	Dakota St.	Betcher Lumberyard Office	Central Lumber Company Office	Not Eligible	
GD-RWC-026	216	Dakota St.	Hewitt Laboratory			Phase II
GD-RWC-1420	ca. 215	East Ave.	Studebaker Park Parking Ramp			Phase II
GD-RWC-091	225	East Ave.	Red Wing Public Library			Phase II
GD-RWC-093	315	East Ave.	East Avenue Professional Building	Bergan Dental		Phase II

## PROJECT RESULTS

GD-RWC-1421	209	Fulton St.	Warehouse		Not Eligible	
GD-RWC-1454	1917	Grandview Ave.	Olson House			Phase II
GD-RWC-787	407	Green St.	House		Not Eligible	
GD-RWC-788	410	Green St.	House		Not Eligible	
GD-RWC-789	413	Green St.	Kjellstrom House		Not Eligible	
GD-RWC-790	414	Green St.	Anderson House		Not Eligible	
GD-RWC-791	417	Green St.	House		Not Eligible	
GD-RWC-1448		Highway 61	Highway 61, Red Wing Segment			Phase II
GD-RWC-1453	ca. 500	Highway 61	Bridge 9449			Phase II
GD-RWC-909	ca. 10	Highway 63	Bridge 9040 (Hiawatha Bridge)	Hiawatha Bridge	Not Eligible	
GD-RWC-1387	ca. 100	Highway 63	Bridge 9103			Phase II
GD-RWC-1422	521	Hill St.	Miller House	Wilson-Ryan House		Phase II
GD-RWC-1380	230	Ikata Dr.	Red Wing Sewage Pumping Station			Phase II
GD-RWC-1384	810	Levee Rd.	CMSTPP RR Spur at Burdick Grain Co.	Railroad Spur at Red Wing Grain		Phase II
GD-RWC-1383	810	Levee Rd.	Burdick Grain Co. Terminal Elevator	Red Wing Grain Company		Phase II
GD-RWC-281	ca. 1300	Levee Rd.	Red Wing Yacht Club			Phase II
GD-RWC-005	401	Levee St.	Red Wing Iron Works			Phase II
GD-RWC-1373	ca. 416	Levee St.	Chic, Milw & St Paul Pump House			Phase II
GD-RWC-106	418-420	Levee St.	Chic, Milw & St Paul Passenger Depot	Amtrak Depot-Visitors Bureau		Phase II
GD-RWC-111	432	Levee St.	Levee Park			Phase II
GD-RWC-019	129	Main St. W	Red Wing Shoe Company			Phase II
GD-RWC-1425	ca. 205	Main St. W	Behren's Supply Co. Annex			Phase II
GD-RWC-299	207-217	Main St. W	Red Wing Creamery	Behren's Supply Company		Phase II
GD-RWC-300	223	Main St. W	Kempe Block	Barrel House		Phase II
GD-RWC-301	301	Main St. W	Sterling's Brick Block	Ferrin's Furniture (NE part)		Phase II
GD-RWC-302	302-306	Main St. W	Buchholz-Hadler-Moeller Block	Riverfront Center-Red Wing Shoe Co. HQ		Phase II
GD-RWC-303	303	Main St. W	Sparrell's Block	Ferrin's Furniture (N part)		Phase II
GD-RWC-304	305	Main St. W	Sterling and Co. (W part)	Ferrin's Furniture (NW part)		Phase II
GD-RWC-305	307-311	Main St. W	J. C. Penney Company	Sarah's Restaurant		Phase II
GD-RWC-306	308	Main St. W	Day Block	Riverfront Center-Red Wing Shoe Co. HQ		Phase II
GD-RWC-307	310	Main St. W	Betcher Block	Riverfront Center-Red Wing Shoe Co. HQ		Phase II
GD-RWC-308	312-316	Main St. W	Wilson-Baker Block	Riverfront Center-Red Wing Shoe Co. HQ		Phase II
GD-RWC-1426	315	Main St. W	Red Wing Shoe Co. Store-Museum			Phase II

## PROJECT RESULTS

GD-RWC-310	318-322	Main St. W	Simmons-Swanson Block	Riverfront Center-Red Wing Shoe Co. HQ		Phase II
GD-RWC-311	319-321	Main St. W	Smith-McDonald Block	Inspired Home & Flower-Excell Financia I		Phase II
GD-RWC-312	323	Main St. W	Towne Block	Red Wing Confectionery		Phase II
GD-RWC-314	325-327	Main St. W	Lawther Block	Confluence Marketing-Indigo Salon		Phase II
GD-RWC-1427	328	Main St. W	LaGrange Park & Parking Ramp		Not Eligible	
GD-RWC-315	329	Main St. W	Clark and Hawley Block	Moments on Main		Phase II
GD-RWC-004	406	Main St. W	St. James Hotel Complex			Phase II
GD-RWC-006	409	Main St. W	Keystone Building	DeLeon Jewelers		Phase II
GD-RWC-1428	412	Main St. W	Medical Block Clinic	St. James Hotel Shops		Phase II
GD-RWC-317	413-423	Main St. W	Boxrud Brothers Block	Riverbend Market-Bella Casa Interiors		Phase II
GD-RWC-1429	416	Main St. W	Northern States Power	St. James Hotel Shops		Phase II
GD-RWC-318	420-426	Main St. W	Pioneer Garage	Johnson Tire Service		Phase II
GD-RWC-320	433-435	Main St. W	Phelps Block	Brickhouse Pub and Grill		Phase II
GD-RWC-1430	434	Main St. W	Young Men's Christian Association			Phase II
GD-RWC-321	437-439	Main St. W	Cogel-Betcher Block	Red Wing Chamber of Commerce		Phase II
GD-RWC-107	604	Main St. W	Preston's Auto Sales	Taco Johns		Phase II
GD-RWC-1431	610	Main St. W	Lawrence Realty & Construction		Not Eligible	
GD-RWC-1432	620	Main St. W	Lawrence-Bohmbach Insurance		Not Eligible	
GD-RWC-1433	621	Main St. W	Econo Foods			Phase II
GD-RWC-015	726	Main St. W	Chicago Great Western Depot	Caribou Coffee		Phase II
GD-RWC-1436	526	Minnesota St.	Mossberg House			Phase II
GD-RWC-1438	1166	Oak St.	RW City Hospital & Home	Goodhue County Historical Society		Phase II
GD-RWC-360	201-207	Plum St.	Lawther-Park Block	Travel Leaders-Sonus Hearing Care		Phase II
GD-RWC-361	210	Plum St.	Globe Electric Light Company	Ferrin's Furniture (S part)		Phase II
GD-RWC-362	212	Plum St.	Sterling Block	Ferrin's Furniture (S part)		Phase II
GD-RWC-363	213	Plum St.	Little Green Front Restaurant	5 de Mayo		Phase II
GD-RWC-364	214	Plum St.	Linne Building	Ferrin's Furniture (S part)		Phase II
GD-RWC-365	217-221	Plum St.	National Guard Armory-Masonic Hall	Armory Mall		Phase II
GD-RWC-366	302	Plum St.	Greenwood Block	Liberty's Restaurant (N part)		Phase II
GD-RWC-368	303	Plum St.	Lyons Brick Block			Phase II
GD-RWC-367	304	Plum St.	Lindberg Block	Liberty's Restaurant (middle part)		Phase II
GD-RWC-369	306-308	Plum St.	Boston Block	Liberty's Restaurant (S part)		Phase II
GD-RWC-370	307	Plum St.	Red Wing Creamery	Red Men Club of Red Wing		Phase II

**PROJECT RESULTS**

GD-RWC-371	309-313	Plum St.	Clum Block	Metro Apartments		Phase II
GD-RWC-372	310	Plum St.	Smith Harness Shop	Roxx Bar and Grill		Phase II
GD-RWC-373	312-314	Plum St.	White Front Clothing Store	B.S. Bar		Phase II
GD-RWC-375	316	Plum St.	Winters Building			Phase II
GD-RWC-376	318	Plum St.	Peterson Meat Market	Sorenson Financial		Phase II
GD-RWC-378	320-324	Plum St.	Salvation Army	Elks Lodge 845 (N part)		Phase II
GD-RWC-010	325-327	Plum St.	Hotel de Batlo	Eagle House Apts-New Life Church		Phase II
GD-RWC-379	326-330	Plum St.	Becker Grocery	Elks Lodge 845 (S part)		Phase II
GD-RWC-1439	401	Plum St.	First National Bank of Red Wing	Wells Fargo Bank		Phase II
GD-RWC-1440	425	Plum St.	Kohn Grocery	Red Wing Laundry & Cleaners		Phase II
GD-RWC-1441	501	Plum St.	Usem Furniture	Salvation Army (N part)	Not Eligible	
GD-RWC-1442	511	Plum St.	Bernie's Tire Shop	Salvation Army (S part)	Not Eligible	
GD-RWC-1443	512	Plum St.	Kruger Garage	AI's Antique Mall (N part)	Not Eligible	
GD-RWC-1444	514	Plum St.	Livery	AI's Antique Mall (S part)	Not Eligible	
GD-RWC-018	113	Potter St.	Simmons Milling-Red Wing Milling	Archer Daniels Midland (ADM)	Not Eligible	
GD-RWC-1450	116	Potter St.	Red Wing Linseed Mills	Archer Daniels Midland (ADM) (NE part)	Not Eligible	
GD-RWC-1445	301	Potter St.	Behren's Machine Service		Not Eligible	
GD-RWC-1446	321	Potter St.	Light Industrial Building	A-1 Commercial Cleaning-Annadee's	Not Eligible	
GD-RWC-1447	510	Potter St.	House		Not Eligible	
GD-RWC-711	511	Potter St.	House		Not Eligible	
GD-RWC-768	304	Sanderson St.	House		Not Eligible	
GD-RWC-769	308	Sanderson St.	House		Not Eligible	
GD-RWC-770	309	Sanderson St.	Remshardt House		Not Eligible	
GD-RWC-771	310	Sanderson St.	Erickson House		Not Eligible	
GD-RWC-772	315	Sanderson St.	Arntson House		Not Eligible	
GD-RWC-773	318	Sanderson St.	Olson House		Not Eligible	
GD-RWC-774	412	Sanderson St.	House		Not Eligible	
GD-RWC-064	222	West Ave.	U.S. Post Office			Phase II
GD-RWC-068	308-314	West Ave.	Lidberg House			Phase II
GD-RWC-069	312	West Ave.	Chalet Studio	Red Wing Framing		Phase II
GD-RWC-070	320	West Ave.	St. Paul's Evang. Lutheran Church			Phase II
GD-RWC-081	321	West Ave.	Christ Episcopal Church			Phase II

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## PROJECT RESULTS

### ■ RECOMMENDED PHASE II PROPERTIES

Gemini Research recommends that 158 of the 291 inventoried properties be considered Phase II properties. Phase II properties merit or require further investigation to assess their National Register eligibility and, if found to be National Register-eligible, require an assessment of possible effects from the proposed undertaking.

*It is recommended that the remaining 133 inventoried properties are not eligible for the National Register.*

Many of the Phase II properties are already listed on the National Register of Historic Places (NRHP) or are located within a National Register-listed or -eligible historic district. It is recommended that 28 of the 158 Phase II properties require further research to determine or clarify National Register eligibility. (See Table 5 below.)

The Phase II properties can be divided into the following categories. (Some properties fall into more than one category.)

# of Phase II Properties	
13	Already listed on the NRHP
29	In NRHP-listed Red Wing Mall Historic District
08	In NRHP-listed Red Wing Residential Historic District
04	In NRHP-listed St. James Hotel Complex
87	In NRHP-eligible Red Wing Commercial Historic District
03	In NRHP-eligible CMSTPP RR Corridor Historic District
03	Already determined eligible for the NRHP by the MnSHPO
28	Merit or require more information to determine NRHP eligibility

The Phase II properties are listed on the table below, arranged in order by street address. The columns on the right indicate whether the property is already listed on the National Register, whether it is in a historic district, or whether more information is needed. Property locations are shown on Map 4.

## PROJECT RESULTS

**Table 5. Red Wing Bridge and Route Improvement Project: Phase II Architecture-History Properties  
(listed in order by street address)**

SHPO Inv #	Address	Historic Name	NRHP Eligible or Listed Site	NRHP Eligible or Listed District		HPC District	
				Name	Contrib Noncontrib		
GD-RWC-1451		Red Wing Commercial Historic District	Eligible				
GD-RWC-001		Red Wing Mall Historic District (NRHP)	Listed				
GD-RWC-022		Red Wing Residential Historic District (NRHP)	Listed				
GD-RWC-280		Barn Bluff	Listed				
GD-RWC-1371	Soo Line RR	CMSTPP RR Corridor Hist Dist, Red Wing Seg	Eligible	Mall	C	Mall	
GD-RWC-1452		Mississippi River 9' Channel, R W Seg	Need More Info	Mall	NC	Mall	
GD-RWC-1424	Levee Rd.	Red Wing Harbor and Levee	Need More Info	Mall	C	Mall	
GD-RWC-008	219-221	3rd St. W	Kappel Wagon Works	Listed	Downtown	C	Downtown
GD-RWC-1390	223	3rd St. W	Red Wing Creamery Ice Cream Plant		Downtown	C	Downtown
GD-RWC-1391	ca. 229	3rd St. W	Mississippi Valley Garden		Downtown	NC	Downtown
GD-RWC-324	313	3rd St. W	IOOF Hall		Downtown	C	Downtown
GD-RWC-325	318	3rd St. W	Metro Theater		Downtown	NC	Downtown
GD-RWC-013	319	3rd St. W	Anderson Building-Daily Eagle		Downtown	C	Downtown
GD-RWC-326	320	3rd St. W	Anderson Shoes		Downtown	NC	Downtown
GD-RWC-327	321	3rd St. W	Commercial Building		Downtown	NC	Downtown
GD-RWC-328	401-411	3rd St. W	Wilkinson Building		Downtown	C	Downtown
GD-RWC-329	410-412	3rd St. W	Union Block		Downtown	C	Downtown
GD-RWC-1392	413	3rd St. W	Sherman Grocery		Downtown	C	Downtown
GD-RWC-331	414-416	3rd St. W	Centennial Block		Downtown	C	Downtown
GD-RWC-330	415-419	3rd St. W	Brink-Hawkins-Luce Block		Downtown	C	Downtown
GD-RWC-332	418	3rd St. W	Ahler Electric		Downtown	C	Downtown
GD-RWC-333	420-430	3rd St. W	Goodhue County Co-op Dept. Store		Downtown	C	Downtown

## PROJECT RESULTS

GD-RWC-334	425	3rd St. W	Magnussen's Pharmacy		Downtown	C	Downtown
GD-RWC-335	427	3rd St. W	Commercial Building		Downtown	NC	Downtown
GD-RWC-1393	429	3rd St. W	Commercial Building		Downtown	NC	Downtown
GD-RWC-337	432-438	3rd St. W	Webster Livery Stable		Downtown	C	Downtown
GD-RWC-336	433	3rd St. W	Red Wing Printing Company		Downtown	C	Downtown
GD-RWC-002	443	3rd St. W	Sheldon Memorial Auditorium	Listed	Mall	C	Mall
GD-RWC-113	ca. 506	3rd St. W	Broadway Park		Mall	C	Mall
GD-RWC-067	603	3rd St. W	Cliff's Typewriter Shop		Mall	C	Mall
GD-RWC-066	607-609	3rd St. W	Smith Duplex		Mall	C	West Residen
GD-RWC-065	617	3rd St. W	Smith House		Mall	C	West Residen
GD-RWC-115	702	3rd St. W	Hayes House		Residential	C	West Residen
GD-RWC-118	710-712	3rd St. W	Bragg-Olson House		Residential	NC	West Residen
GD-RWC-121	718-724	3rd St. W	Ahlers Flats		Residential	C	West Residen
GD-RWC-123	726-728	3rd St. W	Worden Flats		Residential	C	West Residen
GD-RWC-023	927	3rd St. W	Lawther House	Listed	Residential	C	West Residen
GD-RWC-142	1008	3rd St. W	Sprague House		Residential	C	West Residen
GD-RWC-149	1104	3rd St. W	Wilkinson House		Residential	C	West Residen
GD-RWC-389	133	4th St. E	Cubertson-Gipfort House	Need More Info			
GD-RWC-338	312	4th St. W	Commercial Building		Downtown	NC	Downtown
GD-RWC-1394	314	4th St. W	Commercial Building		Downtown	NC	Downtown
GD-RWC-009	315	4th St. W	Red Wing City Hall	Listed	Downtown	C	Downtown
GD-RWC-339	418	4th St. W	Northwestern Bell Telephone Co.		Downtown	NC	Downtown
GD-RWC-095	454	4th St. W	Masonic Temple		Mall	C	Mall
GD-RWC-082	508	4th St. W	Christ Church Parish House		Mall	C	Mall
GD-RWC-1397	1527	4th St. W	Featherstone-Sweasy House	Need More Info			
GD-RWC-1398	1603	4th St. W	Metzler House	Need More Info			
GD-RWC-1400	1759	4th St. W	Doebler House	Need More Info			
GD-RWC-1401	1765	4th St. W	Tollison House	Need More Info			
GD-RWC-425	103	5th St. E	Davidson House	Need More Info			
GD-RWC-457	304	5th St. E	Anderson House	Need More Info			
GD-RWC-463	342	5th St. E	House	Need More Info			
GD-RWC-1378	ca. 700	5th St. E	Red Wing Water Dept. Pump House 2	Need More Info			
GD-RWC-1407	725	6th St. W	Hedin House	Need More Info			

**PROJECT RESULTS**

GD-RWC-1408	1400	6th St. W	McCoy-Jorgensen House	Need More Info			
GD-RWC-739	413	Bluff St.	House	Need More Info			
GD-RWC-746	519	Bluff St.	Luft Doublehouse	Need More Info			
GD-RWC-109	102	Broad St.	Red Wing Malting Company		Mall	C	Mall
GD-RWC-108	116	Broad St.	State Employment Office		Mall	NC	Mall
GD-RWC-912	112	Bush St.	Riedell Shoes Inc.		St. James	NC	St. James
GD-RWC-340	202	Bush St.	Lawther Block		Downtown	C	Downtown
GD-RWC-341	204-208	Bush St.	Lawther Block Addition		Downtown	C	Downtown
GD-RWC-342	207-209	Bush St.	Lawther Block		Downtown	C	Downtown
GD-RWC-343	210	Bush St.	Smith Block		Downtown	C	Downtown
GD-RWC-344	211-213	Bush St.	Lawther Block		Downtown	C	Downtown
GD-RWC-345	212	Bush St.	Wallower Block		Downtown	C	Downtown
GD-RWC-346	215-221	Bush St.	Busch Block		Downtown	C	Downtown
GD-RWC-1413	216-224	Bush St.	Goodhue Co. National Bank Annex		Downtown	NC	Downtown
GD-RWC-350	223	Bush St.	Hoffman Block		Downtown	C	Downtown
GD-RWC-351	225-227	Bush St.	Smith-Masonic Block		Downtown	C	Downtown
GD-RWC-349	226-228	Bush St.	Goodhue County National Bank		Downtown	C	Downtown
GD-RWC-352	301-303	Bush St.	Lawther Post Office Block		Downtown	C	Downtown
GD-RWC-007	305-313	Bush St.	Gladstone Building	Listed	Downtown	C	Downtown
GD-RWC-354	310-314	Bush St.	The Casino		Downtown	C	Downtown
GD-RWC-355	315-317	Bush St.	McCart Livery Stable		Downtown	C	Downtown
GD-RWC-012	316-318	Bush St.	Berglund's Stone Block-AOUW		Downtown	C	Downtown
GD-RWC-1414	319-321	Bush St.	Becker Grocery		Downtown	C	Downtown
GD-RWC-356	320	Bush St.	Dunham Beauty Shop		Downtown	C	Downtown
GD-RWC-357	325	Bush St.	Chief Theater		Downtown	NC	Downtown
GD-RWC-359	327	Bush St.	Swanson Short Order Restaurant		Downtown	NC	Downtown
GD-RWC-358	328	Bush St.	Edblor Conoco Station		Downtown	C	Downtown
GD-RWC-1417	419	Bush St.	Medical Block Clinic	Need More Info			
GD-RWC-026	216	Dakota St.	Hewitt Laboratory	Listed	Residential	C	West Residen
GD-RWC-1420	ca. 215	East Ave.	Studebaker Park Parking Ramp		Mall, Downtown	NC, NC	Mall, Downtown
GD-RWC-091	225	East Ave.	Red Wing Public Library		Mall	NC	Mall
GD-RWC-093	315	East Ave.	East Avenue Professional Building		Mall	NC	Mall

## PROJECT RESULTS

GD-RWC-1454	1917	Grandview Ave.	Olson House	Need More Info			
GD-RWC-1448		Highway 61	Highway 61, Red Wing Segment	Need More Info	Downtown, Mall	C, C	Mall, Downtown
GD-RWC-1453	ca. 500	Highway 61	Bridge 9449	Need More Info			
GD-RWC-1387	ca. 100	Highway 63	Bridge 9103	Eligible			
GD-RWC-1422	521	Hill St.	Miller House	Need More Info			
GD-RWC-1380	230	Ikata Dr.	Red Wing Sewage Pumping Station		Mall	NC	Mall
GD-RWC-1384	810	Levee Rd.	CMSTPP RR Spur at Burdick Grain Co.	Need More Info			
GD-RWC-1383	810	Levee Rd.	Burdick Grain Co. Terminal Elevator	Need More Info			
GD-RWC-281	ca. 1300	Levee Rd.	Red Wing Yacht Club	Need More Info			
GD-RWC-005	401	Levee St.	Red Wing Iron Works	Listed			St. James
GD-RWC-1373	ca. 416	Levee St.	Chic, Milw & St Paul Pump House		CMSTPP RR, Mall	C, C	Mall
GD-RWC-106	418-420	Levee St.	Chic, Milw & St Paul Passenger Depot		CMSTPP RR, Mall	C, C	Mall
GD-RWC-111	432	Levee St.	Levee Park		Mall	C	Mall
GD-RWC-019	129	Main St. W	Red Wing Shoe Company	Need More Info			
GD-RWC-1425	ca. 205	Main St. W	Behren's Supply Co. Annex		Downtown	NC	Downtown
GD-RWC-299	207-217	Main St. W	Red Wing Creamery		Downtown	C	Downtown
GD-RWC-300	223	Main St. W	Kempe Block		Downtown	C	Downtown
GD-RWC-301	301	Main St. W	Sterling's Brick Block		Downtown	NC	Downtown
GD-RWC-302	302-306	Main St. W	Buchholz-Hadler-Moeller Block		Downtown	C	Downtown
GD-RWC-303	303	Main St. W	Sparrell's Block		Downtown	NC	Downtown
GD-RWC-304	305	Main St. W	Sterling and Co. (W part)		Downtown	NC	Downtown
GD-RWC-305	307-311	Main St. W	J. C. Penney Company		Downtown	NC	Downtown
GD-RWC-306	308	Main St. W	Day Block		Downtown	C	Downtown
GD-RWC-307	310	Main St. W	Betcher Block		Downtown	C	Downtown
GD-RWC-308	312-316	Main St. W	Wilson-Baker Block		Downtown	C	Downtown
GD-RWC-1426	315	Main St. W	Red Wing Shoe Co. Store-Museum		Downtown	NC	Downtown
GD-RWC-310	318-322	Main St. W	Simmons-Swanson Block		Downtown	C	Downtown
GD-RWC-311	319-321	Main St. W	Smith-McDonald Block		Downtown	C	Downtown
GD-RWC-312	323	Main St. W	Towne Block		Downtown	C	Downtown
GD-RWC-314	325-327	Main St. W	Lawther Block		Downtown	C	Downtown

**PROJECT RESULTS**

GD-RWC-315	329	Main St. W	Clark and Hawley Block		Downtown	C	Downtown
GD-RWC-004	406	Main St. W	St. James Hotel Complex	Listed	Downtown	C	St. James
GD-RWC-006	409	Main St. W	Keystone Building	Listed	Downtown	C	Downtown
GD-RWC-1428	412	Main St. W	Medical Block Clinic		St. James	C	St. James
GD-RWC-317	413-423	Main St. W	Boxrud Brothers Block		Downtown	C	Downtown
GD-RWC-1429	416	Main St. W	Northern States Power		St. James	C	St. James
GD-RWC-318	420-426	Main St. W	Pioneer Garage		Downtown	C	Downtown
GD-RWC-320	433-435	Main St. W	Phelps Block		Downtown	C	Downtown
GD-RWC-1430	434	Main St. W	Young Men's Christian Association		Mall	NC	Mall
GD-RWC-321	437-439	Main St. W	Cogel-Betcher Block		Mall	C	Mall
GD-RWC-107	604	Main St. W	Preston's Auto Sales		Mall	NC	Mall
GD-RWC-1433	621	Main St. W	Econo Foods		Mall	NC	Mall
GD-RWC-015	726	Main St. W	Chicago Great Western Depot	Listed			
GD-RWC-1436	526	Minnesota St.	Mossberg House	Need More Info			
GD-RWC-1438	1166	Oak St.	RW City Hospital & Home	Need More Info			
GD-RWC-360	201-207	Plum St.	Lawther-Park Block		Downtown	C	Downtown
GD-RWC-361	210	Plum St.	Globe Electric Light Company		Downtown	NC	Downtown
GD-RWC-362	212	Plum St.	Sterling Block		Downtown	NC	Downtown
GD-RWC-363	213	Plum St.	Little Green Front Restaurant		Downtown	NC	Downtown
GD-RWC-364	214	Plum St.	Linne Building		Downtown	NC	Downtown
GD-RWC-365	217-221	Plum St.	National Guard Armory-Masonic Hall		Downtown	C	Downtown
GD-RWC-366	302	Plum St.	Greenwood Block		Downtown	C	Downtown
GD-RWC-368	303	Plum St.	Lyons Brick Block		Downtown	C	Downtown
GD-RWC-367	304	Plum St.	Lindberg Block		Downtown	C	Downtown
GD-RWC-369	306-308	Plum St.	Boston Block		Downtown	C	Downtown
GD-RWC-370	307	Plum St.	Red Wing Creamery		Downtown	NC	Downtown
GD-RWC-371	309-313	Plum St.	Clum Block		Downtown	C	Downtown
GD-RWC-372	310	Plum St.	Smith Harness Shop		Downtown	C	Downtown
GD-RWC-373	312-314	Plum St.	White Front Clothing Store		Downtown	C	Downtown
GD-RWC-375	316	Plum St.	Winters Building		Downtown	C	Downtown
GD-RWC-376	318	Plum St.	Peterson Meat Market		Downtown	C	Downtown
GD-RWC-378	320-324	Plum St.	Salvation Army		Downtown	NC	Downtown
GD-RWC-010	325-327	Plum St.	Hotel de Batlo		Downtown	C	Downtown

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## PROJECT RESULTS

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GD-RWC-379	326-330	Plum St.	Becker Grocery		Downtown	NC	Downtown
GD-RWC-1439	401	Plum St.	First National Bank of Red Wing	Need More Info			
GD-RWC-1440	425	Plum St.	Kohn Grocery	Need More Info			
GD-RWC-064	222	West Ave.	U.S. Post Office		Mall	C	Mall
GD-RWC-068	308-314	West Ave.	Lidberg House		Mall	C	Mall
GD-RWC-069	312	West Ave.	Chalet Studio		Mall	C	Mall
GD-RWC-070	320	West Ave.	St. Paul's Evang. Lutheran Church		Mall	C	Mall
GD-RWC-081	321	West Ave.	Christ Episcopal Church		Mall	C	Mall

**■ INVENTORIED PROPERTIES IN NATIONAL REGISTER HISTORIC DISTRICTS**

Most of the Phase II properties are located in a historic district that is either listed on, or eligible for, the National Register. The inventoried properties in those historic districts are listed below.

***Red Wing Mall Historic District (GD-RWC-001)***

Twenty-nine inventoried properties within the Modified Environmental Site Assessment Investigation Area (MESAIA) are located within the National Register-listed Red Wing Mall Historic District (Map 2).

The Red Wing Mall Historic District was listed on the National Register in 1980. The Mall district is focused on a wedge-shaped parcel of land between the Mississippi River and West Seventh Street that contains several of the city's most important public buildings, two parks, several churches, and a scattering of houses and commercial buildings. The core of the Mall was reserved for this use in Red Wing's original plat of 1853.

The Contributing buildings and parks date between the 1850s and the 1930s. Several resources were inspired by the turn of the century City Beautiful Movement that influenced architecture, landscape architecture, and city planning nationwide. The historic district contained 52 properties at the time it was listed on the National Register, but several buildings such as Washington School (built 1886) and the YMCA (built 1910) have been demolished.

The district was listed on the National Register under Criterion A (broad patterns of history) and Criterion C (architecture) in the areas of Architecture, Community Planning and Development, Education, Industry, and Landscape Architecture. The level of significance is Local. The period of significance is 1853-1941. See Map 2 for district boundaries.

The 29 properties within the MESAIA that are located in the National Register-listed Red Wing Mall Historic District appear on the table below.

**Table 6. Inventoried Properties in the National Register-Listed Red Wing Mall Historic District (listed in order by street address)**

SHPO Inv #	Address	Historic Name	Contrib?
GD-RWC-1452		Mississ River 9' Channel, RW Seg	Noncontr
GD-RWC-1371		Soo Line RR	Contrib
GD-RWC-1424		Levee Rd.	Contrib
GD-RWC-002	443	3rd St. W	Contrib
GD-RWC-113	ca. 506	3rd St. W	Contrib
GD-RWC-067	603	3rd St. W	Contrib
GD-RWC-066	607-609	3rd St. W	Contrib
GD-RWC-065	617	3rd St. W	Contrib
GD-RWC-095	454	4th St. W	Contrib
GD-RWC-082	508	4th St. W	Contrib
GD-RWC-109	102	Broad St.	Contrib
GD-RWC-108	116	Broad St.	Noncontr
GD-RWC-1420	ca. 215	East Ave.	Noncontr
GD-RWC-091	225	East Ave.	Noncontr
GD-RWC-093	315	East Ave.	Noncontr
GD-RWC-1448		Highway 61	Contrib
GD-RWC-1380	230	Ikata Dr.	Noncontr
GD-RWC-1373	ca. 416	Levee St.	Contrib
GD-RWC-106	418-420	Levee St.	Contrib
GD-RWC-111	432	Levee St.	Contrib
GD-RWC-1430	434	Main St. W	Noncontr
GD-RWC-321	437-439	Main St. W	Contrib
GD-RWC-107	604	Main St. W	Noncontr
GD-RWC-1433	621	Main St. W	Noncontr
GD-RWC-064	222	West Ave.	Contrib
GD-RWC-068	308-314	West Ave.	Contrib
GD-RWC-069	312	West Ave.	Contrib
GD-RWC-070	320	West Ave.	Contrib
GD-RWC-081	321	West Ave.	Contrib

**Red Wing Residential Historic District (GD-RWC-022)**

Eight inventoried properties are located in the National Register-listed Red Wing Residential Historic District (Map 2). Five are located within the MESAIA and three are outside the MESAIA and were inventoried because of possible visual effects. (They are the Lawther, Sprague, and Wilkinson houses.)

The Red Wing Residential Historic District was listed on the National Register in 1982. The district comprises about 14 city blocks west of downtown that contain some of the city's most intact early residences. The Contributing buildings date between the 1850s and the 1930s.

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## PROJECT RESULTS

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The historic district contained 163 properties at the time it was listed on the National Register. The district was listed under National Register Criterion C (architecture) in the areas of Architecture, Commerce, Communications, Economics, Education, Exploration/Settlement, and Industry. The level of significance is State. The period of significance is 1855-1935. See Map 2 for district boundaries.

The eight inventoried properties located in the National Register-listed Red Wing Residential Historic District appear on the table below.

**Table 7. Inventoried Properties in the National Register-Listed Red Wing Residential Historic District (listed in order by street address)**

SHPO Inv #	Address	Historic Name	Contrib?
GD-RWC-115	702	3rd St. W	Hayes House
GD-RWC-118	710-712	3rd St. W	Bragg-Olson House
GD-RWC-121	718-724	3rd St. W	Ahlers Flats
GD-RWC-123	726-728	3rd St. W	Worden Flats
GD-RWC-023	927	3rd St. W	Lawther House
GD-RWC-142	1008	3rd St. W	Sprague House
GD-RWC-149	1104	3rd St. W	Wilkinson House
GD-RWC-026	216	Dakota St.	Hewitt Laboratory

### ***St. James Hotel Complex (GD-RWC-004)***

Four properties within the MESAIA are located within the National Register-listed St. James Hotel Complex (Map 2). The properties are listed on the table below.

The St. James Hotel Complex was listed on the National Register in 1982. The complex was listed under Criterion A (broad patterns of history) and Criterion C (architecture) in the areas of Architecture, Commerce, Entertainment/Recreation, and Health/Medicine. The level of significance is Local. The recommended period of significance is 1874-1945. See Map 2 for district boundaries.

**Table 8. Inventoried Properties in the National Register-Listed St. James Hotel Complex (listed in order by street address)**

SHPO Inv #	Address	Historic Name	Contrib?
GD-RWC-912	112	Bush St.	Riedell Shoes (Art Rch)
GD-RWC-004	406	Main St. W	St. James Hotel
GD-RWC-1428	412	Main St. W	Medical Block (St. James)
GD-RWC-1429	416	Main St. W	NSP (St. James)

### **Potential Red Wing Commercial Historic District (GD-RWC-1451)**

A total of 87 properties within the MESAIA are located in a downtown historic district that is eligible for the National Register but has not been officially nominated or listed (Map 5). Several years ago the Minnesota State Historic Preservation Office (MnSHPO) determined the district to be eligible for the National Register. The boundaries of the potential historic district had not been formally determined, however, nor had the Contributing/Noncontributing status of the resources. Because the MnSHPO's information on the properties was 30 years old, as part of this Phase I study Gemini Research minimally photographed the properties and prepared updated inventory forms, as well as recommending boundaries for the potential historic district and recommending which properties are Contributing and Noncontributing. Individual building research had already been compiled by the Red Wing HPC. (For the HPC's research and analysis see the HPC's individual inventory forms completed in 1982 and the 1983 City report *Red Wing, Minnesota: A Downtown With a Sense of Time and Purpose.*)

The potential historic district encompasses about six square blocks – much of Red Wing's downtown. Most buildings are commercial structures built between the 1850s and the 1930s. The properties are associated with Red Wing's commercial development from the early settlement period through 1945 when World War II ended. The buildings housed the majority of Red Wing's historic banks, retail stores, newspapers, clubrooms, meeting halls, business schools, and offices for doctors, dentists, lawyers, and architects. Some buildings housed government functions, including the post office and city government. Some buildings housed early factories that made products such as wagons and shoes. Many buildings housed retail shops and service businesses associated with Red Wing's various roles as a Mississippi River port city, an outfitting center for pioneers traveling west, an agricultural marketing and processing center, and an industrial hub.

The district's oldest buildings were constructed before the Civil War in the 1850s and early 1860s. They are the John Day Block (308 Main; GD-RWC-306), James Lawther Block (202 Bush; GD-RWC-340), and Sterling Block (301 Main; GD-RWC-301). (The latter has been altered.) The most recent buildings within the period of significance (1858-1945) are the altered Chief Theatre from 1938 (325 Bush; GD-RWC-357) and Edblom Conoco Gas Station (328 Bush; GD-RWC-358), an intact cottage-style gas station built circa 1930.

The buildings in the potential National Register district include excellent examples of several architectural styles. They illustrate the work of local architects and contractors, and display the products of Red Wing's sawmills, stone quarries, brickyards, terra cotta factories, and metal foundries. Many buildings have been skillfully rehabilitated so the storefronts once again display recessed entrances, cast iron lintels, large display windows, transom lights, and paneled bulkheads. Collectively the resources create one of the most well-preserved historic central business districts in Minnesota.

It is recommended that the potential district meets National Register Criteria A (broad patterns of history) and C (architecture) in the areas of Architecture, Commerce, Politics/Government, and Communications. The recommended period of significance is 1858-1945 and the level of significance is Local. See Map 5 for recommended district boundaries.

Gemini Research recommends that 61 of 87 properties in the potential district are Contributing, and that 26 are Noncontributing, as indicated on the table below.

## PROJECT RESULTS

**Table 9. Properties in the NRHP-Eligible Red Wing Commercial Historic District  
(listed in order by street address)**

SHPO Inv #	Address	Historic Name	Contrib?
GD-RWC-008	219-221	3rd St. W	Kappel Wagon Works (Knudsen's)
GD-RWC-1390	223	3rd St. W	RW Creamery Ice Cream Plant
GD-RWC-1391	ca. 229	3rd St. W	Mississippi Valley Garden
GD-RWC-324	313	3rd St. W	IOOF Hall (Carlson's)
GD-RWC-325	318	3rd St. W	Metro Theater (Malmquist)
GD-RWC-013	319	3rd St. W	Anderson Bldg-Daily Eagle
GD-RWC-326	320	3rd St. W	Anderson Shoes (Cut Above Home)
GD-RWC-327	321	3rd St. W	Commercial Bldg (Body and Soul)
GD-RWC-328	401-411	3rd St. W	Wilkinson Bldg (RW Corner Drug)
GD-RWC-329	410-412	3rd St. W	Union Block (Hanish E part)
GD-RWC-1392	413	3rd St. W	Sherman Grocery (United Way)
GD-RWC-331	414-416	3rd St. W	Centennial Blk (Patterson-Hanish)
GD-RWC-330	415-419	3rd St. W	Brink-Hawkins-Luce (Shear Perfect)
GD-RWC-332	418	3rd St. W	Ahler Electric (Midwest Vision)
GD-RWC-333	420-430	3rd St. W	Goodhue Co Co-op (Cornerstone)
GD-RWC-334	425	3rd St. W	Magnussen's Pharm (Best of Times)
GD-RWC-335	427	3rd St. W	Commercial Bldg (Blue Moon)
GD-RWC-1393	429	3rd St. W	Commercial Bldg (Creative Clips)
GD-RWC-337	432-438	3rd St. W	Webster Livery (Kask Electric)
GD-RWC-336	433	3rd St. W	RW Printing Co (Republican Eagle)
GD-RWC-338	312	4th St. W	Commercial Bldg (Walt's)
GD-RWC-1394	314	4th St. W	Commercial Bldg (Zibble)
GD-RWC-009	315	4th St. W	Red Wing City Hall
GD-RWC-339	418	4th St. W	Northwestern Bell (Qwest)
GD-RWC-340	202	Bush St.	Lawther Blk (Uffda Shop N)
GD-RWC-341	204-208	Bush St.	Lawther Blk Add (Uffda S)
GD-RWC-342	207-209	Bush St.	Lawther Blk (Wise Penny)
GD-RWC-343	210	Bush St.	Smith Blk (Subhouse)
GD-RWC-344	211-213	Bush St.	Lawther Blk (Life's Little)
GD-RWC-345	212	Bush St.	Wallower Blk (Great Dragon)
GD-RWC-346	215-221	Bush St.	Busch Blk (Josephsons)
GD-RWC-1413	216-224	Bush St.	Goodhue Co. Nat'l Bank Annex
GD-RWC-350	223	Bush St.	Hoffman Blk (Claydon's N)
GD-RWC-351	225-227	Bush St.	Smith-Masonic Block
GD-RWC-349	226-228	Bush St.	Goodhue Co. Nat'l Bank (Assoc)
GD-RWC-352	301-303	Bush St.	Lawther Post Office (Howe's)
GD-RWC-007	305-313	Bush St.	Gladstone Bldg (RW Arts-Apropos)
GD-RWC-354	310-314	Bush St.	The Casino (Thunder Clan)
GD-RWC-355	315-317	Bush St.	McCart Livery (Hallstroms)
GD-RWC-012	316-318	Bush St.	Berglund's Stone Blk-AOUW (Kiki)
GD-RWC-1414	319-321	Bush St.	Becker Grocery (Aliveo)
GD-RWC-356	320	Bush St.	Dunham Beauty Shop (Lori's)
GD-RWC-357	325	Bush St.	Chief Theater (Blue Duck)

## PROJECT RESULTS

GD-RWC-359	327	Bush St.	Swanson Rest (River City Dental)	Noncontr
GD-RWC-358	328	Bush St.	Edblom Conoco (Gernertz)	Contrib
GD-RWC-1420	ca. 215	East Ave.	Studebaker Park Prkng Ramp	Noncontr
GD-RWC-1448		Highway 61	Highway 61, Red Wing Segment	Contrib
GD-RWC-1425	ca. 205	Main St. W	Behren's Supply Co. Annex	Noncontr
GD-RWC-299	207-217	Main St. W	RW Creamery (Behren's)	Contrib
GD-RWC-300	223	Main St. W	Kempe Block (Barrel House)	Contrib
GD-RWC-301	301	Main St. W	Sterling's Brick Blk (Ferrin's)	Noncontr
GD-RWC-302	302-306	Main St. W	Buchholz-Hadler-Moeller (Riverfr)	Contrib
GD-RWC-303	303	Main St. W	Sparrell's Block (Ferrin's)	Noncontr
GD-RWC-304	305	Main St. W	Sterling and Co (Ferrin's)	Noncontr
GD-RWC-305	307-311	Main St. W	J. C. Penney (Sarah's)	Noncontr
GD-RWC-306	308	Main St. W	Day Block (Riverfront Center)	Contrib
GD-RWC-307	310	Main St. W	Betcher Blk (Riverfront Center)	Contrib
GD-RWC-308	312-316	Main St. W	Wilson-Baker (Riverfront Center)	Contrib
GD-RWC-1426	315	Main St. W	Red Wing Shoe Store-Museum	Noncontr
GD-RWC-310	318-322	Main St. W	Simmons-Swanson (Riverfront)	Contrib
GD-RWC-311	319-321	Main St. W	Smith-McDonald Blk (Inspired)	Contrib
GD-RWC-312	323	Main St. W	Towne Blk (RW Confectionery)	Contrib
GD-RWC-314	325-327	Main St. W	Lawther Block (Confluence)	Contrib
GD-RWC-315	329	Main St. W	Clark and Hawley (Moments)	Contrib
GD-RWC-006	409	Main St. W	Keystone Bldg (DeLeon)	Contrib
GD-RWC-317	413-423	Main St. W	Boxrud Bros Blk (Riverbend Mkt)	Contrib
GD-RWC-318	420-426	Main St. W	Pioneer Garage (Johnson Tire)	Contrib
GD-RWC-320	433-435	Main St. W	Phelps Block (Brickhouse)	Contrib
GD-RWC-360	201-207	Plum St.	Lawther-Park Blk (Travel)	Contrib
GD-RWC-361	210	Plum St.	Globe Electric Light (Ferrin's)	Noncontr
GD-RWC-362	212	Plum St.	Sterling Block (Ferrin's)	Noncontr
GD-RWC-363	213	Plum St.	Little Green Front (5 de Mayo)	Noncontr
GD-RWC-364	214	Plum St.	Linne Bldg (Ferrin's)	Noncontr
GD-RWC-365	217-221	Plum St.	Nat'l Guard Armory-Masonic Hall	Contrib
GD-RWC-366	302	Plum St.	Greenwood Blk (Liberty's)	Contrib
GD-RWC-368	303	Plum St.	Lyons Brick Blk (Liberty's)	Contrib
GD-RWC-367	304	Plum St.	Lindberg Block (Liberty's)	Contrib
GD-RWC-369	306-308	Plum St.	Boston Block (Liberty's)	Contrib
GD-RWC-370	307	Plum St.	Red Wing Creamery (Red Men)	Noncontr
GD-RWC-371	309-313	Plum St.	Clum Block (Metro Apts)	Contrib
GD-RWC-372	310	Plum St.	Smith Harness (Roxx)	Contrib
GD-RWC-373	312-314	Plum St.	White Front (B.S. Bar)	Contrib
GD-RWC-375	316	Plum St.	Winters Building	Contrib
GD-RWC-376	318	Plum St.	Peterson Meat (Sorenson)	Contrib
GD-RWC-378	320-324	Plum St.	Salvation Army (Elks N)	Noncontr
GD-RWC-010	325-327	Plum St.	Hotel de Batio (Eagle House)	Contrib
GD-RWC-379	326-330	Plum St.	Becker Grocery (Elks S)	Noncontr

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**PROJECT RESULTS**

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***CMSTPP RR Corridor Historic District (GD-RWC-1371)***

Three properties within the MESAIA are located within the Red Wing Segment of the National Register-eligible CMSTPP Railroad Corridor Historic District. (See Map 9.) The properties are listed on the table below.

The State Historic Preservation Office (SHPO) has already determined that the Chicago, Milwaukee, St. Paul, and Pacific (CMSTPP) railroad corridor (now Soo Line) between the Twin Cities and the point south of Winona where the railroad crosses the Mississippi River is eligible for the National Register. The railroad meets the National Register eligibility requirements established in a statewide historic context document prepared in 2007 by MnDOT consultants in cooperation with the SHPO (Schmidt et al. MPDF 2007). The historic context document specifies that National Register-eligible railroad corridors be treated as linear historic districts. The CMSTPP Railroad Corridor Historic District meets National Register Criterion A in the area of Transportation. The recommended period of significance is 1870-1956. The level of significance is State. It is recommended that the boundaries of the Red Wing Segment of the proposed historic district encompass the historic railroad right-of-way within the city of Red Wing, including tracks, sidings, bridges, and the former passenger depot and pump house.

**Table 10. Inventoried Properties in the NRHP-Eligible CMSTPP RR Corridor Historic District**

SHPO Inv #	Address	Historic Name	Contrib?
GD-RWC-1371		Soo Line RR	Contrib
GD-RWC-106	418-420	Levee St.	Contrib
GD-RWC-1373	ca. 416	Levee St.	Contrib

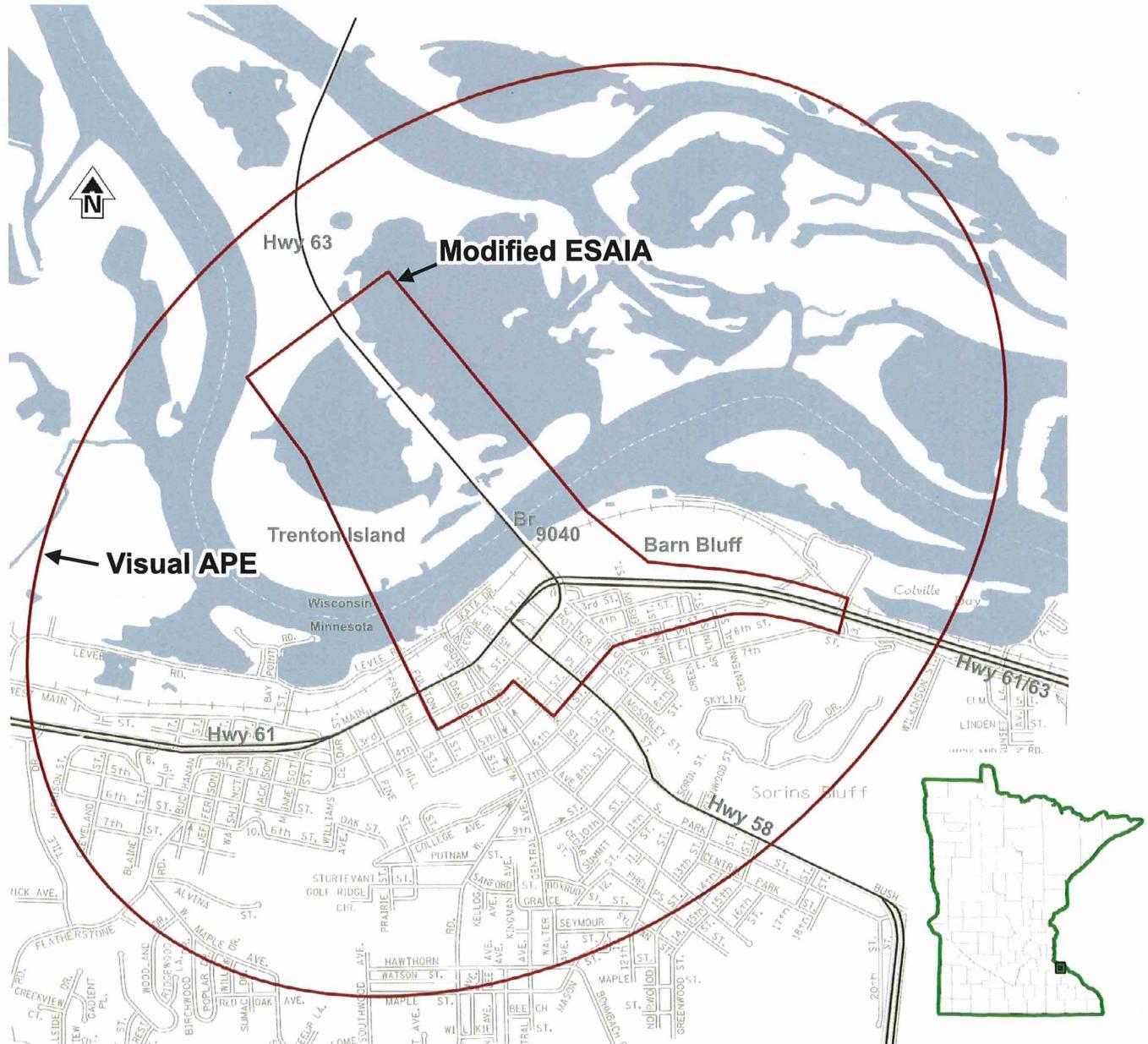
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## MAPS

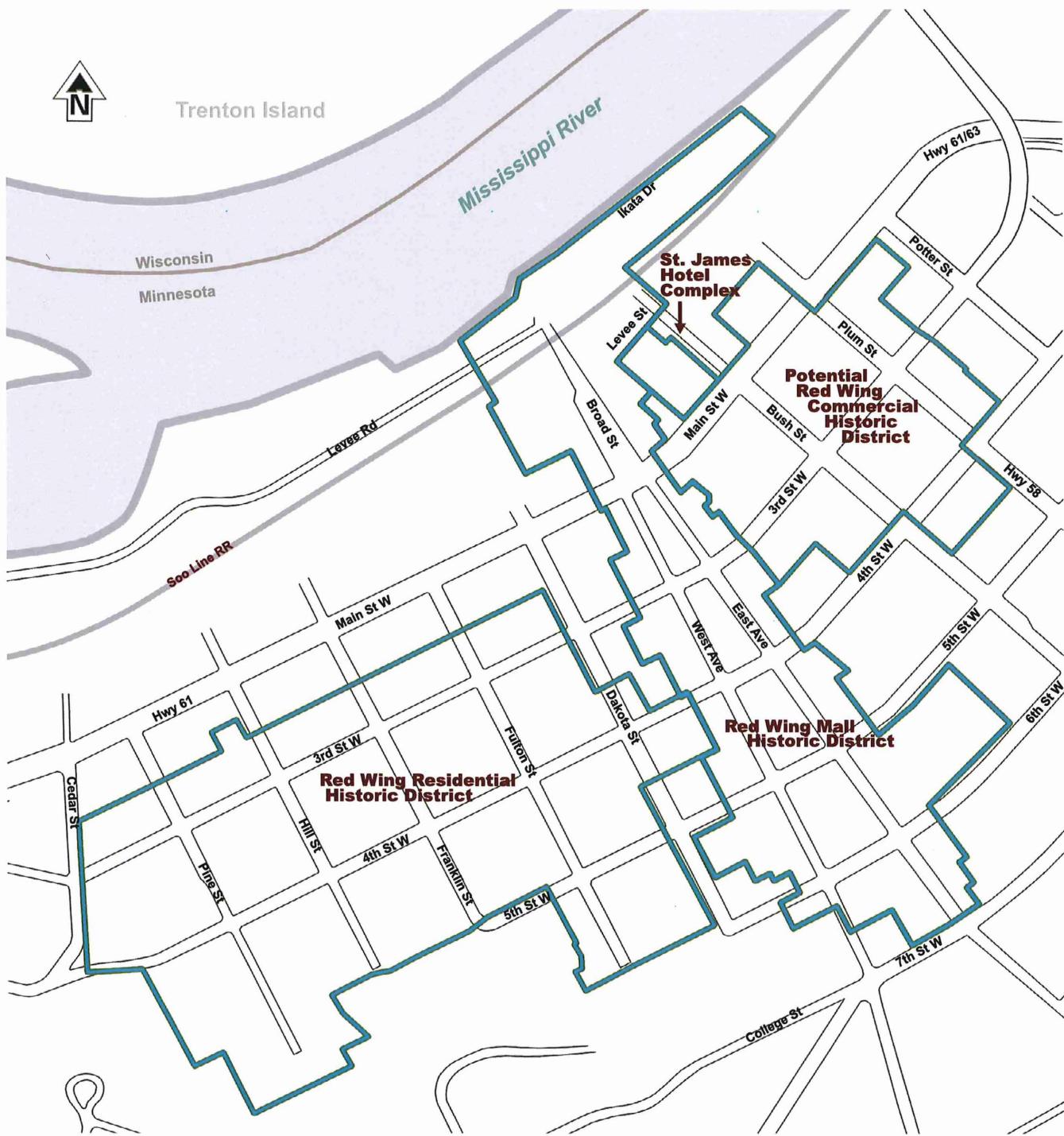
## MAPS

# Red Wing Bridge and Route Improvement Project



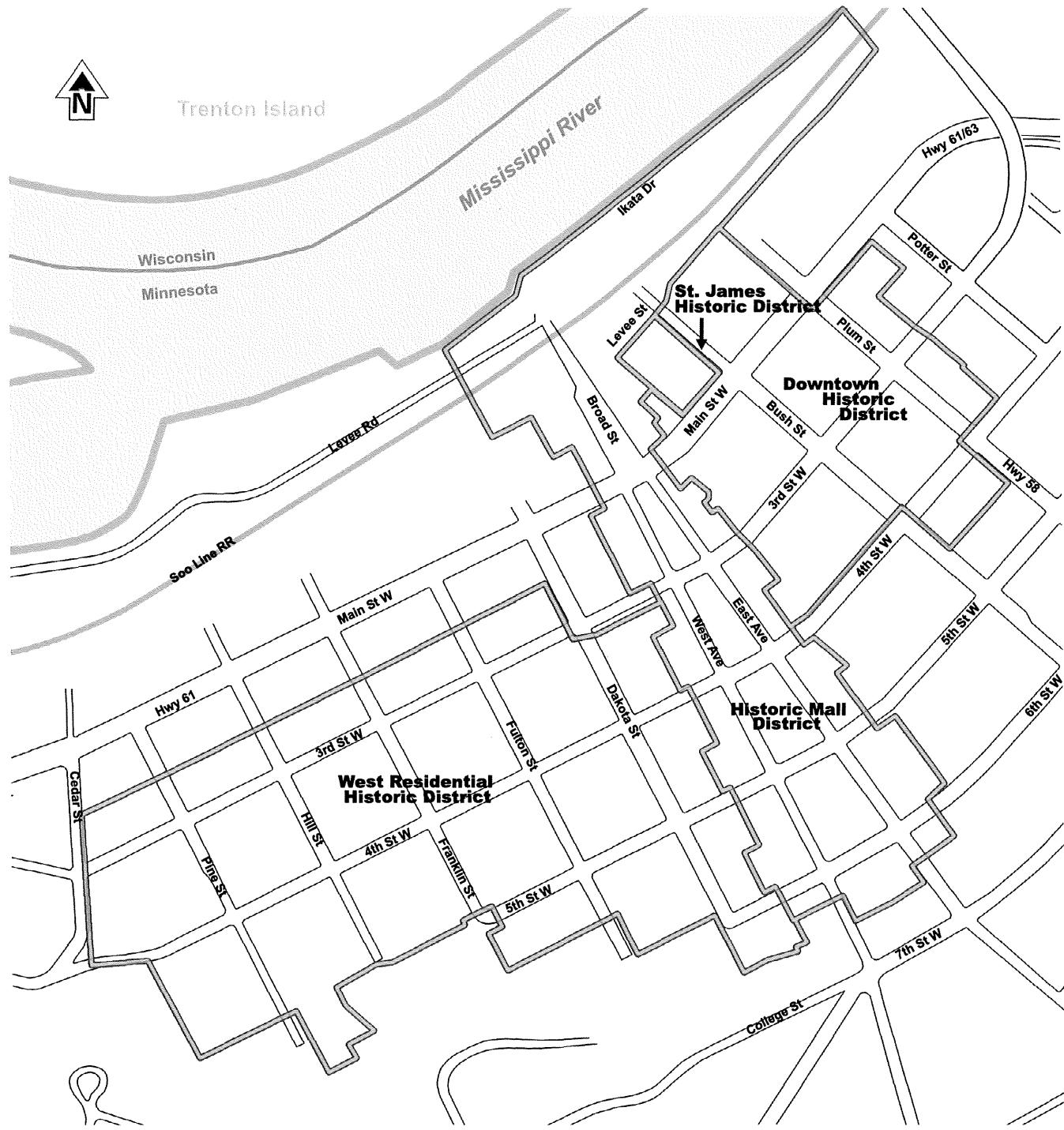
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**Map 1 Overview Map Showing MESAIA and Visual APE**



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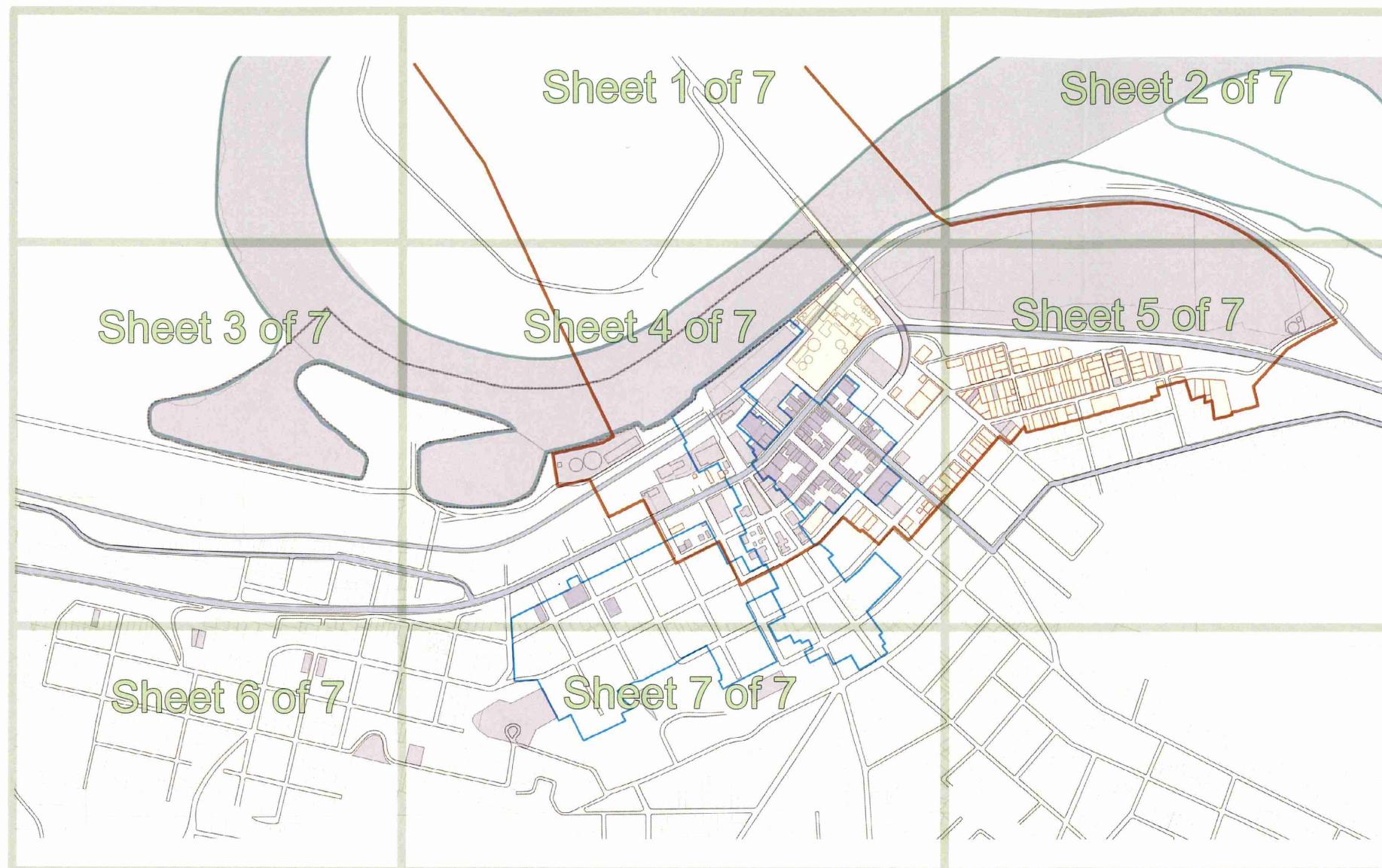
**Map 2 National Register-Listed and -Eligible Historic Districts**



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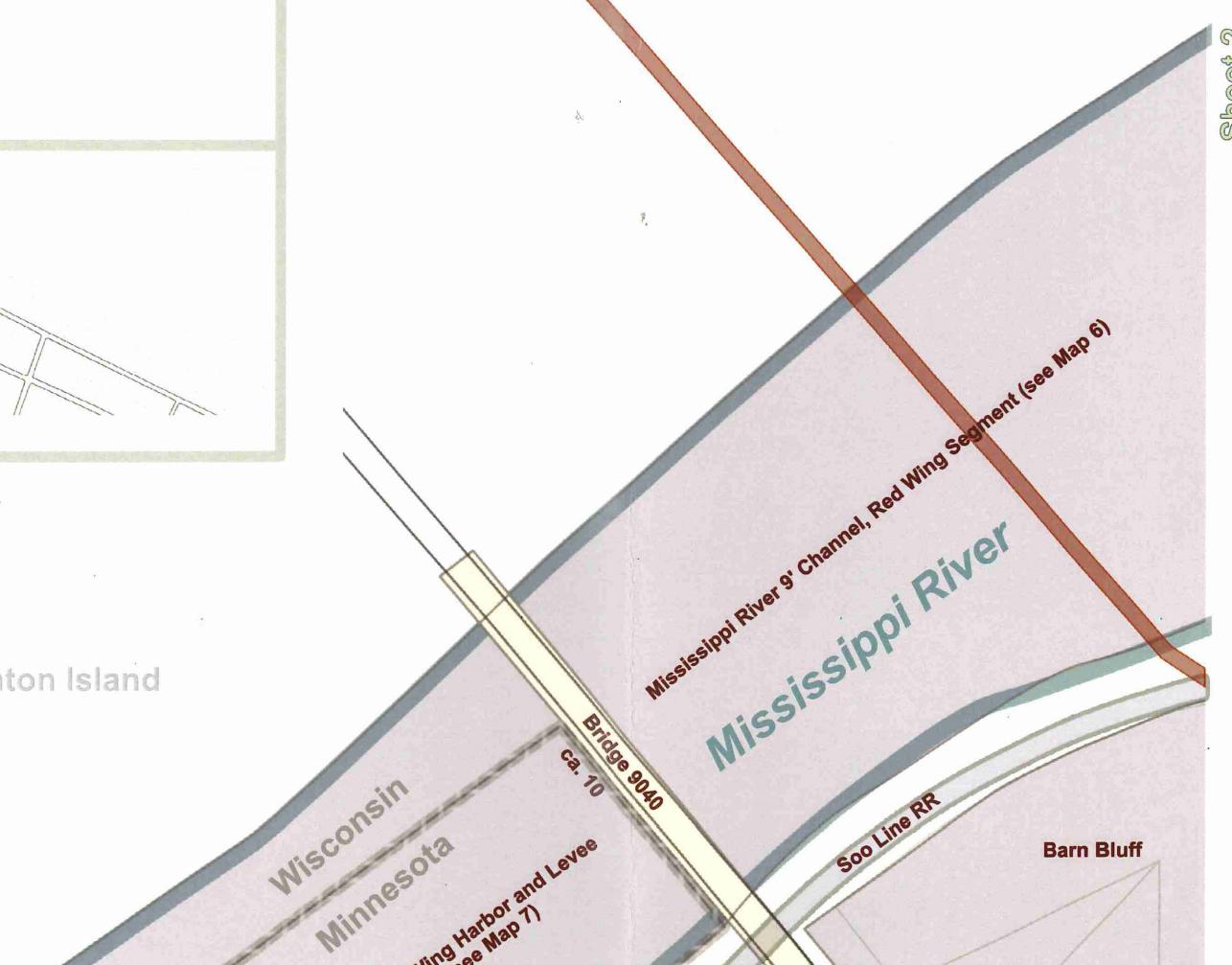
**Map 3 City of Red Wing-Designated Historic Districts**

## Red Wing Bridge and Route Improvement Project



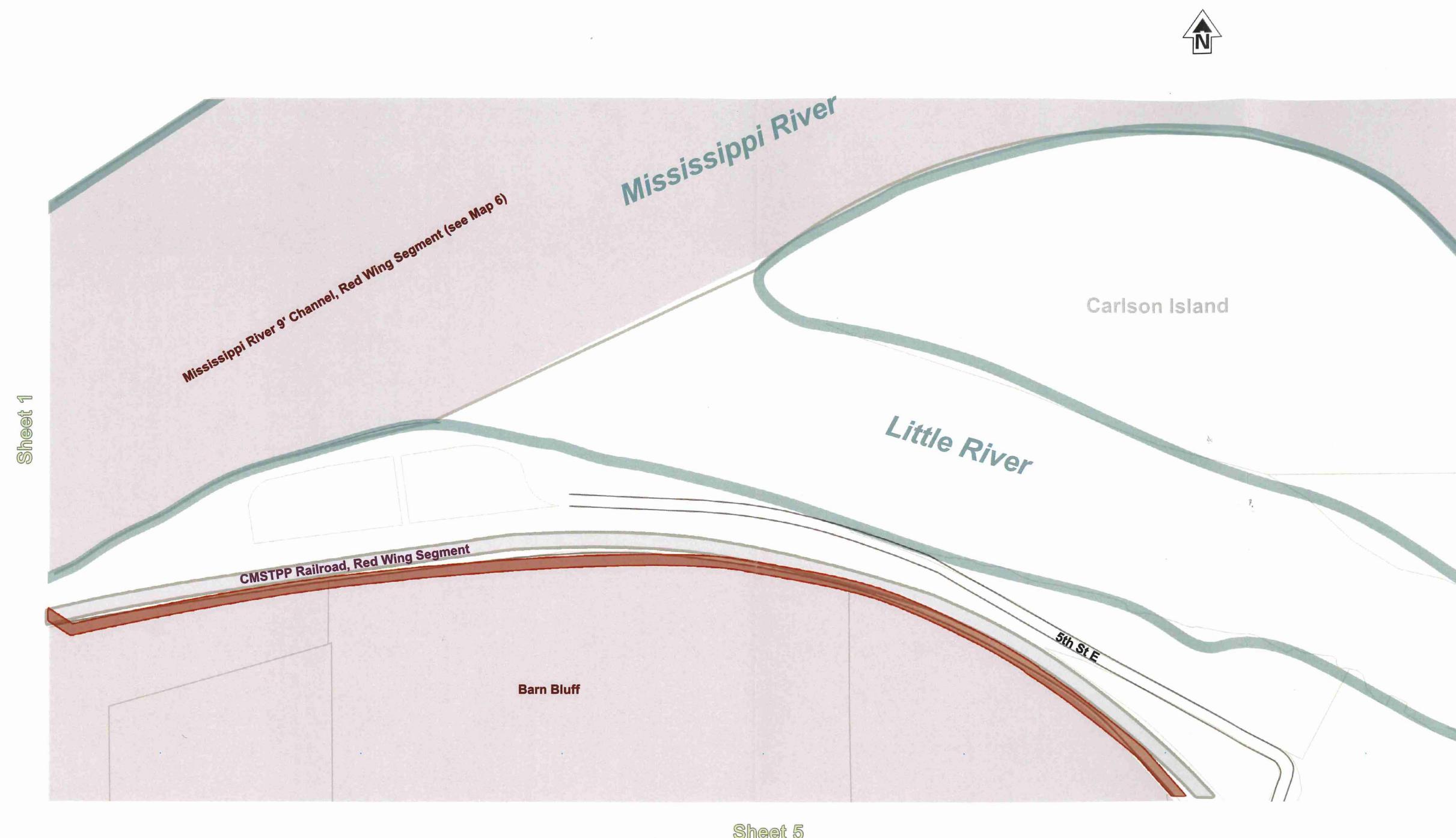
- Phase II architecture-history property (shown by address)
- Property not eligible for NRHP (shown by address)
- Intensive-level survey boundary

Sheet 4



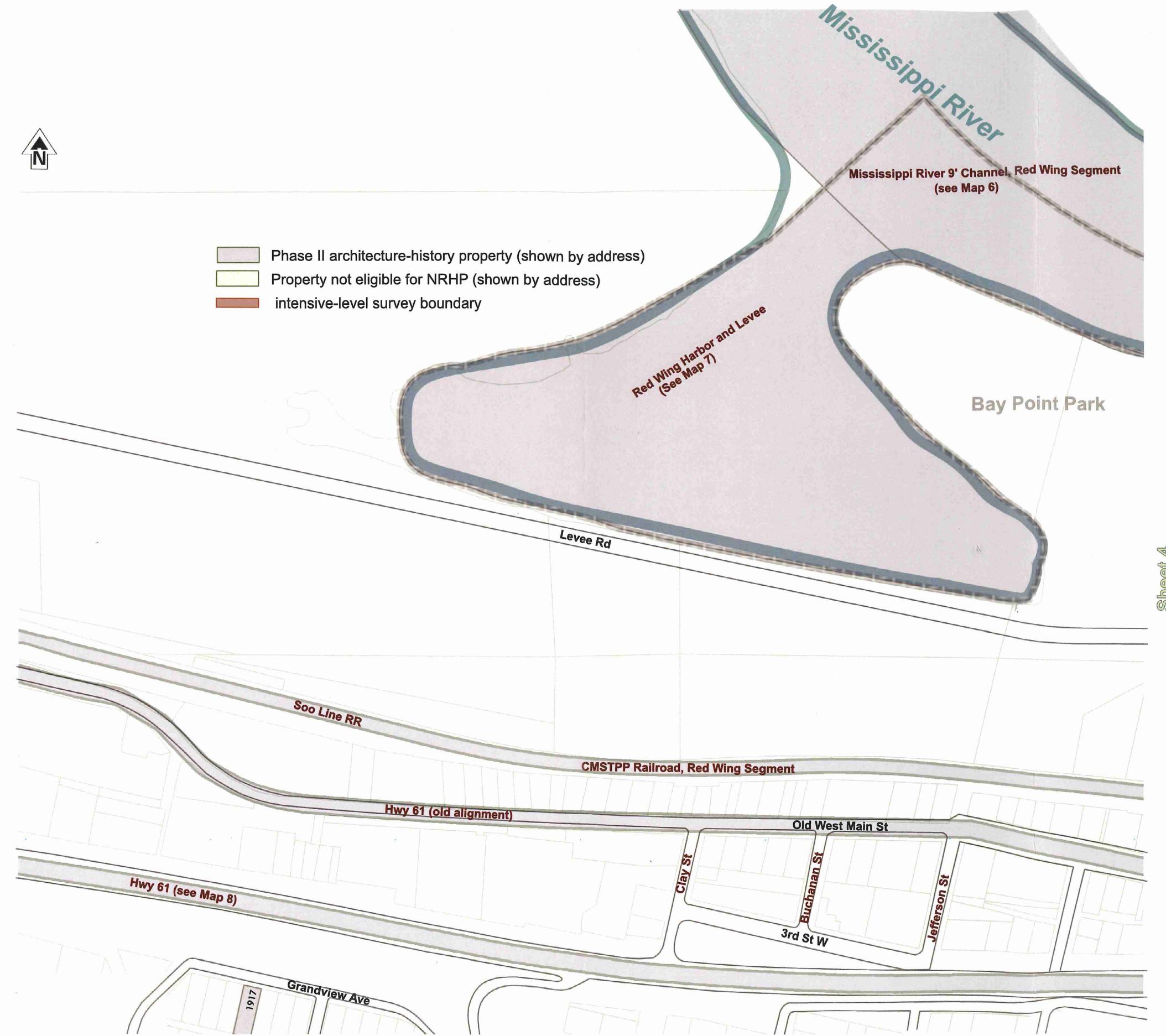
Map 4 Location of Inventoried Properties  
Sheet 1 of 7

Gemini Research November 2011

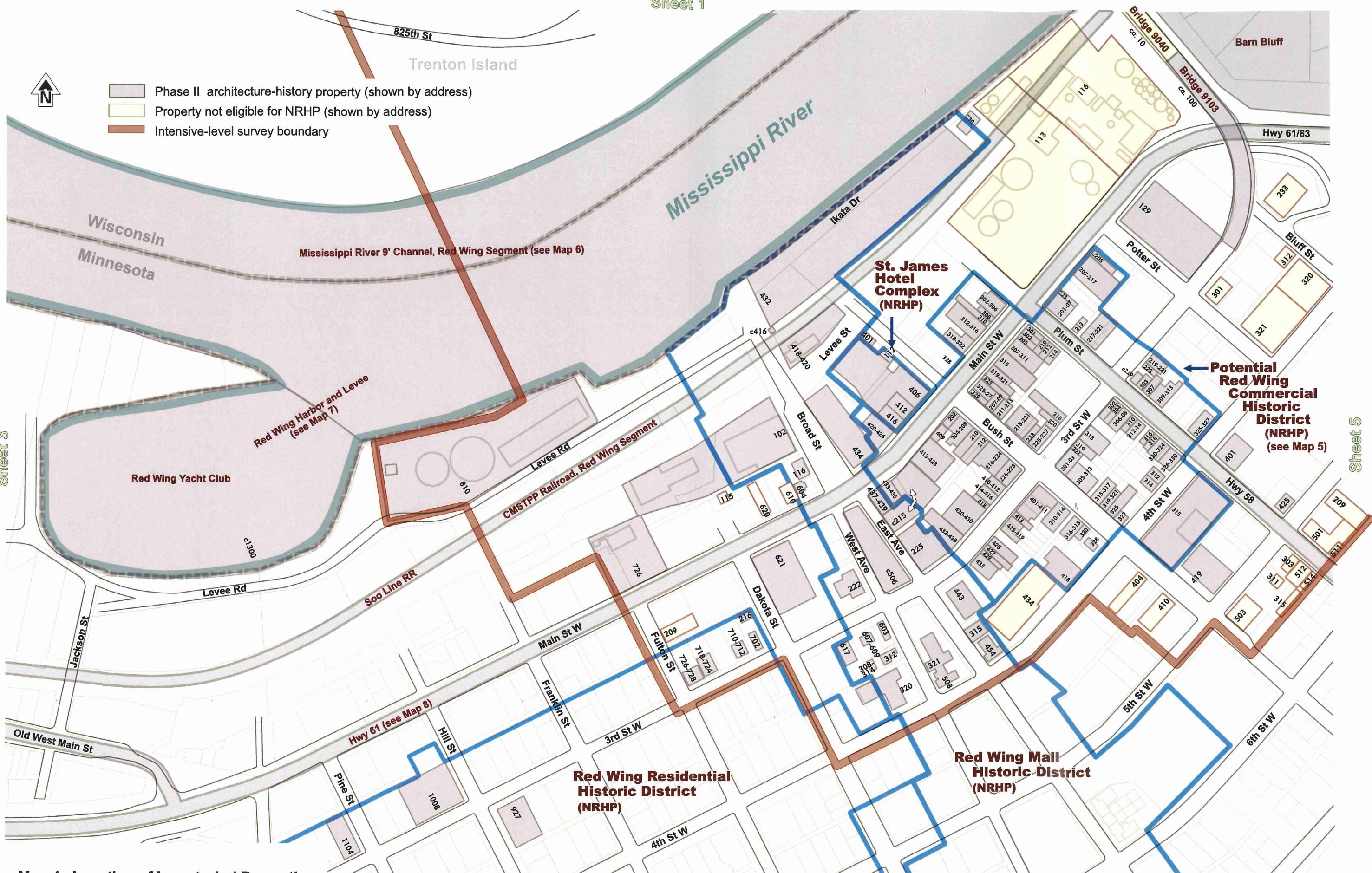


- Phase II architecture-history property (shown by address)
- Property not eligible for NRHP (shown by address)
- Intensive-level survey boundary

**Map 4 Location of Inventoried Properties**  
Sheet 2 of 7



**Map 4 Location of Inventoried Properties**  
Sheet 3 of 7







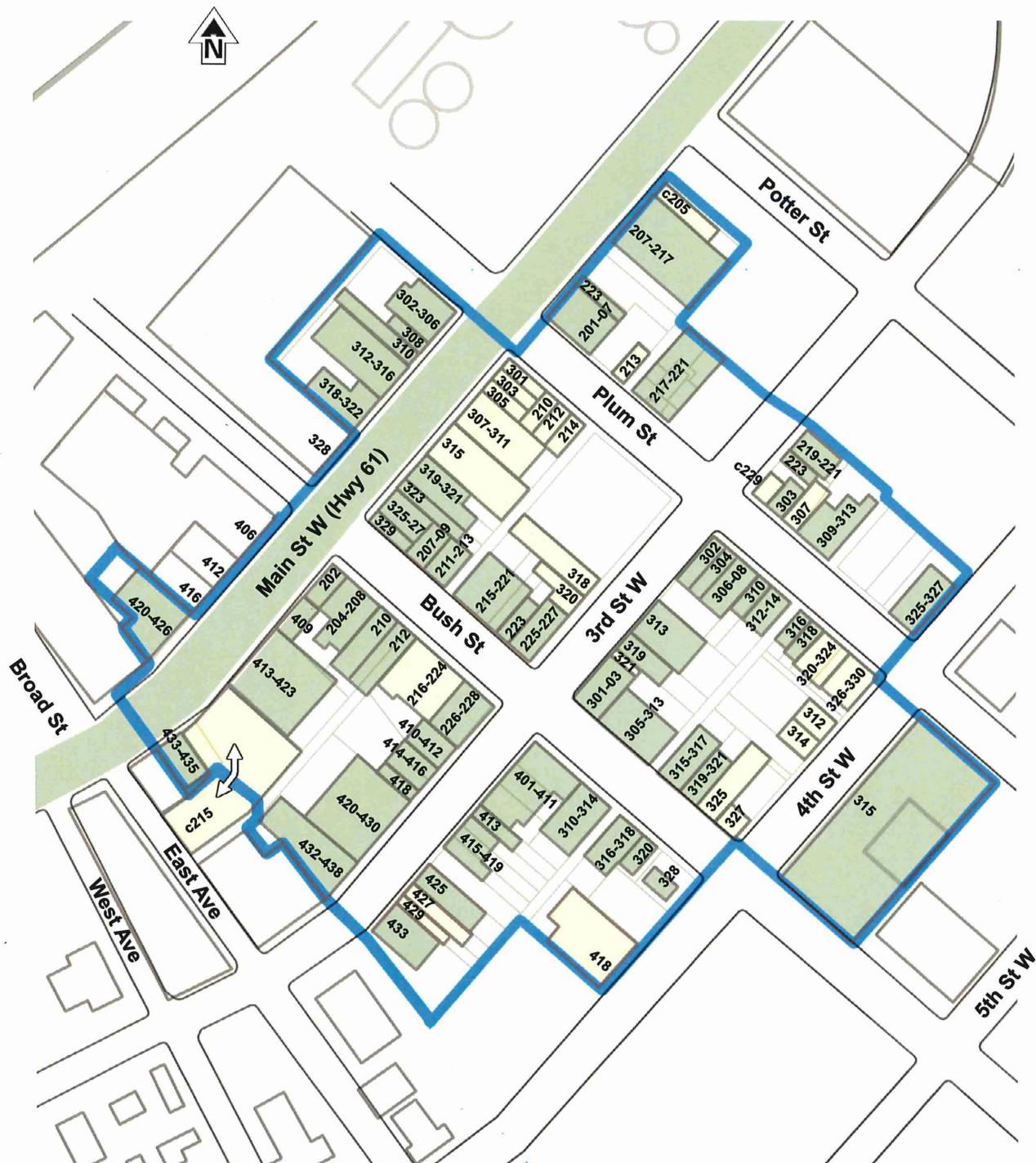
- Phase II architecture-history property (shown by address)
- Property is not eligible for NRHP (shown by address)
- Intensive-level survey boundary

Map 4 Location of Inventoried Properties  
Sheet 6 of 7



**Map 4 Location of Inventoried Properties**  
Sheet 7 of 7

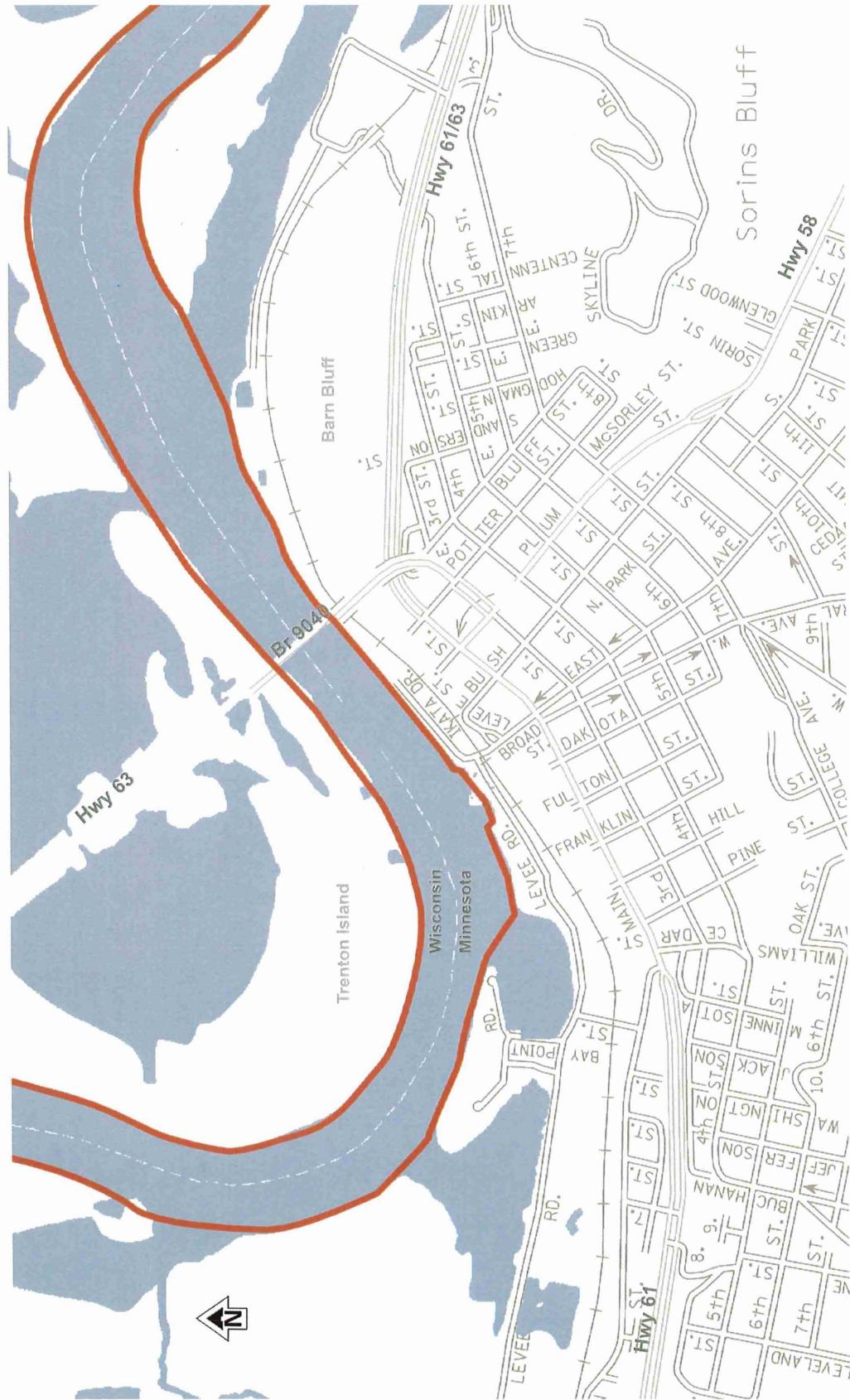
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- Contributing property (shown by address)
- Noncontributing property (shown by address)

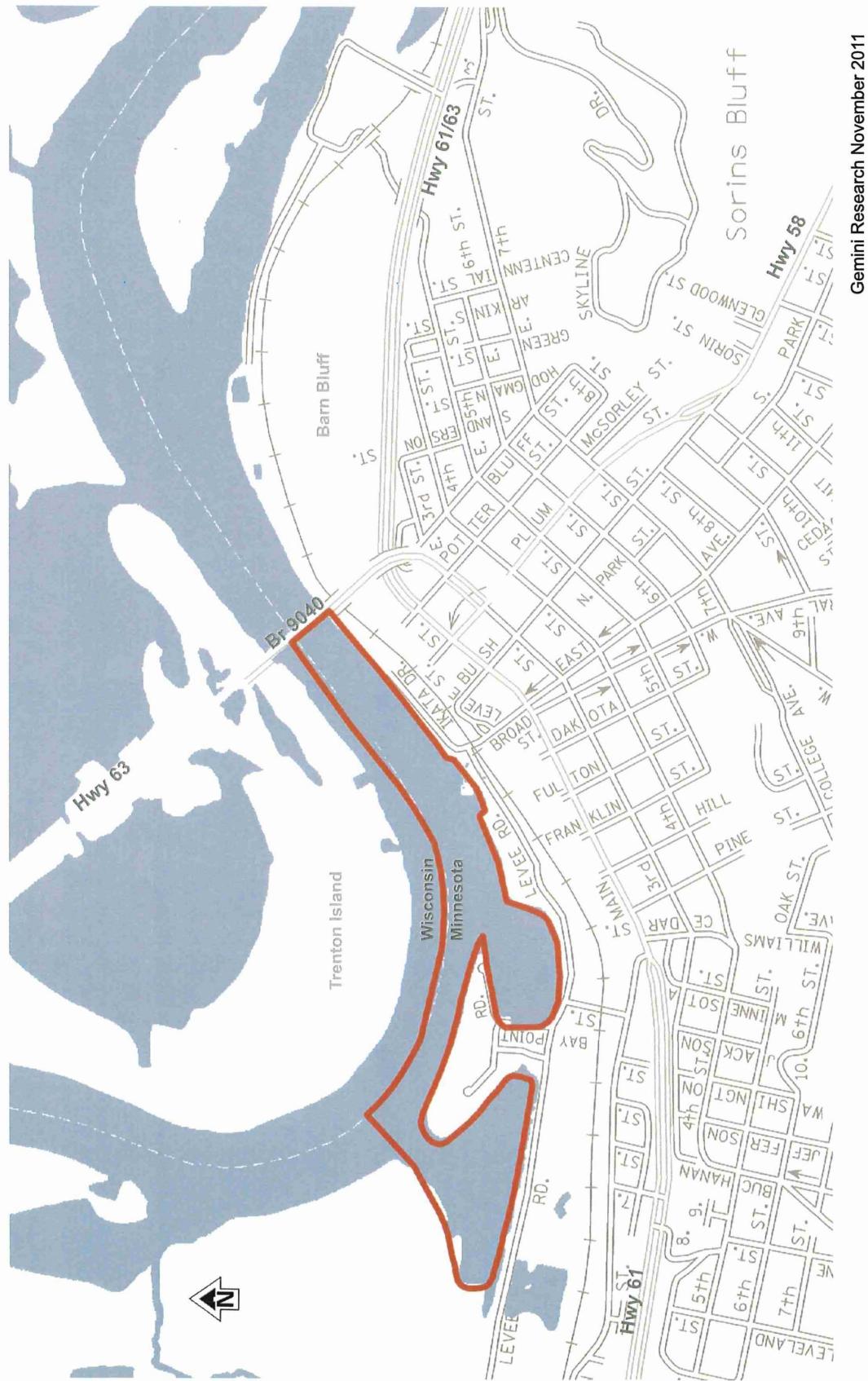
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#### **Map 5 National Register-Eligible Red Wing Commercial Historic District**

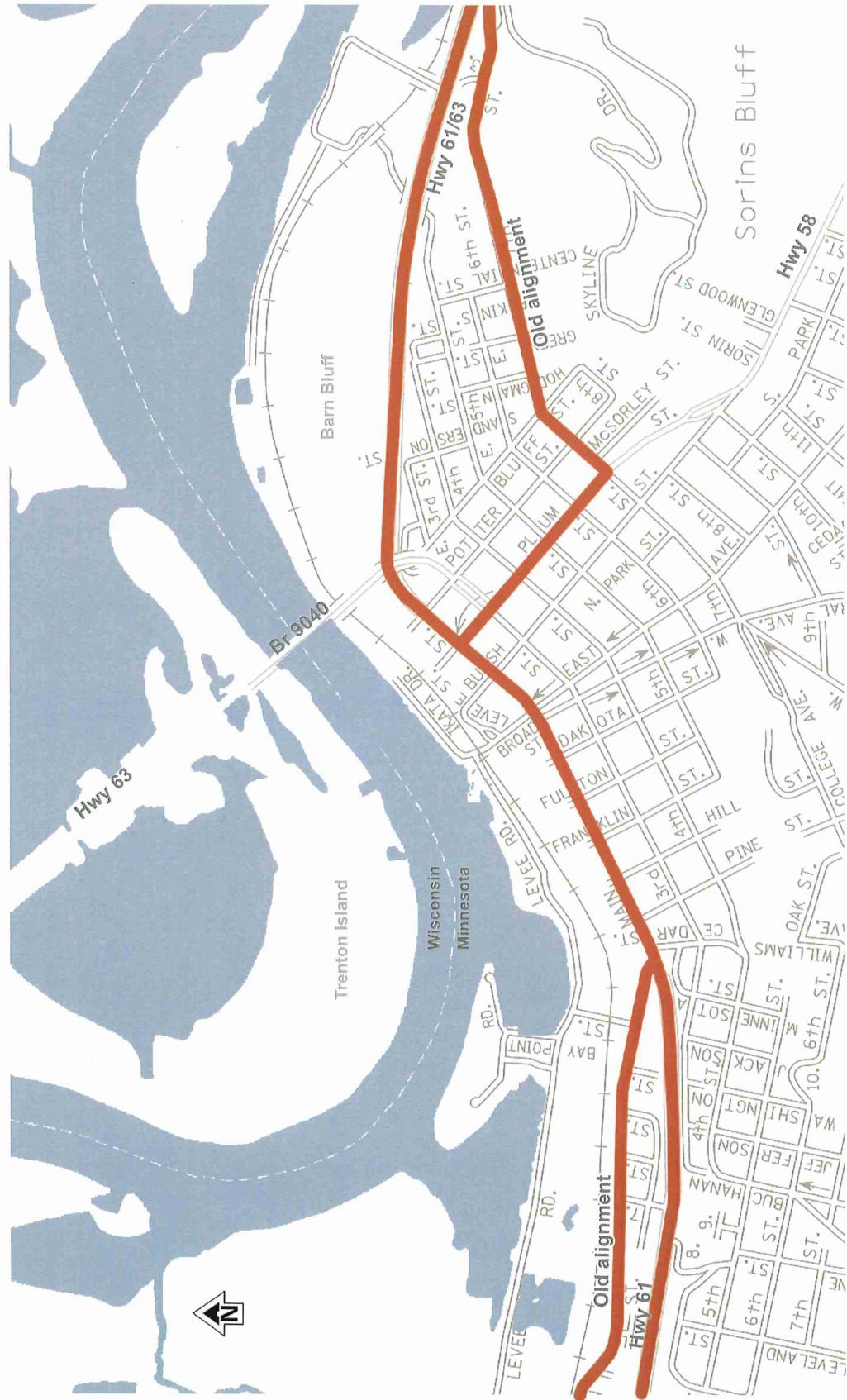


**Map 6 Mississippi River Nine-Foot Channel, Red Wing Segment**

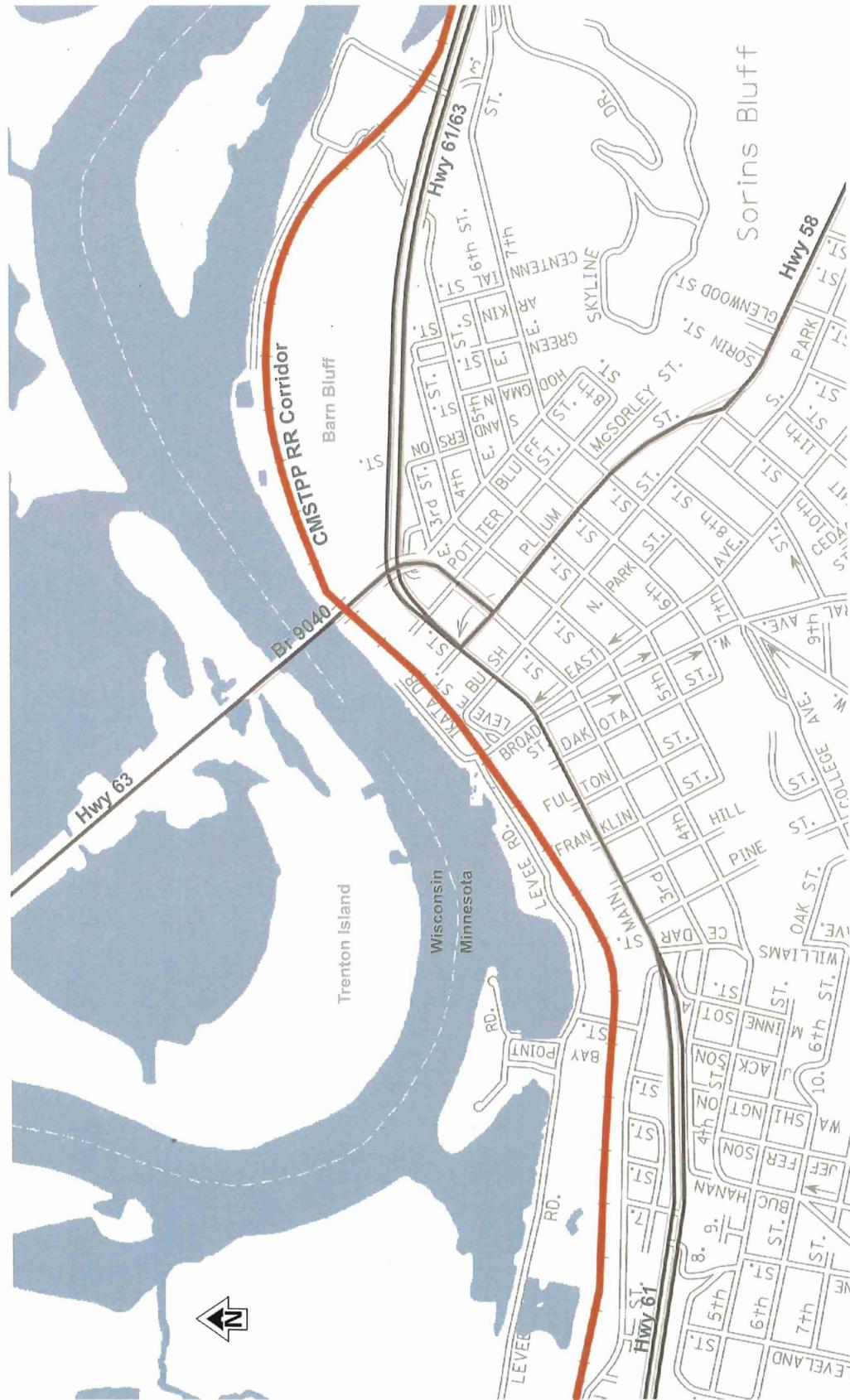
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## Map 7 Red Wing Harbor and Levee



**Map 8 Highway 61, Red Wing Segment**



**Map 9 CMSTPP RR Corridor Historic District, Red Wing Segment**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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### BRIEF DESCRIPTION OF THE INVENTORIED PROPERTIES

Each of the inventoried properties is briefly described below. A list of the properties appears in Chapter 3. The properties described are arranged in order by street address. Further information can be found on the individual inventory forms on file at the Minnesota State Historic Preservation Office (MnSHPO) in St. Paul.

#### **GD-RWC-280**

**Hist Name:** Barn Bluff  
**Other Name:** Mount LaGrange  
**Built:** n/a  
**NR Status:** Listed  
**HPC Status:**

Barn Bluff is located on the southern bank of the Mississippi River in northeastern Red Wing where it rises abruptly above the river and the downtown (Figs. 1, 3, and 7). The bluff is a massive escarpment or island mesa that is 3,100' long by 800' wide and aligned east-west. It stands 335' above the surface of the water. There was a time geologically when the glacial melt-water flow in the region was much deeper, and Barn Bluff and nearby Sorin's Bluff were the only two land masses projecting above the water. Early residents built burial mounds and earthworks on the bluff centuries ago, and Red Wing's Mdewakanton Dakota village was located at its western base.

Barn Bluff contains evidence of several limestone quarries and lime kilns that were operated on the bluff in the late 19th and early 20th centuries. Quarrying features include pits, caves, and tunnels, the longest being a 65'-long tunnel on the southern side of the bluff. The most well-known remnant is Carlson Lime Kiln (GD-RWC-020), built in 1882 on the northeastern side of the bluff. The kiln is individually listed on the National Register.

Today Barn Bluff is a 73-acre city-owned park with 2.36 miles of hiking trails. On the northern side of the bluff are tall stone cliffs and a steep hiking trail that twists its way to the top through a dense maple-basswood forest. The western side of the bluff has a more gradual trail that follows the path of an old quarry road. The forest here receives more sun and has a mixture of deciduous trees, shrubs, and sun-tolerant wildflowers and grasses. On top of the bluff is a wide area of treeless, managed prairie with a variety of grasses and forbs.

The remnants of the Citizens Memorial Stairway, built in 1929 and dismantled in 1958 to make way for the Eisenhower Bridge, are located near the top of the bluff at the western end. About 114 of the original poured concrete steps reportedly remain in place, most in ruins.

The City of Red Wing built new flights of steps in 1975 and 1982 using steps salvaged from the 1929 structure. The first set of city-built steps were built in 1975 at the base of the eastern end of the bluff; this flight serves as the main public entrance to the bluff. The second set of city-built steps, which date from 1982, is located on the southern side of the bluff about midway to the top. Both flights have simple pipe handrails similar to those on the 1929 staircase.

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## **BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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At the eastern end of the bluff, adjacent to the 1975 steps, is the City of Red Wing's Water Department Pump House No. 2 (ca. 700 E. 5th St.; GD-RWC-1378), built in 1923. Near the pump house is a modern, stone-veneered interpretive marker that explains Carlson Lime Kiln. Both the pump house and the interpretive marker are within the recommended boundaries of the National Register-eligible Barn Bluff site. (See Recommendation below.)

Around the base of the bluff, outside of the park boundaries (and outside the boundaries of the National Register-eligible site), are several other properties. These elements, listed below, do not significantly diminish the historic integrity of Barn Bluff.

Properties on the northern and eastern sides of the bluff are:

- Chicago, Milwaukee, St. Paul, & Pacific RR, built 1870 (as the St. Paul & Chicago); now Soo Line; see GD-RWC-1371
- the City's Municipal Wastewater Treatment Facility, built 1960; GD-RWC-1379 (not inventoried in this study)
- Xcel Energy's electrical generating plant, built 1948; site now includes the city's municipal wharf; GD-RWC-1374 (not inventoried in this study)
- the former Forest Products Company Office, built ca. 1910; once accompanied by a sawmill; now the Isaac Walton League Club House; GD-RWC-1377 (not inventoried in this study)
- East Fifth Street, a local street that curves around the eastern end of the bluff (not individually inventoried)

Properties on the southern and western sides of the bluff are:

- Highway 61/63, completed 1960; see GD-RWC-1448
- Bridge 9040 or the Eisenhower Bridge; completed 1960 across the Mississippi River; see GD-RWC-909
- Bridge 9103, built 1960 to carry Highway 63 over Highway 61; see GD-RWC-1387
- Bridge 9449, built 1960 to carry Highway 61/63 over East Fifth Street; see GD-RWC-1453

Gemini Research photographed the railroad, Highway 61/63, and the three bridges as part of this cultural resources study. The other sites were outside of the area likely to be affected by the Bridge 9040 improvement project and were not inventoried during this study.

### ***Historical Background***

Barn Bluff is Red Wing's best-known landmark. The bluff was an important cultural feature in the lives of early Euro-American settlers, as well as in the lives of the many generations of native people who preceded them. The bluff has served as a sacred site for burial mounds and earthworks and has been a landmark for travelers. The bluff has been a lookout, a source of quarry stone and lime, and a monolith explored by artists, writers, geologists, and tourists. Many observers have described what landscape historian Carole Zellie notes: "[Barn Bluff's] orientation to the river is particularly striking. Seen from downriver, it appears almost to stand alone in the river above Colvill Bay" (Zellie "Barn Bluff" 1989).

***Native Peoples.*** According to the Institute for Minnesota Archaeology (IMA), "At any particular time between 900 and 1300 A.D., it is likely that there were several thousand people living in the Red Wing Locality [roughly the site of present-day Red Wing], making it the most densely populated part of Minnesota during the centuries before Europeans arrived." The Institute

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

explains that people living at Red Wing may have represented the northern extension of the Mississippian people whose population center was in southwestern Illinois. The people at Red Wing may also have belonged to a related Great Lakes culture, the Oneota. According to the IMA, centuries ago people at Red Wing "constructed mounds for a variety of purposes, including burial of the dead. . . . Mounds are and were sacred places to American Indians" ("Red Wing Locality" 2003). When Euro-Americans first visited the Red Wing area, they found more than 2,000 mounds and earthworks, including several on and near Barn Bluff.

More recent Native Americans, the Mdewakanton Dakota, maintained a sizable village at the base of the western end of Barn Bluff. The bluff was called Proymueche (meaning "mountain in the water") and Hemminicha or Hham-necha (meaning "wood, water, and hill"). (For more information, see the archaeological study being conducted by Two Pines Resource Group for the Eisenhower Bridge improvement project.)

*Euro-Americans.* Barn Bluff marks the northern end of a 300-mile stretch of Mississippi River bluff land that extends from Red Wing south to Dubuque, Iowa. Some Euro-Americans called the bluff Mount LaGrange ("la grange" meaning barn in French). The bluff was an important navigational landmark and is frequently mentioned in travel accounts and diaries written by Euro-American explorers, missionaries, and travelers of the 17th, 18th, and 19th centuries (see Zellie 1989). The bluff was an inspiration to painters, illustrators, poets, and photographers. Climbing the bluff was a favorite pastime for generations of people living in the area.

With its commanding views, Barn Bluff has always been a popular lookout. Area residents climbed the bluff, for example, to wait for the sight of overland travelers. Before the first railroad was built in 1870, Red Wing was dependent on the river for most communication and transportation. Spotting the first steamboat of the spring from the top of Barn Bluff was an annual and much-anticipated event since it meant the navigation season had opened for the year.

In 1869 Barn Bluff was the site of symbolic bonfires lit by local residents to celebrate Easter following an ancient Scandinavian custom. In 1899 bonfires were lit on the bluff to mark the return of soldiers from the Spanish American War, and in 1918 fires were lit to celebrate the armistice that ended World War I (Angell 1977).

In the 1870s Barn Bluff was used for cattle grazing. In the 1930s a Civilian Conservation Corps (CCC) camp was located at the northeastern end of the bluff.

*Quarrying.* The rock that forms Barn Bluff represents at least 450 million years of geologic history. The oldest exposed stone is a layer of green Franconia sandstone, about 8' thick, visible at the base of the western end. A tan limestone called oneota dolomite – one of the bluff's more recent rock layers – is Goodhue County's best-known building material. It was quarried extensively on the bluff from 1852 to 1908 by several companies. The limestone was primarily used for building construction. It was also burned in kilns to make calcium oxide or quick lime, an ingredient in mortar, plaster, soil amendments, disinfectant, and other products.

For years local residents complained about the noise, dust, percussion, and danger from the quarries' forceful blasts. Citizens finally pressured community leaders to ban quarrying on the bluff, and the last stone was taken in 1908. In 1910 Barn Bluff became a city park.

*Park Land and Stairway.* Even before Barn Bluff became an official park, Red Wing residents tried to beautify their famous landmark and make it more accessible. In 1889, a walking trail to the

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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summit, following an historic footpath, was built by volunteers led by C. C. Webster. Residents periodically cleared Webster's Way of fallen stones in the spring and then celebrated with a picnic. In 1907 the Red Wing Civic League developed a picnic area midway up the eastern end of the bluff. In 1908 Webster's Way was reconstructed by a crew of businessmen organized by A. W. Pratt, and the trail was again maintained with an annual cleanup.

In 1929 the Red Wing Kiwanis Club built Citizens Memorial Stairway up the western end of Barn Bluff. It was said to be the longest stairway in Minnesota and was one of the most important local civic projects of the decade (Angell 1977). The stairway was designed by a Red Wing civil engineer and contractor named C. Walter Johnson. It was a 310'-long, poured concrete structure with 450 steps, 8 large landings, and 12 smaller landings. The lowest landing served as an entrance sheltered by a red ceramic tile hipped roof. Citizens Memorial Stairway was entirely funded by local subscriptions and donations, and each concrete step was imprinted with the donor's name. Minnesota Governor Theodore Christianson was the keynote speaker at the stairway's dedication on August 24, 1929, and the event was marked by a special edition of the *Red Wing Daily Republican* newspaper.

*Transportation.* Transportation systems have taken their toll on Barn Bluff. In 1870 the northern flank was altered when the railroad was constructed between the side of the bluff and the water's edge.

Eighty years later in the late 1950s, Highway 61 was realigned along the southern base of the bluff and the Eisenhower Bridge was built at its western end. The highway construction permanently altered Barn Bluff and caused hard feelings in the community that are still remembered today. In 1958, according to an article in the *Daily Republican Eagle*, "A huge portion of the south side of Barn Bluff had to be removed because of the project." According to the article, "Slashing a huge gash across the face of the bluff was deemed a necessity by engineers while construction of the new interstate bridge and approaches here was in its planning stages." The article also reports that "huge earth-moving equipment has shaved off almost the entire front portion of the bluff" and that, as part of the construction, the lower 75% of Citizens Memorial Stairway was removed (Ladner 1958). Several months later, in 1960, a large, distinctive rock formation on the western tip of the bluff – promoted in early tourist brochures as an Indian head – was removed ("No Traces" 1960; "Safety" 1961; Angell 1977). According to a 1983 source, "when the Stairway was sacrificed on the altar of traffic flow, most all of the citizens felt a distinct sense of loss" ("Red Wing's Barn Bluff" 1983).

New sets of steps built by the City of Red Wing were dedicated on June 3, 1976, and May 26, 1983.

### ***Recommendation***

Barn Bluff was individually listed on the National Register in 1990. According to the National Register nomination, "Barn Bluff is one of the best-known natural features along the Mississippi River between LaCrescent and St. Paul. It is significant for its association with the exploration of the Upper Mississippi in the 19th century, and for its association with mid-19th through early 20th-century travel, tourism, and recreation. A many-layered interpretation of the feature is evident in local legend, as well as in published historical and scientific accounts, works of art, and photography" (Zellie "Barn Bluff" 1989). The property was listed under National Register Criterion A (broad patterns of history) in the areas of Entertainment/Recreation and

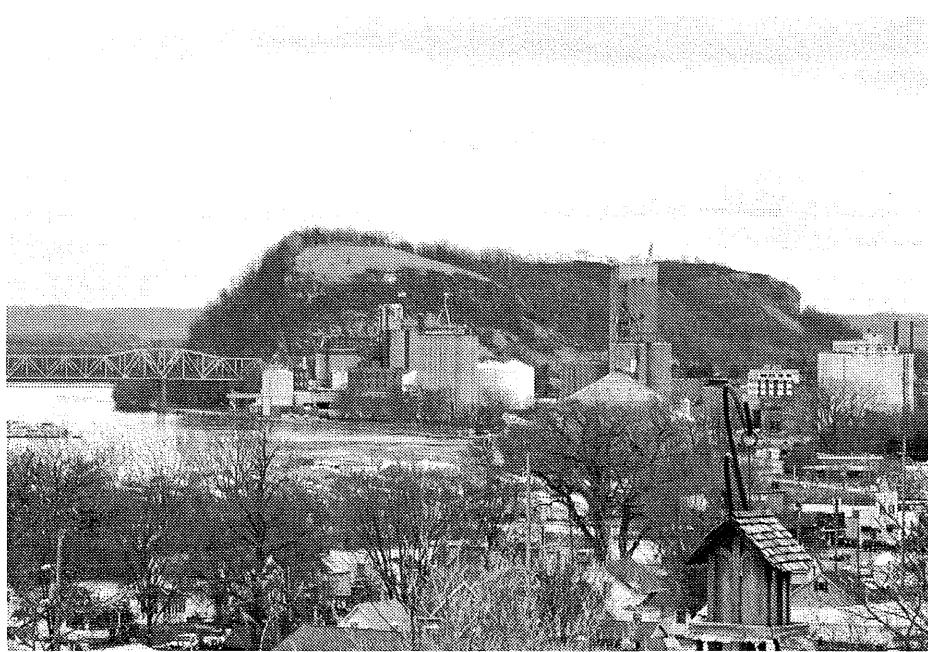
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

Exploration/Settlement. The period of significance is 1817-1939. The level of significance is Local.

The boundary of the National Register-eligible property is defined in the 1989 National Register nomination as following the 740' contour line around the bluff. Gemini Research recommends that this boundary is slightly too small and excludes resources such as the lower part of the bluff and the lower part of the steps near East Fifth Street that serve as the principal public entrance to the bluff. It is recommended that the boundaries of the eligible property be expanded to follow the boundaries of the city park.

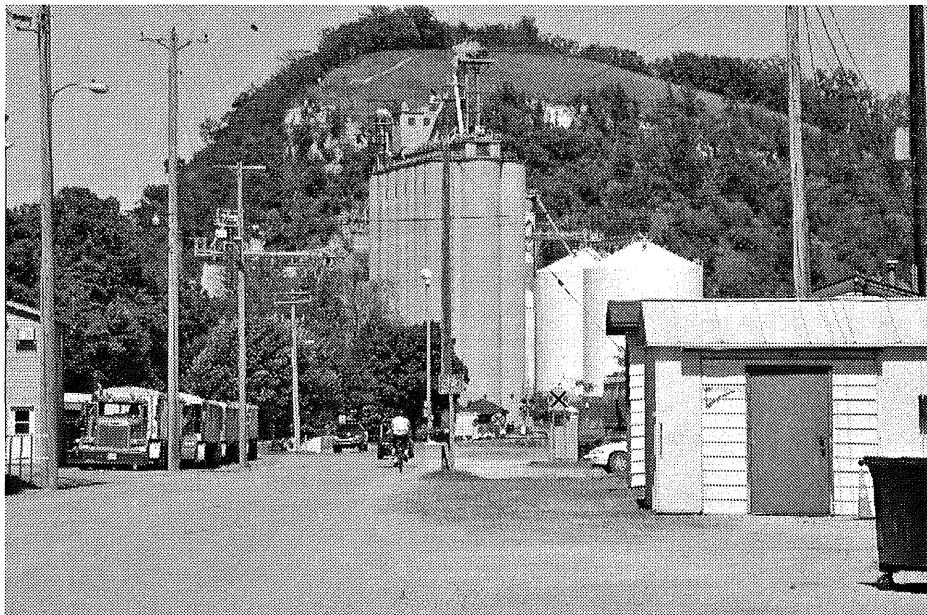


**Fig. 9.** Barn Bluff, taken from College Hill (facing NE)

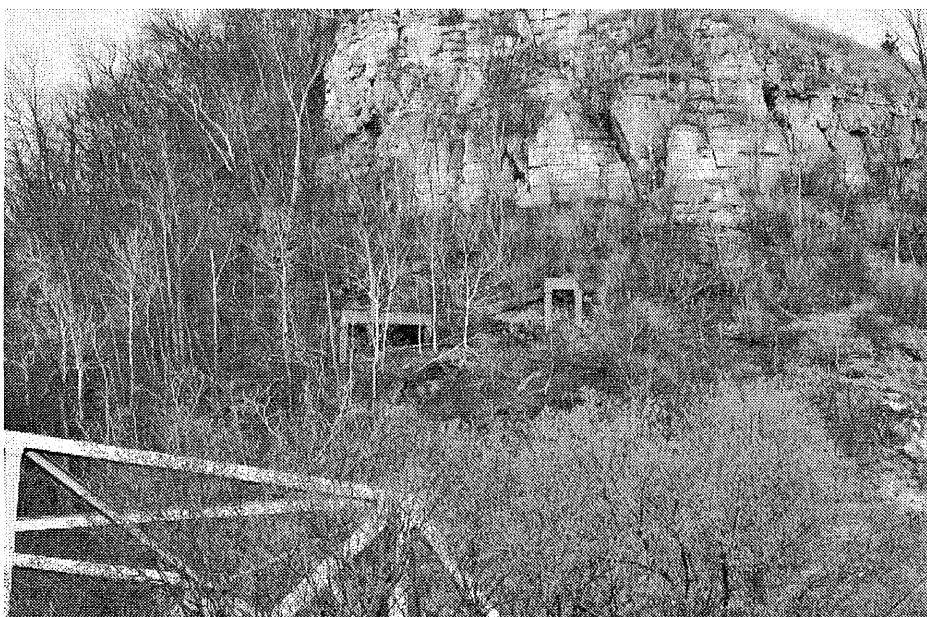
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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 10.** Barn Bluff, taken from Levee Road with ADM's concrete elevator in mid-ground (facing E)

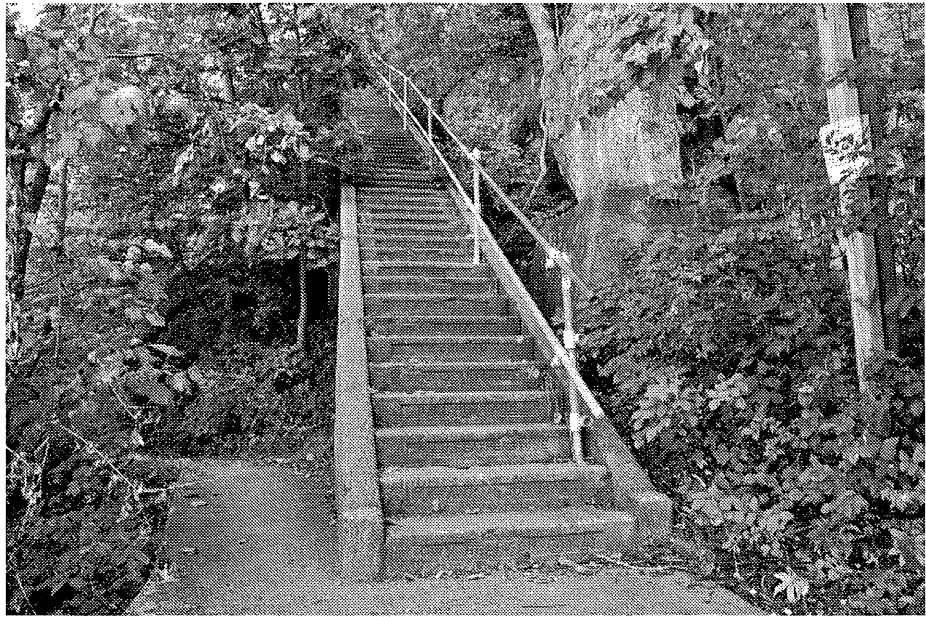


**Fig. 11.** Barn Bluff, remnants of the 1929 concrete Citizens Memorial Stairway on the west end of the bluff (facing E)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

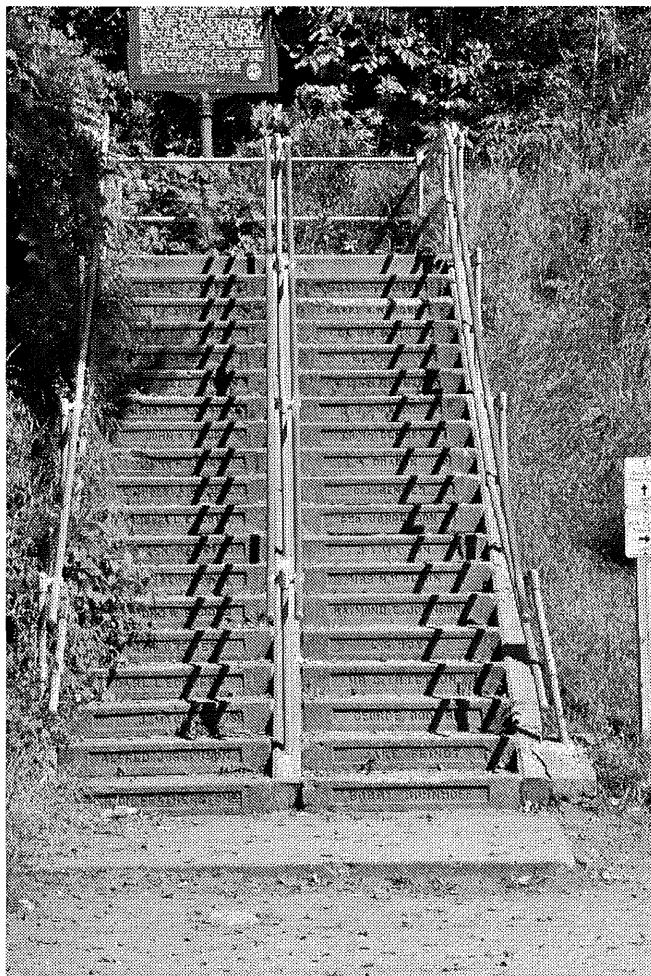


**Fig. 12.** Barn Bluff, remnant of the 1929 concrete Citizens Memorial Stairway still in use near the top of the west end of the bluff (facing E)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 13.** Barn Bluff, staircase at the base of the east end built in 1976 using steps salvaged from the 1929 staircase; this is now the public entrance to Barn Bluff (facing NW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 14.** Barn Bluff, staircase midway to the top on the southwest side built in 1982 using steps salvaged from the 1929 structure (facing E)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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### GD-RWC-1371 Soo Line RR

**Hist Name:** CMSTPP RR Corridor Hist Dist, Red Wing Seg  
**Other Name:** Soo Line Railroad  
**Built:** 1870  
**NR Status:** Eligible  
Contributing to Red Wing Mall Historic District  
**HPC Status:** In Historic Mall District

Gemini Research examined a 4,000'-long segment of the former Chicago, Milwaukee, St. Paul, and Pacific Railroad (built in 1870 as the St. Paul and Chicago; now the Soo Line) located near downtown Red Wing. The railroad corridor is aligned roughly east-west and passes through northern Red Wing, close to the bank of the Mississippi River (Figs. 5, 7). The Red Wing Segment of the railroad extends from the west to east city limits.

The railroad is still in use. Ties, ballast, rails, signalling and switching equipment, and other structures are in place. There are two sets of main-line tracks, various sidings, and portions of spurs that leave the railroad right-of-way and enter private property. Near Bridge 9040, approximately four sets of tracks (two main tracks and two sidings) curve around the northwestern corner of Barn Bluff.

The railroad freight depot stood on the southern side of the tracks west of Broad Street where a remnant of its brick platform survives (Fig. 18). The passenger depot still stands on the southern side of the tracks east of Broad Street. (See the Chicago, Milwaukee, and St. Paul passenger depot (GD-RWC-106) and a nearby pump house (GD-RWC-1373). These two properties were inventoried separately.)

#### *Historical Background*

This railroad was the first line to provide train service to Red Wing and the second railroad to connect Chicago and the Twin Cities. It was built in 1870 as the St. Paul and Chicago. In 1874 it became the Chicago, Milwaukee, and St. Paul, and in 1926 it became the Chicago, Milwaukee, St. Paul, and Pacific (CMSTPP), nicknamed the Milwaukee Road.

Between the late 19th century and the mid-1950s, this line was one of the state's leading carriers, hauling passengers, agricultural products, industrial materials, and all manner of commercial goods along the Twin-Cities-to-Chicago corridor. This service superceded (and was a significant improvement over) steamboat service on the Mississippi River, and played a substantial role in the economic development of Red Wing and a much larger region.

This railroad was originally built southward, reaching Red Wing from Hastings in September 1870. The following construction season, in 1871, a set of connecting tracks arrived in Red Wing from the south.

With lines throughout southern Minnesota, the Chicago, Milwaukee, and St. Paul (later CMSTPP) was one of the state's major carriers of agricultural products. It played a leading role in supplying Minneapolis flour mills with wheat, and served southern Minnesota's grain elevators, stockyards, meat packing plants, and canning factories. The railroad also carried people, lumber, farm machinery, and commercial goods westward to newly-settled parts of the state. In 1906 the company built a second set of tracks on the Twin-Cities-to-Chicago line through Red Wing to help

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

accommodate the high volume of traffic. In 1909 one of the company's subsidiary lines reached the West Coast, further increasing the railroad's business (Schmidt et al. MPDF 2007).

In the 1930s, railroads nationwide faced increasing competition from automobiles and trucks, and the CMSTPP, like others, declared bankruptcy in the middle of that decade. The company recovered during World War II and remained profitable into the 1950s. It declared bankruptcy again in 1977 and was sold to the Soo Line, its current owner, in 1985 (Schmidt et al. MPDF 2007). The Soo Line still operates the line through Red Wing and is now a subsidiary of the Canadian Pacific.

### ***Recommendation***

The Minnesota State Historic Preservation Office (MnSHPO) has already determined that this railroad line between the Twin Cities and the point south of Winona where it crosses the Mississippi River is eligible for the National Register.

The railroad line meets the National Register eligibility requirements established in a statewide historic context document prepared in 2007 by MnDOT consultants in cooperation with the MnSHPO (Schmidt et al. MPDF 2007). In particular, the line meets the historic context's Requirement 3 under National Register Criterion A (broad patterns of history), which states that a railroad line is eligible if it "was an influential component of the state's railroad network, or it made important early connections within the network or with other modes of transportation. . . [An] example of a significant railroad corridor historic district would be an early railroad corridor connection between the Twin Cities and Duluth or Chicago" (Schmidt et al. MPDF 2007: F.195).

Following the guidance of the historic context document, Gemini Research recommends that the CMSTPP Railroad in Red Wing be treated as a railroad corridor historic district, defined by the context study as a "substantive concentration of railroad-related buildings and structures that were built and operated within a railroad right-of-way in Minnesota between the years 1862 and 1956" (Schmidt et al. MPDF 2007: F.194). This would include resources such as railroad right-of-way land, main-line tracks, track sidings, equipment for switching and signalling, the passenger depot, the pump house, and bridges.

The proposed CMSTPP Railroad Corridor Historic District in Red Wing retains sufficient historic physical integrity to be eligible for the National Register. The proposed historic district meets National Register Criterion A in the area of Transportation. The recommended period of significance is 1870-1956. The level of significance is State. It is recommended that the boundaries of the proposed district encompass the historic railroad right-of-way within the city of Red Wing, including tracks, sidings, bridges, and the former passenger depot and pump house. (See Map 9). Areas or structures that have lost physical integrity should be considered Noncontributing to the historic district or, if appropriately situated, should be excluded from the historic district boundaries. Segments of rail spurs on private property should probably be excluded from the historic district, but further research and analysis is needed.

The segment of the CMSTPP Railroad between about Dakota and Bush Streets is also a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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A longer segment of the railroad – between about Dakota and Bluff Streets – is also located within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



**Fig. 15. Soo Line RR. CMSTPP RR Corridor Hist Dist, Red Wing Seg, on the north side of Barn Bluff (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 16. Soo Line RR. CMSTPP RR Corridor Hist Dist, Red Wing Seg, on the north side of Barn Bluff (facing NE)**



**Fig. 17. Soo Line RR. CMSTPP RR Corridor Hist Dist, Red Wing Seg, at the former Red Wing Milling (now ADM) (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 18. Soo Line RR. CMSTPP RR Corridor Hist Dist, Red Wing Seg, brick paving at the site of the razed freight depot on the west side of Broad Street (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

### GD-RWC-1452

**Hist Name:** Mississippi River 9' Channel, R W Seg  
**Built:** 1930-1948  
**NR Status:** Need More Information  
Noncontributing to Red Wing Mall Historic District  
**HPC Status:** In Historic Mall District

During this Phase I cultural resources study, Gemini Research examined an approximately one-mile segment of the Mississippi River Nine-Foot Channel between about Cleveland and Bluff Streets. (See Map 6.)

The Red Wing Segment of the Mississippi River Nine-Foot Channel is defined for these purposes as extending for about 10 miles along the Mississippi River from the west to east city limits of Red Wing, and from the Minnesota to Wisconsin banks of the river. The recommended boundaries of the property exclude the river's side channels, marshes, and harbors not built as part of the Nine-Foot Channel project (Figs. 2, 7).

The northern part of the Red Wing Segment of Mississippi River Nine-Foot Channel is located in Wisconsin because the property as defined herein extends to the Wisconsin bank of the river.

The Red Wing Segment of the Nine-Foot Channel overlaps another inventoried property, the Red Wing Harbor and Levee (Levee Road; GD-RWC-1424; see Map 7). (See that property.)

The Nine-Foot navigation channel was built by the U.S. Army Corps of Engineers. It extends for 670 miles along the Upper Mississippi from St. Paul to St. Louis. The "channel" is not simply a dredged trench, but a stair-stepped series of dammed pools created by 27 locks and dams, most built between 1930 and 1940. The locks and dams "transform the gently sloping river into an aquatic staircase" with a central, marked, navigable passage or channel that is a minimum of 9' deep (Anfinson *River We Have Wrought* 2003: 271).

Before construction of the Nine-Foot Channel, the Upper Mississippi was more narrow and fast-moving. In most places it had a clearly-defined main channel. Construction of the Nine-Foot Channel transformed it "to a broad, often slow-moving river in which the navigation channel is difficult to identify unless you can read navigation buoys" (Anfinson *River We Have Wrought* 2003: 275). In Red Wing, the river was about 600' wide before construction of the locks and dams. After construction, the river at Red Wing sometimes spreads to 2 1/2 miles across (O'Brien et al. 1992).

#### ***Historical Background***

The Mississippi River Nine-Foot Navigation Channel was built in 1930-1940, with additional work completed in 1948 (O'Brien et al. 1992). (Figures 2, 7.)

Commercial traffic on the Upper Mississippi River was busy during the early Euro-American settlement period, but began to decline around 1880 after railroads were built along the river corridor. Many proposals to make the shallow river more navigable were advanced throughout the late 19th and early 20th centuries. The U.S. Army Corps of Engineers built hundreds of small dams to raise water levels and continually dredged and cleared sections of the river. By 1907 Congress had approved programs to achieve 4-foot-deep, 4 1/2-foot-deep, and 6-foot-deep

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## **BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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navigation channels. Some were not fully funded or constructed, and in general the projects met with limited success (*Anfinson River We Have Wrought* 2003).

After years of planning and controversy, Congress finally authorized construction of the Nine-Foot Channel in July 1930. The project was strongly supported by Minnesota politicians and by industries that would potentially ship on the river. It was opposed by railroad companies which feared the business competition that would result from revitalized river traffic, and by environmentalists deeply concerned about permanent changes in river ecosystems. In the summer of 1930 the Army Corps began to finalize planning that had begun around 1927 and negotiated to acquire land (*Anfinson River We Have Wrought* 2003).

Actual construction began during the summer of 1933. Funding came from a number of federal Depression-relief agencies including the Public Works Administration (PWA). Thousands of unemployed men were hired through the New Deal's Works Progress Administration (WPA). One of the 27 locks and dams, Number 3, was completed in 1938 at Prairie Island immediately above Red Wing. In March of 1940 the last of the locks and dams authorized in the July 1930 bill was operable (*Anfinson River We Have Wrought* 2003).

With completion of the Nine-Foot Channel, the potential for increased river traffic brought new economic development to river cities like Red Wing. Harbor and terminal facilities were built, and new welded steel barges and more powerful diesel-powered towboats began to move large quantities of goods and materials.

### ***Recommendation***

In several states along the Upper Mississippi, Nine-Foot Channel locks and dams have already been determined to be eligible for the National Register. These include Lock and Dam Number 3 above Red Wing, which was determined eligible in 1986. It is not yet known how much of the Nine-Foot Channel outside of the locks and dams has been evaluated for the National Register.

The Red Wing Segment of the Mississippi River Nine-Foot Channel may be significant under National Register Criterion A (broad patterns of history). It is likely significant under the statewide historic context "Federal Relief Construction in Minnesota, 1933-1943." It is recommended that the Red Wing Segment of the Nine-Foot Channel merits and requires further research and evaluation to determine its National Register eligibility.

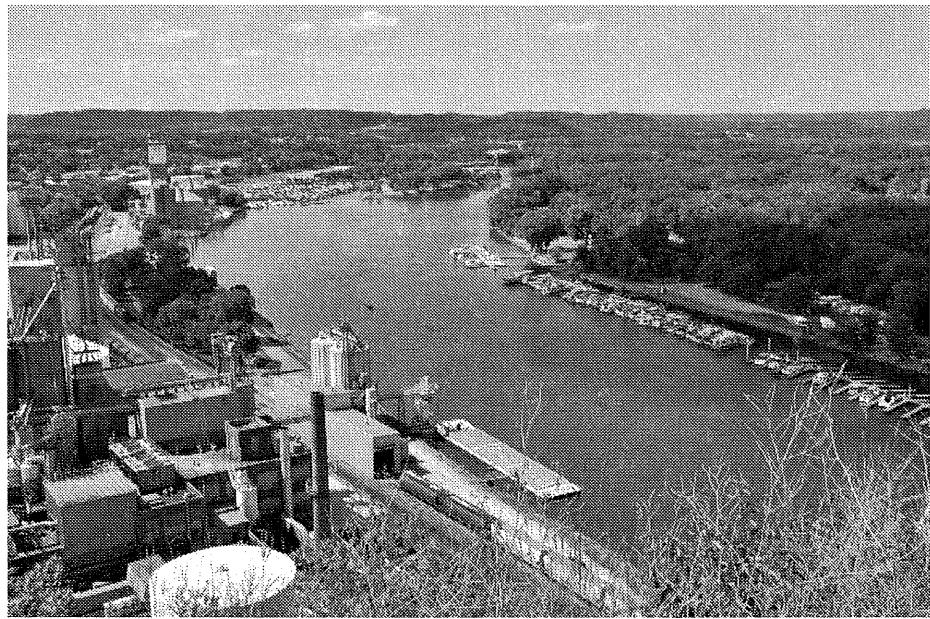
A very narrow southern slice of the Red Wing Segment of the Nine-Foot Channel – the part that comprises the bank of the Mississippi between approximately Dakota and Potter Streets – is located within the Red Wing Mall Historic District, which was listed on the National Register in 1980. It is likely Noncontributing to the district. (See also the Red Wing Harbor and Levee (GD-RWC-1424) which Contributes to the district.) See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

Similarly, a narrow, but five-block-long, slice of the Red Wing Segment of the Nine-Foot Channel – the river bank between approximately Dakota and Bluff Streets – is within the local Historic Mall District, a historic district designated by the City. (See Map 3.)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 19.** Mississippi River 9' Channel, R W Seg, taken from the top of Barn Bluff; see also Map 6 in this report (facing W)

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## **BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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### **GD-RWC-1424 Levee Rd**

**Hist Name:** **Red Wing Harbor and Levee**

**Built:** 1850s-1990s

**NR Status:** Need More Information

Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

The Red Wing Harbor and Levee, for the purposes of this cultural resources inventory, is the segment of the Mississippi River and riverbank that served as the port of Red Wing and where boats historically were landed, loaded, unloaded, and moored.

The Harbor and Levee is provisionally defined as extending along the southern bank of the Mississippi River from about Cleveland Street on the west to Bluff Street on the east, a distance of about 19 blocks. The Harbor and Levee is also provisionally defined as extending from the riverbank northward into the Mississippi to the current Red Wing city limits, which are located at the middle of the main river channel. (This municipal boundary is also the Minnesota state line.) More research is needed to refine these limits. (See Map 7.)

The Red Wing Harbor and Levee overlaps five other inventoried properties: the Mississippi River Nine-Foot Channel, Red Wing Segment (Mississippi River; GD-RWC-1452; see Map 6); the Red Wing Yacht Club (on Levee Road; GD-RWC-281); Burdick Grain Company Terminal Elevator (on Levee Road; GD-RWC-1383); Levee Park (on Levee Street; GD-RWC-111); and present-day Archer Daniels Midland (ADM) (on Potter Street; GD-RWC-018 and GD-RWC-1450). (See those properties.)

At the time of early Euro-American settlement and for many decades thereafter, the Mississippi River was Red Wing's principal transportation and communication conduit, and the Red Wing Harbor and Levee was arguably the most important location in the community. After the 1880s, commercial boat traffic declined but it remained important enough that the City of Red Wing substantially improved a steamboat landing east of Broad Street in 1904-1906. Barge and boat traffic increased after 1940 when the federal government completed the Mississippi River Nine-foot Channel (GD-RWC-1452). In addition to commercial-industrial traffic, the Red Wing Harbor and Levee has been historically important for recreational boats and residential houseboats.

Some of the major features of the Red Wing Harbor and Levee are the following, listed from west to east:

#### *Upper Harbor or Industrial Harbor*

Upper Harbor, located west of the Bay Point Park entrance road (Bay Point Drive), served as Red Wing's industrial-commercial harbor from the 1950s until a few years ago. The industrial harbor was created in 1956-1958, and was a narrow, angled bay on the southwestern side of present-day Bay Point Park. In 1962 it was expanded into a triangular shape and two large bulkheads for loading and berthing (extant) were built on the southern edge (on the northern side of Levee Road west of Clay Street). Industrial use of Upper Harbor is now being reduced or phased out. Upper Harbor is now used primarily for small boats and is home to a City-owned marina (the western unit of Ole Miss Marina) on the southwestern side of Bay Point Park.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

Bay Point Park and its entrance causeway (Bay Point Drive) separate Upper Harbor from Vogel Harbor, described next.

### *Lower Harbor or Vogel Harbor*

Lower Harbor or Vogel Harbor is located east of the entrance road to Bay Point Park. Prior to 1911 many of Red Wing's small recreational boats and houseboats were moored near the foot of Broad Street downtown (see the former Small Boat Harbor below). After 1911 many were moved to Lower Harbor, including those of the Red Wing Yacht Club.

The harbor was improved in 1947 soon after World War II. Today, on the eastern edge of the harbor is a substantial poured concrete retaining wall (circa 1930s), and on the northern side is a retaining wall of unknown age made of dry-laid courses of salvaged concrete.

Most of the harbor is occupied by the booms or piers of the Red Wing Yacht Club, which was inventoried separately (see Red Wing Yacht Club at ca. 1300 Levee Rd.; GD-RWC-281). The northeastern part of the harbor is occupied by the piers of a private business called Red Wing Marina at 918 Levee Road. The harbor was named for Arnold F. Vogel in 1999.

### *Burdick Grain Company Terminal, now Red Wing Grain Company*

East of the Lower or Vogel Harbor is a wharf and grain terminal built in 1955 by Burdick Grain Company. The Burdick Grain Company Terminal Elevator, now Red Wing Grain Company, was inventoried separately (see 810 Levee Rd.; GD-RWC-1383). Along the northern edge of the facility is a sheet-piling wharf or wall dock aligned east-west. The terminal is still in use.

### *Former Small Boat Harbor*

East of the former Burdick Grain Company, and west of Broad Street, is a 1 1/2-block-long harbor. The eastern part, closest to the foot of Broad Street is the city's former Small Boat Harbor. Historically this was the site of a small natural bay created by the waters of a river called Jordan Creek which emptied into the Mississippi River at this spot. The natural bay served as a harbor for the Mdewakanton Dakota village at Red Wing. Euro-American residents of Red Wing used the bay for their own small boats. The Small Boat Harbor was improved by the City of Red Wing in 1941. The shape of the area was changed in 1955 when Burdick Grain Company built its terminal elevator and wharf, and the small harbor was essentially expanded to the west.

Today at the eastern end of the harbor (aligned roughly with the western curb line of Broad Street) is an approximately 15'-long remnant of a mortared stone wall or wharf structure. Most of the harbor is riprapped with boulders and large chunks of limestone rubble.

### *Red Wing Levee or Wharf*

The four-block-long area from Broad to Bluff Streets is the stretch of the harbor that was most often visited by the public. It is the area identified as "Steamboat Landing" and "Levee" on the original plat of Red Wing and on early Sanborn insurance maps. It is also the area where the City built a new wharf or levee wall in 1904-1906, as well as an adjacent three-block-long park called Levee Park. Today it is the area most often called Red Wing's "levee."

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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Until 1904-1906, the area between Broad and Bluff Streets consisted of earthen or gravel banks of variable width (Fig. 4). The area was populated with piers, sheds, and other small structures and was often strewn with debris.

In 1903 the Red Wing Civic League was organized, and the levee area east of Broad Street became an early target for League improvement. The levee clean-up project coincided with the Chicago, Milwaukee, and St. Paul Railroad's construction of a new passenger depot (see 418-420 Levee St.; GD-RWC-106). As part of the project, between 1904 and 1906, the City built a three-block-long poured concrete wharf or levee wall between Broad and Potter Streets (Figs. 5-6). A new city park called Levee Park was also built (see 432 Levee St.; GD-RWC-111).

The three-block-long levee wall, completed in 1906, was replaced circa 1990 by the current two-block-long steel sheet-piling and concrete wharf (also called a wall dock or bulkhead) that extends from Broad to Plum Streets. Across the top of the 600'-long wharf is a steel cap on which steel mooring cleats are mounted at about 15' intervals. The eastern two blocks of the levee area, between Plum and Bluff Streets, are riprapped with dumped rock. The private barge terminal of Archer-Daniels-Midland Company (113 Potter St.; GD-RWC-018 and GD-RWC-1450) is located between Potter and Bluff Streets.

### ***Historical Background***

The first steamboat landed at the Red Wing harbor in 1850. By 1857, 924 steamboats landed at Red Wing during the season. This river traffic served the population of Red Wing as well as a large part of southeastern Minnesota that was connected to Red Wing by early roads.

By the 1860s regional grain harvests were overwhelming steamboat capacity and the steamboats began pushing barges (*Antinom River We Have wrought* 2003: 6). The U.S. Army Corps of Engineers began dredging and clearing sections of the Upper Mississippi to improve commercial navigation in 1866. In 1873 Red Wing was called the busiest wheat-shipping port in the world.

Railroads built along the river corridor in the 1860s and 1870s initially stimulated even more steamboat traffic, but by the mid-1890s the efficiency and reliability of trains had out-competed river traffic to the point that only two packets per week stopped at Red Wing's port. Commercial river traffic increased somewhat during World War I, but it was not until 1940 when the Army Corps of Engineers completed a nine-foot-deep navigation channel (GD-RWC-1452) that commercial barge traffic again increased. Revitalized river traffic brought new harbors, grain terminals, and economic development to Red Wing and other river cities.

### ***Recommendation***

The 19-block-long Red Wing Harbor and Levee, extending from about Cleveland to Bluff Streets, was historically the port of Red Wing and the place where commercial and recreational boats were moored, loaded, and unloaded. Until the 1870s the Mississippi River was Red Wing's major portal to the outside world, and even after railroads superceded steamboats the harbor and levee were economically and culturally important to the town. The property may be significant under National Register Criterion A (broad patterns of history). It is not clear whether it retains sufficient historic integrity to meet National Register guidelines. It is recommended that the Red Wing Harbor and Levee merits and requires further research and evaluation to determine its individual National Register eligibility.

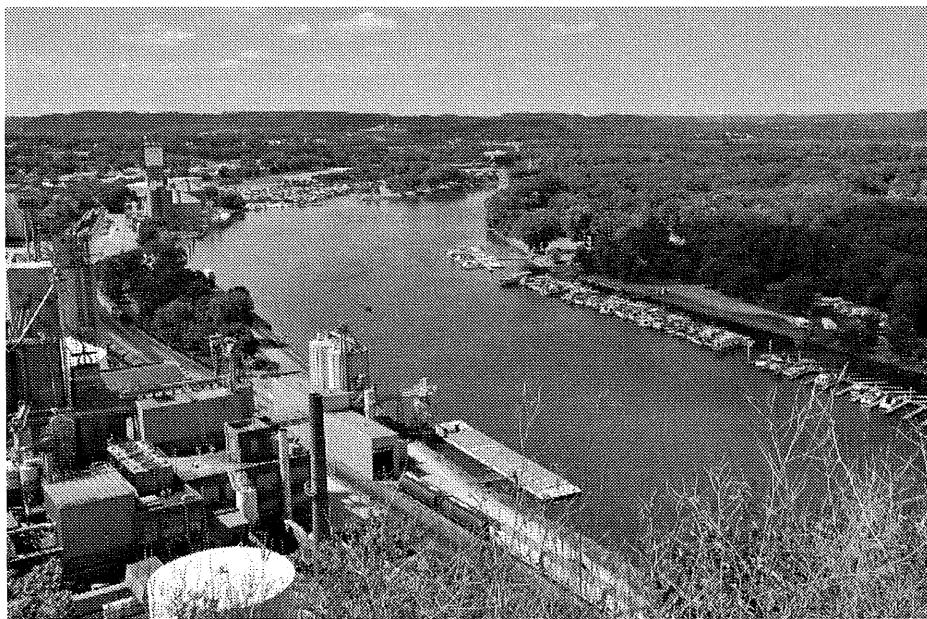
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

A narrow southern slice of the Red Wing Harbor and Levee – the part that comprises the bank of the Mississippi River between approximately Dakota and Potter Streets – is technically located within the Red Wing Mall Historic District, which was listed on the National Register in 1980. It Contributes to that district. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

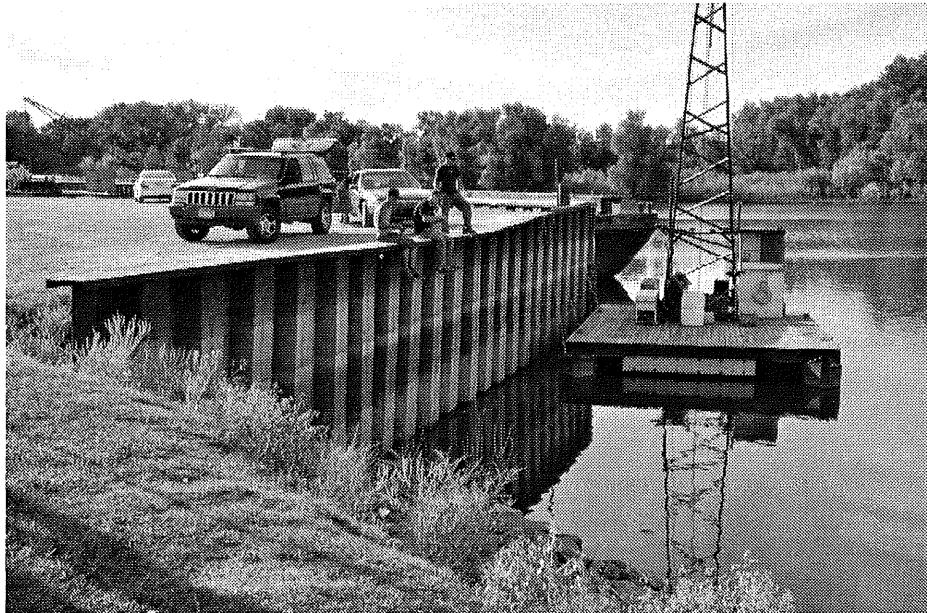
Similarly, a narrow southern slice of the Red Wing Harbor and Levee – the part that comprises the bank of the Mississippi River between approximately Dakota and Bluff Streets – is located within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



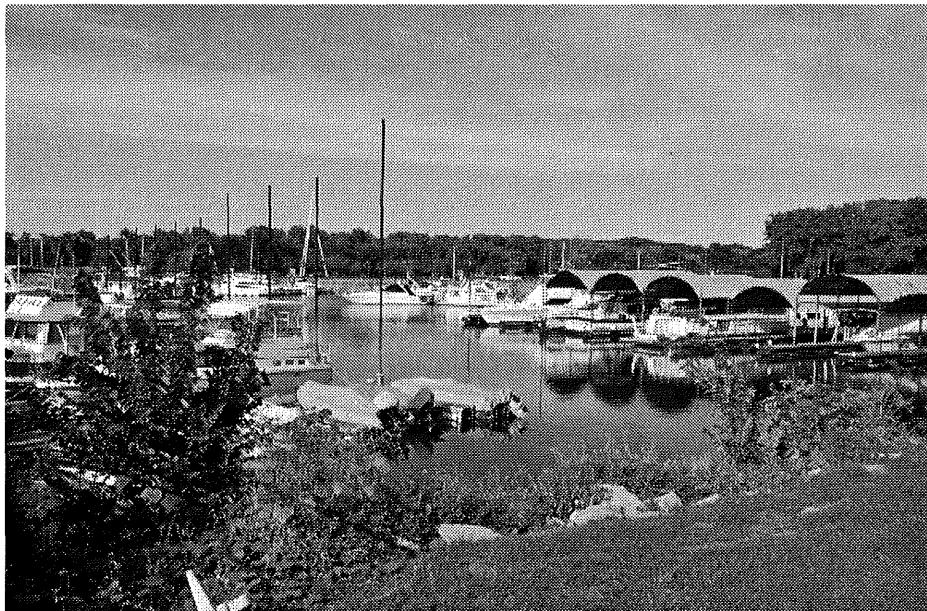
**Fig. 20. Levee Rd.** Red Wing Harbor and Levee, from the top of Barn Bluff; see also Map 7 in this report (facing W)

**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 21. Levee Rd.** Red Wing Harbor and Levee, bulkhead (built 1962) in Upper or Industrial Harbor (facing W)

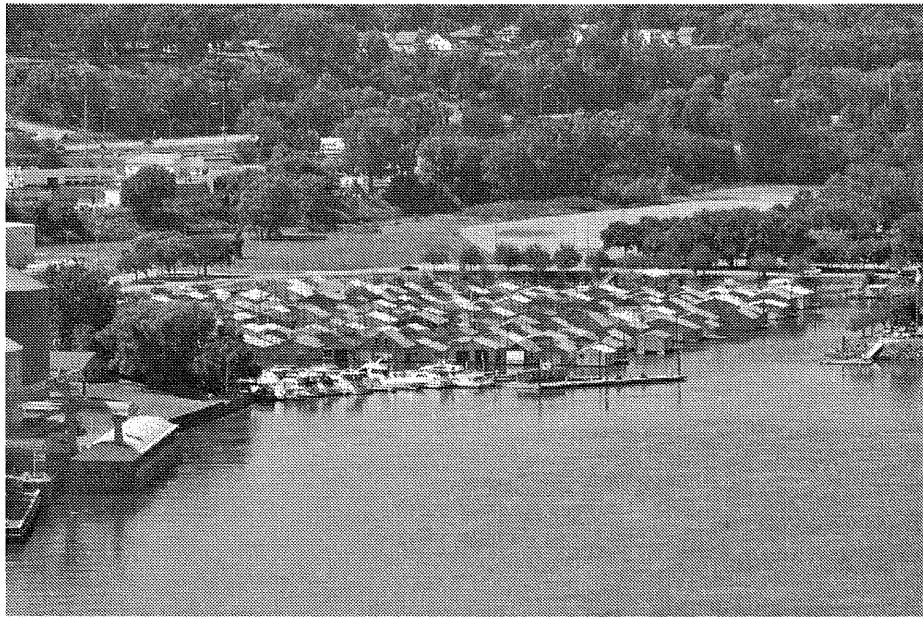


**Fig. 22. Levee Rd.** Red Wing Harbor and Levee, part of the City-owned Ole Miss Marina in Upper Harbor (facing NE)

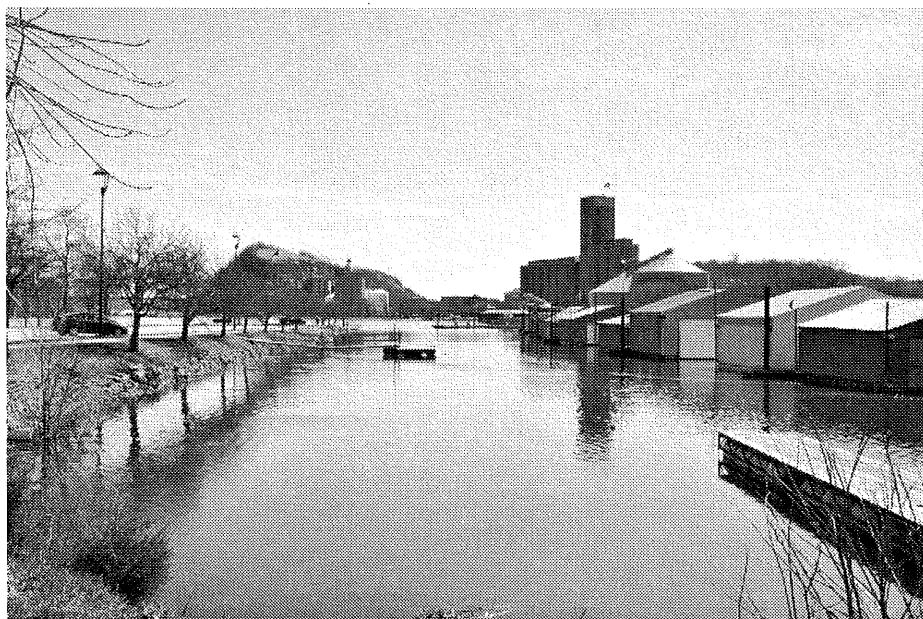
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



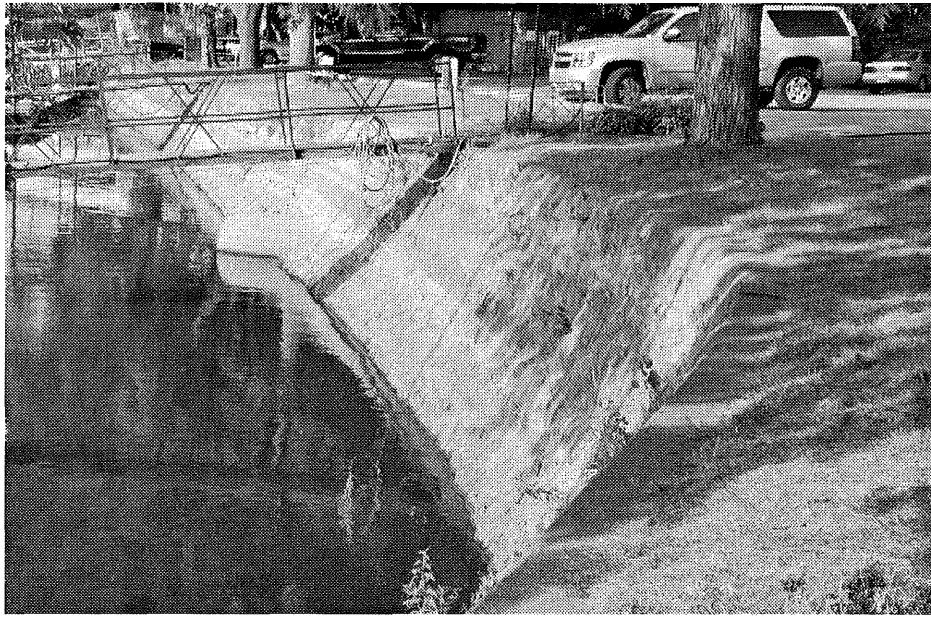
**Fig. 23. Levee Rd.** Red Wing Harbor and Levee, Lower or Vogel Harbor, home of the Red Wing Yacht Club (facing W)



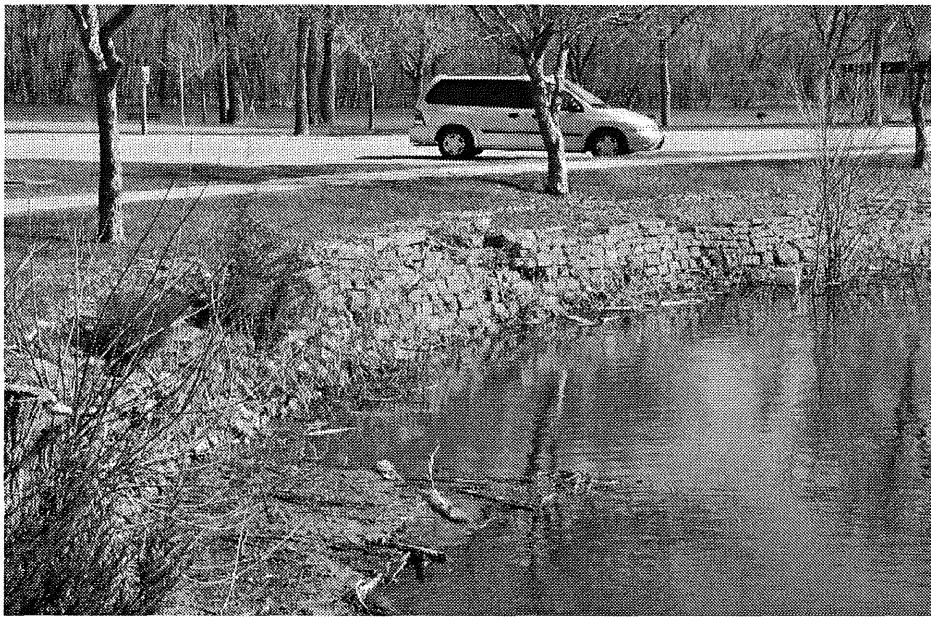
**Fig. 24.** Levee Rd. Red Wing Harbor and Levee, Lower or Vogel Harbor from the entrance drive to Bay Point Park (Barn Bluff and the former Burdick Grain are in the distance) (facing E)

**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 25. Levee Rd.** Red Wing Harbor and Levee, poured concrete retaining wall (circa 1930s) on the southeast edge of Lower or Vogel Harbor (facing NE)



**Fig. 26. Levee Rd.** Red Wing Harbor and Levee, retaining wall of dry laid salvaged concrete on the north edge of Vogel Harbor (facing N)

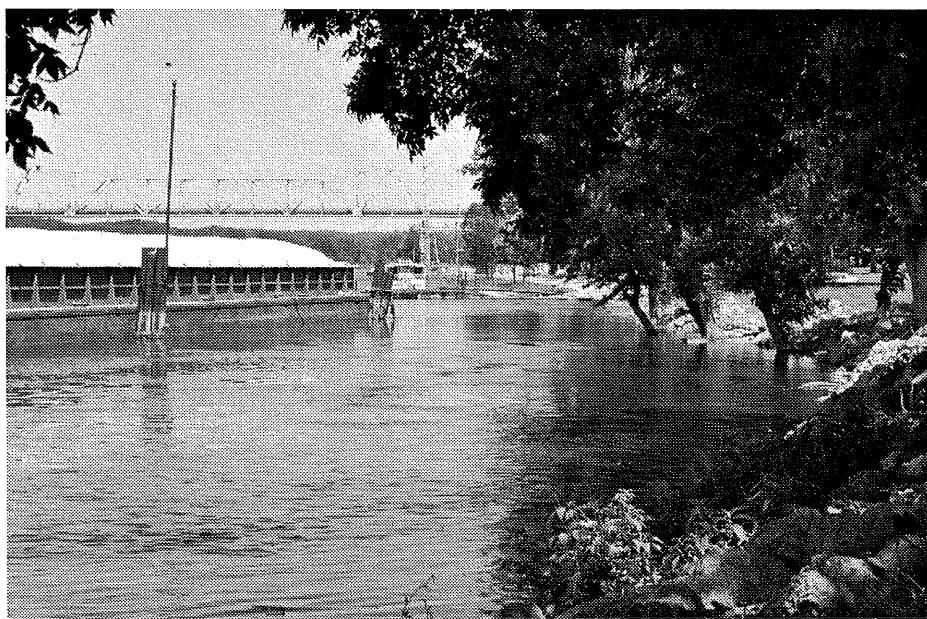
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 27. Levee Rd.** Red Wing Harbor and Levee, tug at former Burdick Grain Company Terminal wharf (facing N)



**Fig. 28. Levee Rd.** Red Wing Harbor and Levee, grain barge moored in former Small Boat Harbor west of Broad Street (facing NE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 29. Levee Rd.** Red Wing Harbor and Levee, mortared stone wall or wharf structure at the east end of the former Small Boat Harbor near the foot of Broad Street (facing NE)

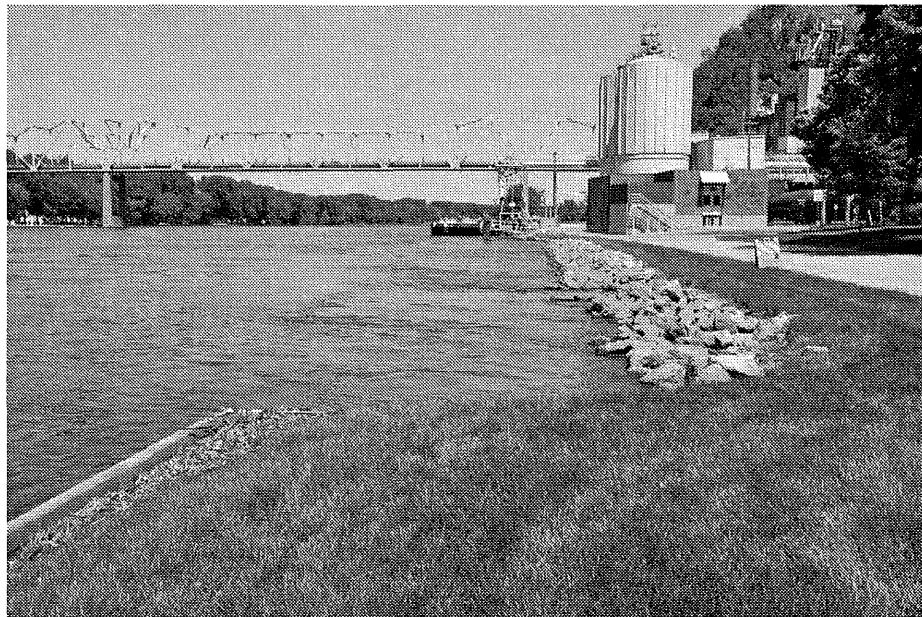


**Fig. 30. Levee Rd.** Red Wing Harbor and Levee, modern 600'-long steel sheet-piling wharf or wall dock with concrete deck located just east of Broad Street (the edge of the wharf is under high water in this photo) (facing NE)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 31. Levee Rd.** Red Wing Harbor and Levee, eastern two blocks between Plum and Bluff Streets which are riprapped with dumped rock (facing NE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-380 135 3rd St. E**

**Hist Name: Brugge House**

**Built: ca. 1865**

**NR Status: Not Eligible**

**HPC Status:**

This house is located just south of Barn Bluff. Alterations include vinyl siding, changes to window openings, and porch changes. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 32. 135 3rd St. E. Brugge House (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-381 141 3rd St. E**

**Hist Name:** Olson House

**Built:** ca. 1875

**NR Status:** Not Eligible

**HPC Status:**

The Olson House is located just south of Barn Bluff. It has many alterations including window sash replacement, an enclosed porch, and the removal and covering of architectural details. The house is too altered to meet National Register integrity requirements.



**Fig. 33. 141 3rd St. E. Olson House (facing S)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-382 147 3rd St. E**

**Hist Name: Anderson House**

**Built: ca. 1875**

**NR Status: Not Eligible**

**HPC Status:**

The Anderson House, located just south of Barn Bluff, is a modest house with significant alterations that include siding, window sash replacement, and porch changes. In addition, architectural details have been covered and/or removed. The house is too altered to meet National Register integrity requirements.



**Fig. 34. 147 3rd St. E. Anderson House (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1389 153 3rd St. E**

**Hist Name:** House  
**Built:** ca. 1920  
**NR Status:** Not Eligible  
**HPC Status:**

This Craftsman-style house was probably moved to its current site just south of Barn Bluff, evidently after 1986. Its many exterior changes include an enclosed porch, timber front stoop added, and a rear deck added. The property is too altered to meet National Register integrity requirements.

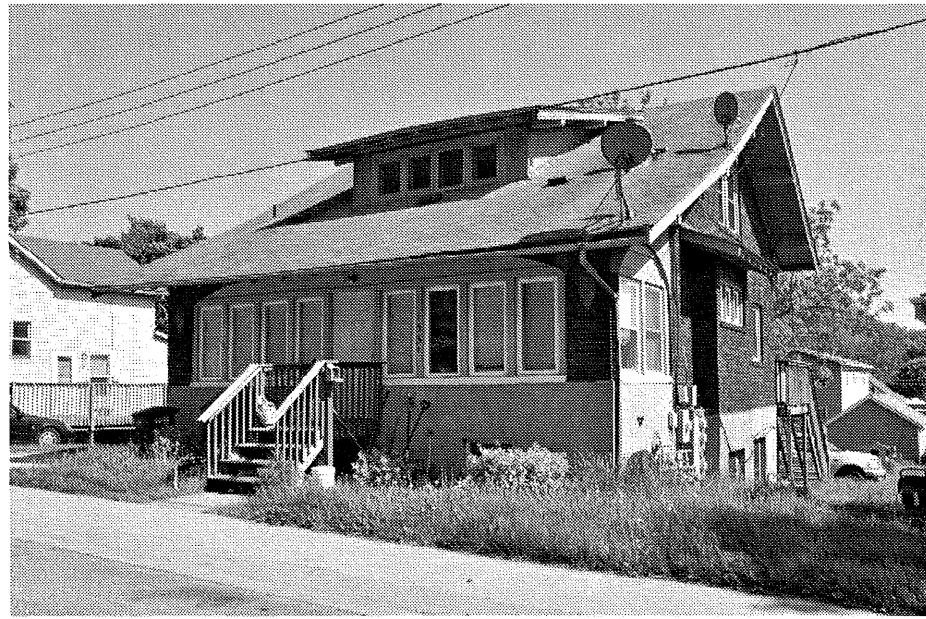


Fig. 35. 153 3rd St. E. House (facing SE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-383 157 3rd St. E**

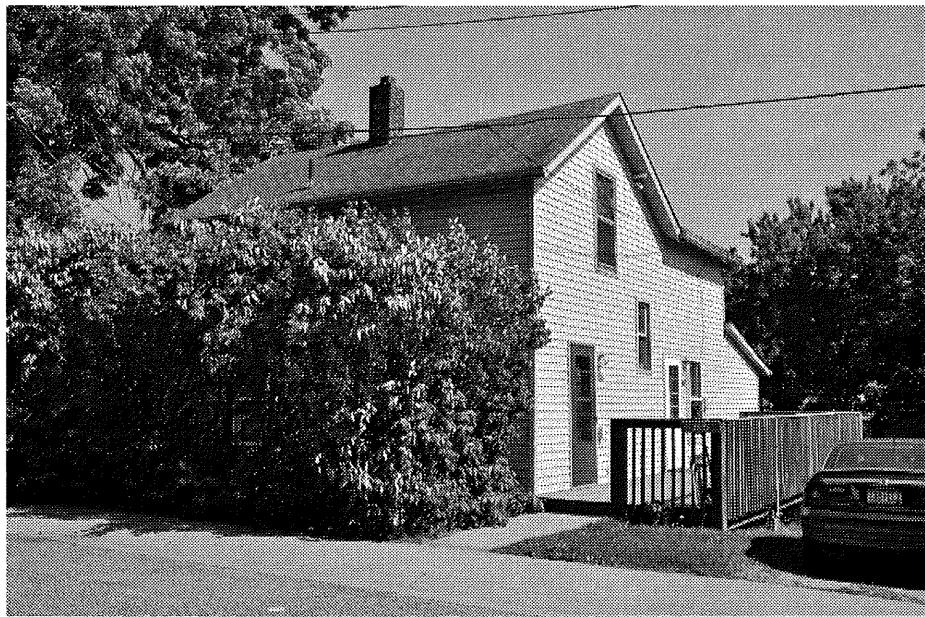
**Hist Name: Sundell House**

**Built: ca. 1870**

**NR Status: Not Eligible**

**HPC Status:**

The Sundell House is located just south of Barn Bluff. It has many alterations including vinyl siding, changes to door and window openings, and additions. Architectural details have been covered and/or removed. The house is too altered to meet National Register integrity requirements.



**Fig. 36. 157 3rd St. E. Sundell House (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-008 219-221 3rd St. W**

**Hist Name:** **Kappel Wagon Works**

**Other Name:** Knudsen's Cheesecake

**Built:** 1875

**NR Status:** Listed

Contributing to Potential Red Wing Commercial Historic District

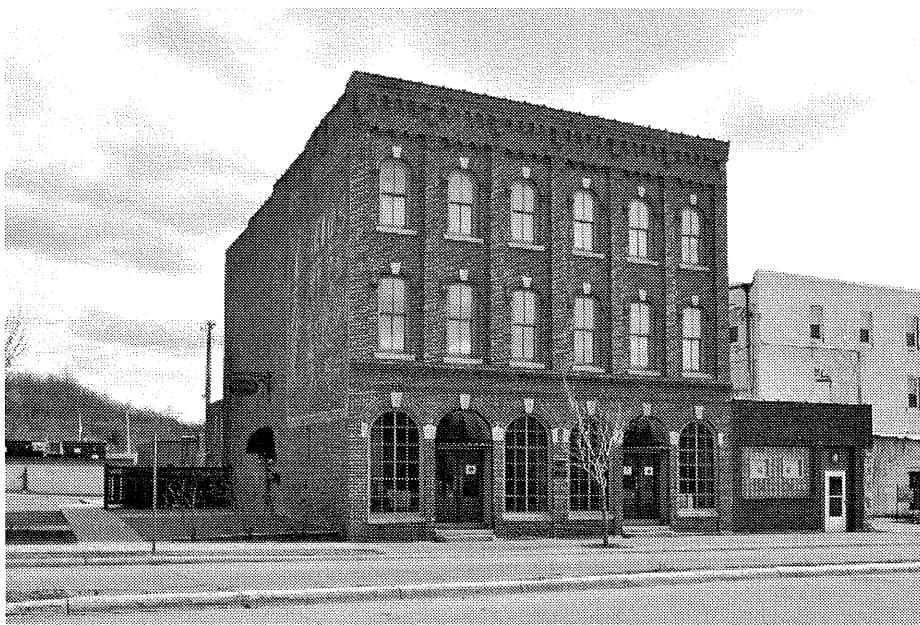
**HPC Status:** In Downtown Historic District

Kappel Wagon Works was built in 1875 to house the largest of one of Red Wing's several wagon factories. The business was started in 1865 in a woodframe building that was replaced by this larger brick and limestone structure. Faded painted advertising lettering on the eastern elevation includes the words "wagon and carriage shop." The exterior retains good historic integrity.

Kappel Wagon Works was individually listed on the National Register in 1979. It was listed under National Register Criteria A (broad patterns of history) and C (architecture) in the areas of Commerce and Architecture. The level of significance is Local.

Kappel Wagon Works is also a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. For more information, see Potential Red Wing Commercial Historic District (GD-RWC-1451) in Chapter 3. (See Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 37. 219-221 3rd St. W. Kappel Wagon Works (facing S)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1390 223 3rd St. W**

**Hist Name:** Red Wing Creamery Ice Cream Plant

**Built:** ca. 1912

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This small one-story building is faced with textured brown brick, except for the lower two-thirds of the western wall, which has exposed rockfaced coursed ashlar limestone. A second story was removed sometime before 1937. This building was constructed circa 1912 as a two-story part of the L-shaped Red Wing Creamery whose main facade was at 305-307 Plum St. (see GD-RWC-370).

This building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. For more information, see Potential Red Wing Commercial Historic District (GD-RWC-1451) in Chapter 3. (See Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)

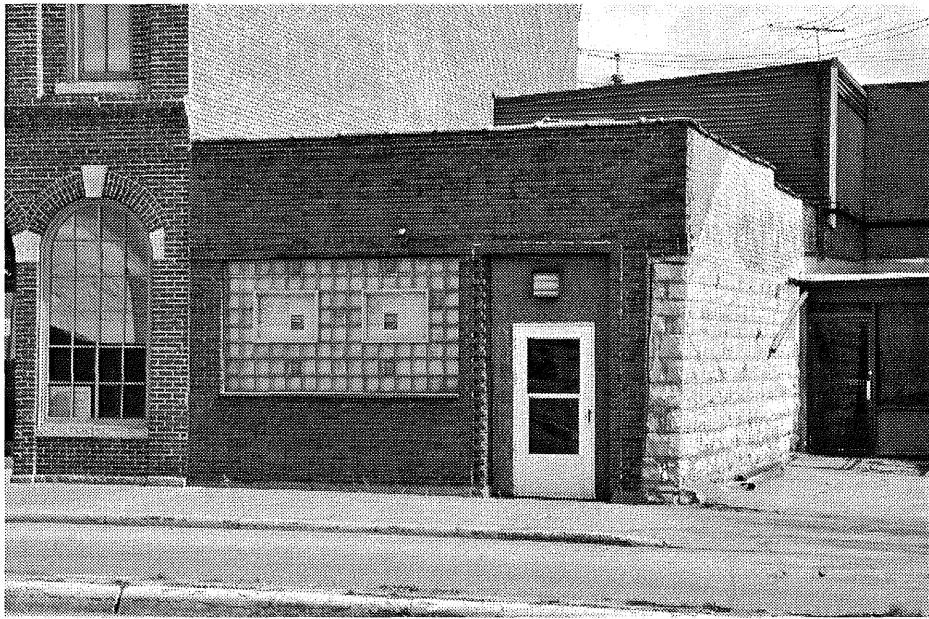


Fig. 38. 223 3rd St. W. Red Wing Creamery Ice Cream Plant (facing E)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1391 ca. 229 3rd St. W**

**Hist Name:** Mississippi Valley Garden

**Built:** ca. 2008

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This small modern pocket park is located at the southeastern corner of Third and Plum. It is a Noncontributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. See the potential district in Chapter 3 and on Map 5.

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 39. ca. 229 3rd St. W. Mississippi Valley Garden (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-324 313 3rd St. W**

**Hist Name:** IOOF Hall

**Other Name:** Carlson's Sports Center

**Built:** ca. 1905

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The IOOF Hall was designed and built circa 1905 by Red Wing contractor William J. Loncor. It is a Classical Revival-style building faced with gray-brown Roman brick with thin mortar joints. The letters "IOOF", for International Order of Odd Fellows, appear in limestone or concrete in the central bay. The building has a circa 1960s storefront with a modern canvas awning, but is otherwise basically intact.

The IOOF Hall is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 40. 313 3rd St. W. IOOF Hall (facing S)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-325 318 3rd St. W**

**Hist Name:** **Metro Theater**

**Other Name:** Malmquist Home Furnishings

**Built:** 1910

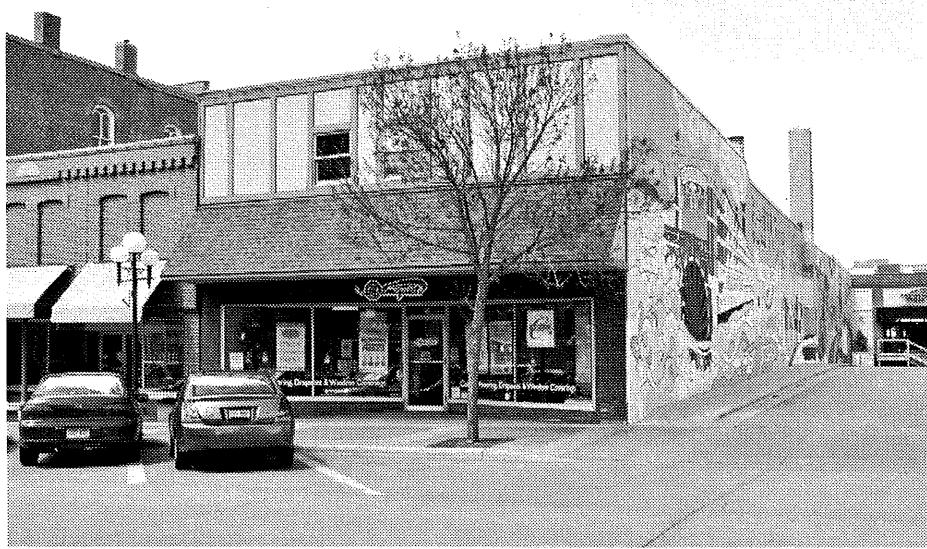
**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The original Classical Revival facade of the former Metro Theater, built in 1910, is obscured by plywood, a pent eave, and a modern brick, glass, and metal storefront. The eastern elevation is covered with smooth stucco and a large mural, painted in 2007 by community members led by the Red Wing Arts Association.

This building is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of alterations, the building is Noncontributing to the potential district. (Despite being Noncontributing, the building is more valuable to the district's historic integrity than a modern replacement would be, and its rehabilitation should be encouraged.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 41. 318 3rd St. W. Metro Theater (facing W)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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**GD-RWC-013 319 3rd St. W**

**Hist Name:** **Anderson Building-Daily Eagle**

**Other Name:** Tee it Up-Red Wing Appliance

**Built:** 1889

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Anderson Building was built in 1889 and originally housed a grocery and crockery store. Beginning in 1911 it was home of the *Red Wing Daily Eagle* newspaper offices. The *Daily Eagle* was founded in 1911 and merged in 1940 with the *Red Wing Daily Republican* to form the *Daily Republican Eagle*. The building has an ornate wood and metal cornice. Other than storefront changes, the exterior is basically intact.

The Anderson Building, also called the Daily Eagle Building, is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)

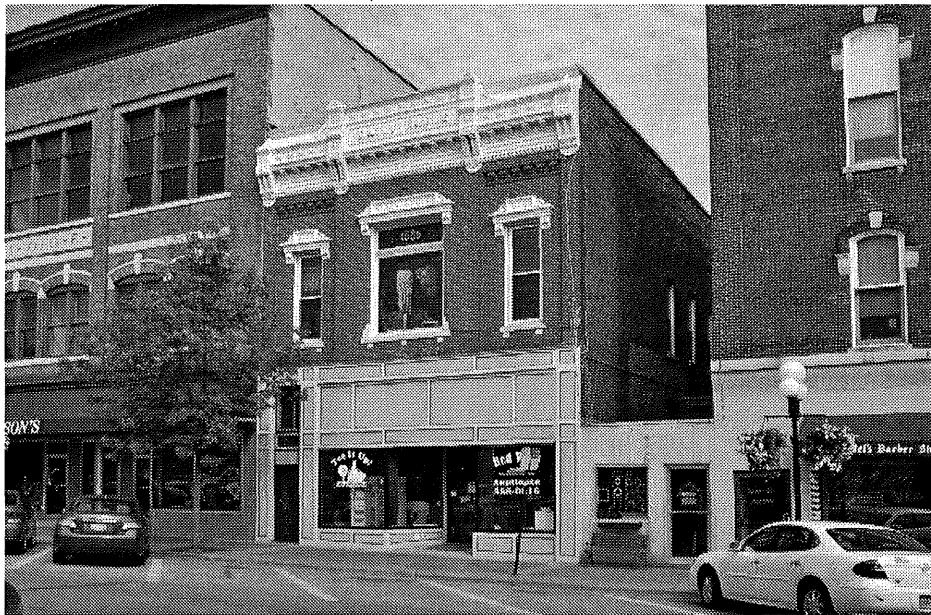


Fig. 42. 319 3rd St. W. Anderson Building-Daily Eagle (facing E)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-326 320 3rd St. W**

**Hist Name:** **Anderson Shoes**  
**Other Name:** Cut Above Home  
**Built:** ca. 1935  
**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District  
**HPC Status:** In Downtown Historic District

This altered 1930s building has a main facade recently covered with modern brick. The storefront appears to date from circa 1950. This building is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of alterations, the building is Noncontributing to the potential district. (See Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 43. 320 3rd St. W. Anderson Shoes (facing NW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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**GD-RWC-327 321 3rd St. W**

**Hist Name:** Commercial Building

**Other Name:** Body and Soul

**Built:** ca. 1950

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This is a very small one-story building was constructed circa 1950. The main facade, which is covered with corrugated metal, is evidently original.

The property is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because the building appears to date from outside the district's period of significance (1858-1945), it is Noncontributing to the district. (This should be revised if it is found that the building predates 1946.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 44. 321 3rd St. W. Commercial Building (facing E)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-328 401-411 3rd St. W**

**Hist Name:** Wilkinson Building

**Other Name:** Red Wing Corner Drug

**Built:** 1873-1887

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Wilkinson Building, built in 1873-1887, is located at the southwestern corner of Third and Bush Streets. The principal facades are faced with red-brown brick and the building retains Italianate cast-stone window hoods and other historic detailing. The major part of the building was constructed in 1873 and an addition facing Bush Street was built in 1887. The original owner was George Wilkinson, an early Red Wing contractor and owner of the city's first brickyard.

The Wilkinson Building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 45. 401-411 3rd St. W. Wilkinson Building (facing S)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-329 410-412 3rd St. W**

**Hist Name:** **Union Block**

**Other Name:** Hanish Bakery (E part)

**Built:** 1877

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Union Block, built in 1877, is faced with smooth yellow brick with terra cotta ornamentation, some of which has been removed. A metal cornice with a pediment is missing from the top of main facade. The facade has elliptically-arched window openings with brick window hoods, bracketed terra cotta sills, and 1/1 sash.

Despite changes, the Union Block probably retains sufficient historic integrity to be a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 46. 410-412 3rd St. W. Union Block (facing N)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1392 413 3rd St. W**

**Hist Name:** **Sherman Grocery**

**Other Name:** United Way

**Built:** 1875

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

Sherman Grocery was built in 1875 by Red Wing building contractor Charles R. Brink. It was built to house one store and matches a triple-store building of the same age that stands immediately to the west (see 415-419 W. 3rd St.; GD-RWC-330). (The HPC's 1982 downtown survey grouped the two buildings together.) Sherman Grocery is faced with red-brown brick and has segmental-arched window openings with limestone sills and 4/4 sash. The nicely-rehabilitated storefront has a cast iron lintel with rosettes, a multipaned transom light above the display windows, a wooden bulkhead, and a central recessed entrance. The original occupant, Sherman Grocery, was located here through at least 1924.

This building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 47. 413 3rd St. W. Sherman Grocery (facing E)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-331 414-416 3rd St. W**

**Hist Name:** **Centennial Block**

**Other Name:** Patterson Chiro-Hanish Bakery (W part)

**Built:** 1876

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Centennial Block, built in 1876, is one of the minority of downtown Red Wing buildings that are three stories tall. It is faced with red-brown brick. The facade has narrow, elliptically-shaped window openings with bracketed limestone sills and 1/1 sash. Italianate window hoods have been removed from the tops of the openings. The words "Centennial Block" appear in stone at the top of the facade. The storefront level has been altered, but retains a cast iron lintel with rosettes and a prismatic glass transom light.

The Centennial Block is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 48. 414-416 3rd St. W. Centennial Block (facing N)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-330 415-419 3rd St. W**

**Hist Name:** **Brink-Hawkins-Luce Block**

**Other Name:** Shear Perfection-Coffeehouse

**Built:** 1875

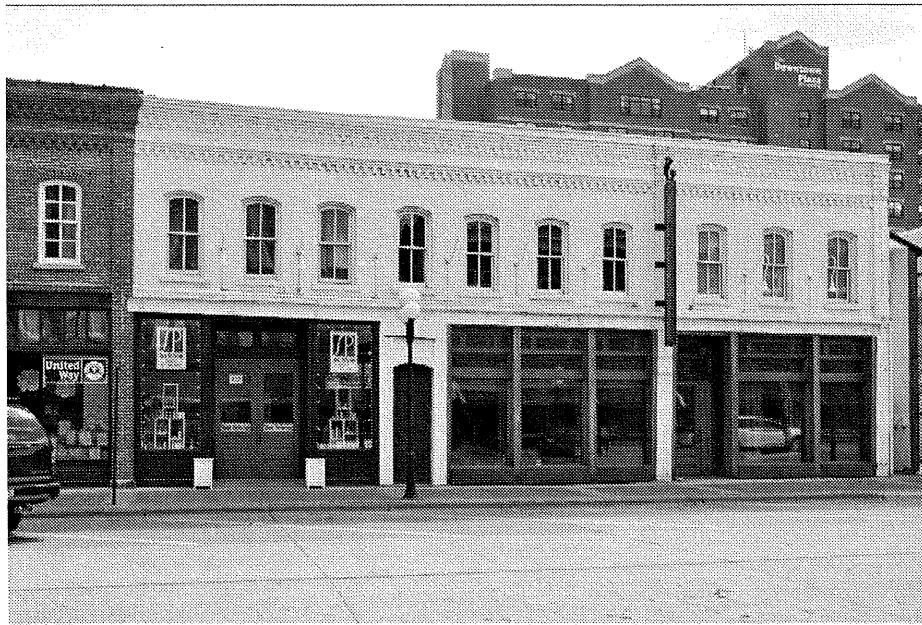
**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Brink-Hawkins-Luce Block was built in 1875 by Red Wing contractor Charles R. Brink. This 10-bay building matches the 3-bay building immediately to the east (413 W. 3rd; GD-RWC-1392) that was built at the same time. (Gemini Research inventoried the eastern building separately because of the way the group is drawn on the 1884 Sanborn insurance map, while the HPC's 1982 downtown survey grouped the two buildings together.) The building has segmental-arched window openings with limestone sills and 2/2 sash. The red-brown brick on the main facade has been painted white.

This is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 49. 415-419 3rd St. W. Brink-Hawkins-Luce Block (facing SE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-332 418 3rd St. W**

**Hist Name:** Ahler Electric

**Other Name:** Midwest Vision Center

**Built:** c1892, 1918

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The building that houses Midwest Vision Center was evidently built circa 1892 but received a new brick facade in 1918-1919. An occupant beginning in the 1920s was Ahler Electric. The main facade is faced with textured brick and the window openings are filled with 1/1 sash.

This exterior retains sufficient historic integrity to be categorized a Contributing property within a potential Red Wing Commercial Historic District that is recommended for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 50. 418 3rd St. W. Ahler Electric (facing N)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-333 420-430 3rd St. W**

**Hist Name:** Goodhue County Co-op Dept. Store

**Other Name:** Cornerstone Community Church

**Built:** 1917

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Goodhue County Cooperative Department Store was a farmers cooperative department store that opened in March 1917. It was designed by architect Augustus F. Gauger and built by George J. Grant Construction, both of St. Paul. It is a large, well-preserved commercial building whose facade retains textured brown brick, a metal cornice with paired brackets, and large rectangular Chicago-style-inspired window openings edged with decorative brickwork. The storefront retains five large prismatic glass transom windows, as well as vitrolite dating from about the 1940s.

This building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 51. 420-430 3rd St. W. Goodhue County Co-op Dept. Store (facing N)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-334 425 3rd St. W**

**Hist Name:** **Magnussen's Pharmacy**

**Other Name:** Best of Times Bookstore

**Built:** ca. 1902

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The former Magnussen's Pharmacy building, constructed circa 1902, is faced with textured medium-brown brick. At the top is a large metal cornice with brackets and dentils. Each of the two large rectangular, second-story window openings contains an unusual slightly-projecting bay window comprised of double-hung sash and multipaned transom lights. The storefront has a recessed central entrance, wooden bulkheads, and a canvas awning. The facade retains good historic integrity.

This building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 52. 425 3rd St. W. Magnussen's Pharmacy (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-335 427 3rd St. W**

**Hist Name:** Commercial Building

**Other Name:** Blue Moon

**Built:** ca. 1925

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The main facade of this altered one-story building is covered with wood. The storefront has a recessed storefront entrance.

This property is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of alterations, this building is Noncontributing to the potential district. (Despite being Noncontributing, the building is more valuable to the district's historic integrity than a modern replacement would be, and its rehabilitation should be encouraged.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 53. 427 3rd St. W. Commercial Building (facing SE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1393 429 3rd St. W**

**Hist Name:** Commercial Building

**Other Name:** Creative Clips

**Built:** ca. 1925

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

Creative Clips is an altered one-story building whose main facade is covered with wood. It has a recessed storefront entrance and a canvas awning.

This building is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of alterations, the property is Noncontributing to the potential district. (Despite being Noncontributing, the building is more valuable to the district's historic integrity than a modern replacement would be, and its rehabilitation should be encouraged.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 54. 429 3rd St. W. Commercial Building (facing SE)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

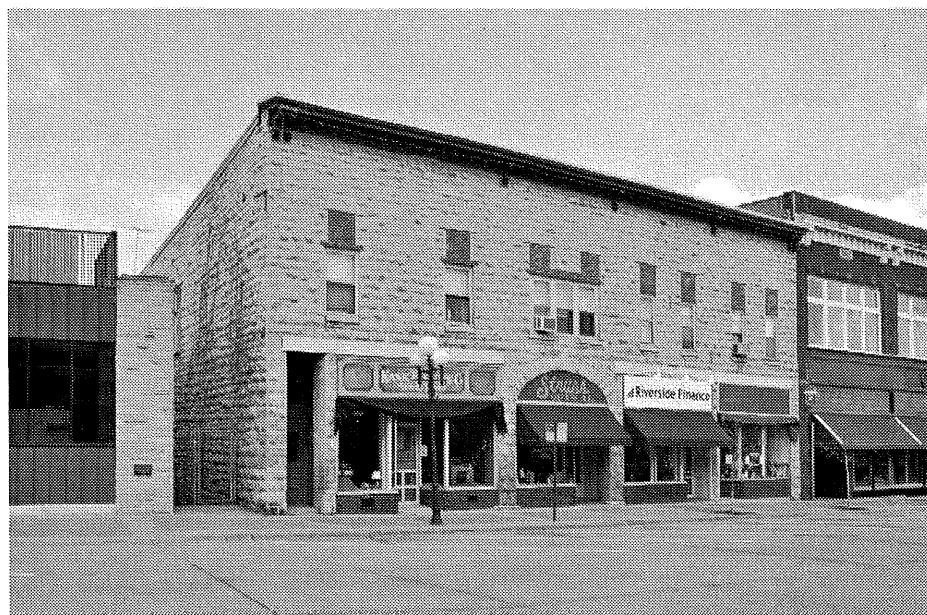
**GD-RWC-337 432-438 3rd St. W**

**Hist Name:** Webster Livery Stable  
**Other Name:** Kask Electric-Struss Optical  
**Built:** 1882  
**NR Status:** Contributing to Potential Red Wing Commercial Historic District  
**HPC Status:** In Downtown Historic District

Webster Livery Stable is rare in downtown Red Wing because of its rockfaced coursed ashlar limestone exterior. It was built in 1882 to replace the owners' livery stable on the same site that burned that year. At the top of the facade is a metal cornice with modillions and dentils. At the center of the storefront level is a large segmental-arched entrance with a keystone.

The former Webster Livery Stable is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 55. 432-438 3rd St. W. Webster Livery Stable (facing N)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-336 433 3rd St. W**

**Hist Name:** **Red Wing Printing Company**

**Other Name:** Republican Eagle Building

**Built:** 1909

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This handsome Commercial- or Chicago-style newspaper plant was built in 1909. It housed the *Red Wing Daily Republican* which, after a 1940 merger with the *Eagle*, became the *Red Wing Daily Republican Eagle*. The building is faced with red-brown brick. It has a tall rockfaced coursed ashlar limestone foundation interrupted by fairly large windows that provide natural lighting to the basement. At the top of the building is a stepped parapet wall with concrete coping and a smooth limestone cornice. The exterior brick is decorated with geometric patterns and inset tiles, and the building's lintels, sills, and watertable match the cornice. On the eastern side of the building is a fairly small brick-faced addition built in 1967. Despite the addition, the property retains good integrity.

The former Red Wing Printing Company (also called the Republican Eagle Building) is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 56. 433 3rd St. W. Red Wing Printing Company (facing E)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-002 443 3rd St. W**

**Hist Name:** **Sheldon Memorial Auditorium**

**Built:** 1904

**NR Status:** Listed

Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

T. B. Sheldon Memorial Auditorium, built in 1904, is located at the southwestern corner of West Avenue and Third Street – a prominent site on the eastern side of the Red Wing Mall. It has a Renaissance Revival design and is faced with gray brick. On the side walls are open porches and on the main (southern) facade is a 1930s foyer addition. The building was designed by Minneapolis architect Lowell A. Lamoreaux and built by Minneapolis contractor J. and W. A. Elliott. The theater was rehabilitated in the late 1980s.

Sheldon Auditorium was individually listed on the National Register in 1976. It was listed under Criterion C (architecture) in the area of the Performing Arts. The level of significance is Local.

The auditorium is also a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



**Fig. 57. 443 3rd St. W. Sheldon Memorial Auditorium (facing S)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-113 ca. 506 3rd St. W**

**Hist Name:** **Broadway Park**

**Other Name:** Rich, John H., Park

**Built:** 1907

**NR Status:** Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

Broadway Park, now John H. Rich Park, was built in 1907. It is one of a group of parks, churches, and other monumental properties that create Red Wing's unusual civic and cultural Mall.

The half-acre park has a formal design. The focal point is a circular gray granite fountain backed by a curved pergola with granite columns supporting horizontal timbers. The park has four lamp and bench sets with granite plinths and cast-iron lamp standards. At the park's northern end is a 1988 Veteran's Memorial. Park vegetation includes low clipped hedges, columnar arborvitae, hackberry trees, and mowed turf.

The park is a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The park is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



**Fig. 58. ca. 506 3rd St. W. Broadway Park (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-067 603 3rd St. W**

**Hist Name:** Cliff's Typewriter Shop

**Other Name:** Farmers Insurance-Chris' Cuts

**Built:** ca. 1890

**NR Status:** Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

This two-story commercial building, built circa 1890, is located at the southwestern corner of Third Street and West Avenue on the western side of Red Wing's multi-block civic Mall. The building is faced with painted brick with painted limestone trim.

This building is a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



**Fig. 59. 603 3rd St. W. Cliff's Typewriter Shop (facing SW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-066 607-609 3rd St. W**

**Hist Name:** **Smith Duplex**

**Built:** 1878

**NR Status:** Contributing to Red Wing Mall Historic District

**HPC Status:** In West Residential Historic District

The Smith Duplex is an Italianate-style doublehouse or duplex built in 1878. Characteristic Italianate-style elements include boxlike massing, a truncated hipped roof, bracketed eaves, a wide frieze, and corner pilasters. At the center of the main facade is a hip-roofed porch, now enclosed with multipaned glass. The exterior retains generally good integrity.

This building is a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is not within the local Historic Mall District, but is within the local West Residential Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 60. 607-609 3rd St. W. Smith Duplex (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-065 617 3rd St. W**

**Hist Name:** **Smith House**

**Built:** **1857**

**NR Status:** Contributing to Red Wing Mall Historic District

**HPC Status:** In West Residential Historic District

The Smith House was built in 1857 for Caleb J. Ford and Elizabeth Smith, who married shortly after coming to Red Wing around 1854-1855, three years before statehood. It is a Greek Revival-influenced house faced with smooth orange-brown brick. The western elevation is windowless and rises to a stepped parapet wall. The bay window on the eastern elevation was added in the mid-20th century.

The Smith House is a rare survivor from Red Wing's early settlement period. It is a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property does not stand within the locally-designated Historic Mall District, but is within the local West Residential Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 61. 617 3rd St. W. Smith House (facing SW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-115 702 3rd St. W**

**Hist Name:** Hayes House

**Built:** ca. 1895

**NR Status:** Contributing to Red Wing Residential Historic District

**HPC Status:** In West Residential Historic District

The Hayes House, built circa 1895, is located at the northwestern corner of Third and Dakota. It has an open shed-roofed porch with a pediment over the entrance and turned columns. Gable ends are decorated with fishscale shingles and the bargeboards have rondels and incised lines. On the eastern elevation is a smaller shed-roofed porch with turned columns, as well as a bay window. The exterior is basically intact.

The Hayes House is a Contributing property in the Red Wing Residential Historic District, which was listed on the National Register in 1982. For information on the National Register-listed district, see Red Wing Residential Historic District (GD-RWC-022) in Chapter 3. (See Map 2.)

The property is also within the local West Residential Historic District, a historic district designated by the City. (See Map 3.)



Fig. 62. 702 3rd St. W. Hayes House (facing NW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-118 710-712 3rd St. W**

**Hist Name:** Bragg-Olson House

**Built:** ca. 1870

**NR Status:** Noncontributing to Red Wing Residential Historic District

**HPC Status:** In West Residential Historic District

This tri-gabled ell house is covered with vinyl siding. It has an altered hip-roofed porch and a rear addition. Window openings contain 1/1 sash. Architectural details have been covered and/or removed.

The Bragg-Olson House is located within the Red Wing Residential Historic District, which was listed on the National Register in 1982. Because of alterations, it is Noncontributing to the district. (Despite being Noncontributing, the house is more valuable to the district's historic integrity than a modern replacement would be, and its rehabilitation should be encouraged.) For information on the National Register-listed district, see Red Wing Residential Historic District (GD-RWC-022) in Chapter 3. (See Map 2.)

The property is also within the local West Residential Historic District, a historic district designated by the City. (See Map 3.)



Fig. 63. 710-712 3rd St. W. Bragg-Olson House (facing NE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-121 718-724 3rd St. W**

**Hist Name:** Ahlers Flats

**Built:** c1900, 1915

**NR Status:** Contributing to Red Wing Residential Historic District

**HPC Status:** In West Residential Historic District

Ahlers Flats is a stucco-covered apartment building with a basically-intact Craftsman-influenced design that represents a 1915 remodeling of a circa 1900 building. The main facade has four entrances sheltered by three bracketed gabled overhangs. There are shallow two-story bay windows on three sides of the building.

Ahlers Flats is a Contributing property in the Red Wing Residential Historic District, which was listed on the National Register in 1982. For information on the National Register-listed district, see Red Wing Residential Historic District (GD-RWC-022) in Chapter 3. (See Map 2.)

The property is also within the local West Residential Historic District, a historic district designated by the City. (See Map 3.)



Fig. 64. 718-724 3rd St. W. Ahlers Flats (facing NW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-123 726-728 3rd St. W**

**Hist Name:** Worden Flats

**Built:** 1911

**NR Status:** Contributing to Red Wing Residential Historic District

**HPC Status:** In West Residential Historic District

Worden Flats, built in 1911, is located at the northeastern corner of Third and Fulton. The apartment building was designed and constructed by Red Wing building contractor Alonzo R. Brink. Most of the structure is covered with smooth stucco, but the second story of the three principal elevations is faced with tan brick. The Classical Revival-influenced design has a parapet wall with a dentiled cornice, quoins at the building corners, and a flat-roofed front porch supported by square stucco-covered columns. The building generally retains integrity.

Worden Flats is a Contributing property in the Red Wing Residential Historic District, which was listed on the National Register in 1982. For information on the National Register-listed district, see Red Wing Residential Historic District (GD-RWC-022) in Chapter 3. (See Map 2.)

The property is also within the local West Residential Historic District, a historic district designated by the City. (See Map 3.)



Fig. 65. 726-728 3rd St. W. Worden Flats (facing N)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-023 927 3rd St. W**

**Hist Name:** **Lawther House**

**Other Name:** Octagon House Bed & Breakfast

**Built:** 1857

**NR Status:** Listed

Contributing to Red Wing Residential Historic District

**HPC Status:** In West Residential Historic District

The Lawther House, built in 1857, is located at the southeastern corner of Third and Hill Streets. It is a rare example of the Octagonal style. A third-story belvedere reportedly provides a good view of the river valley. A rear wing was added in 1870. James Lawther was a businessman and philanthropist. His widow, Eva Lawther, lived here until the mid-1940s.

The Lawther House was individually listed on the National Register in 1975. It was listed under Criteria B (important person) and C (architecture) in the areas of Architecture, Commerce, and Politics/Government. The level of significance is Local.

The Lawther House is also a Contributing property in the Red Wing Residential Historic District, listed on the National Register in 1982. For information on the National Register-listed district, see Red Wing Residential Historic District (GD-RWC-022) in Chapter 3. (See Map 2.)

The property is also within the local West Residential Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 66. 927 3rd St. W. Lawther House (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-142 1008 3rd St. W**

**Hist Name:** **Sprague House**

**Built:** 1868

**NR Status:** Contributing to Red Wing Residential Historic District

**HPC Status:** In West Residential Historic District

The Sprague House, built 1868, is located on a slope at the northwestern corner of Third and Hill Streets. It is an excellent example of the French Second Empire style. The upper level of the four-story tower provides views of the river valley. Both the main facade and eastern facades have open porches and bay windows.

The first owners were Philander and Hannah Sprague. Philander established Red Wing's first terra cotta factory, launching a key local industry. Terra cotta from the factory decorates the house.

The Sprague House is a Contributing property in the Red Wing Residential Historic District, listed on the National Register in 1982. For information on the National Register-listed district, see Red Wing Residential Historic District (GD-RWC-022) in Chapter 3. (See Map 2.)

The property is also within the local West Residential Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 67. 1008 3rd St. W. Sprague House (facing NW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-149 1104 3rd St. W**

**Hist Name:** Wilkinson House

**Built:** 1876

**NR Status:** Contributing to Red Wing Residential Historic District

**HPC Status:** In West Residential Historic District

The Wilkinson House, built in 1876, is a woodframe Italianate-style house located on a sloped site at the northwestern corner of Third and Pine Streets. On the main and eastern facades are ornate polygonal bay windows with pilasters; the eastern bay window overlooks downtown Red Wing. On the rear elevation is an early two-level porch (now screened) that provides a view of the Mississippi River. The exterior of the house is basically intact except that the front porch has probably been reduced in size and the base of the rear porch now accommodates a single garage stall.

The Wilkinson House is a Contributing property in the Red Wing Residential Historic District, which was listed on the National Register in 1982. For information on the National Register-listed district, see Red Wing Residential Historic District (GD-RWC-022) in Chapter 3. (See Map 2.)

The property is also within the local West Residential Historic District, a historic district designated by the City. (See Map 3.)



Fig. 68. 1104 3rd St. W. Wilkinson House (facing NW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-384 120 4th St. E****Hist Name:** Gunderson House**Built:** ca. 1875**NR Status:** Not Eligible**HPC Status:**

The Gunderson House is located just south of Barn Bluff in Red Wing's East End, also called East Red Wing. It has substantial alterations including stucco covering the clapboard, porch alteration, window sash changes, and additions. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 69. 120 4th St. E. Gunderson House (facing NW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-385 121 4th St. E**

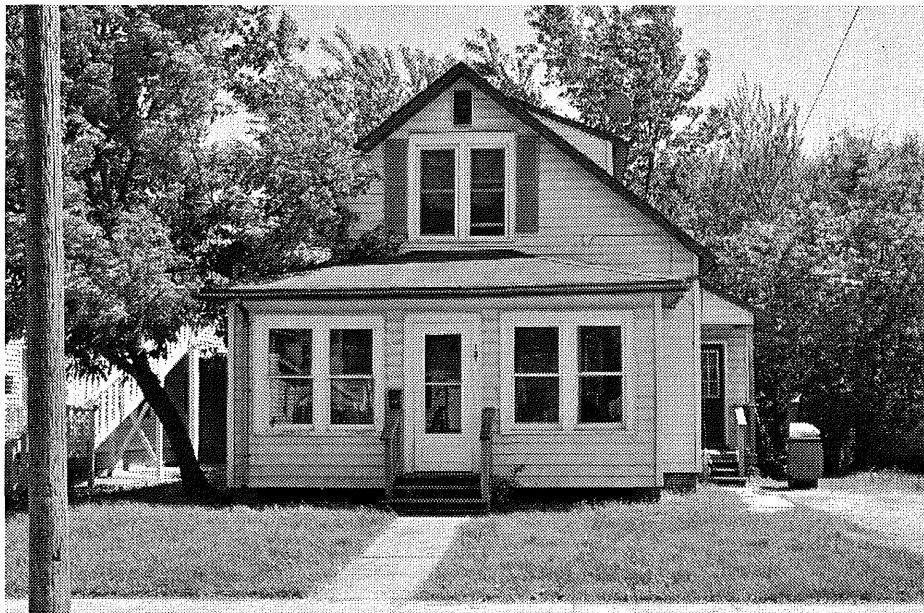
**Hist Name: Oskey House**

**Built: ca. 1880**

**NR Status: Not Eligible**

**HPC Status:**

The Oskey House has several alterations including vinyl siding, porch alterations, window sash replacement, and additions. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 70. 121 4th St. E. Oskey House (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-386 124 4th St. E**

**Hist Name:** Wilson House

**Built:** ca. 1890

**NR Status:** Not Eligible

**HPC Status:**

The Wilson House is a modest, one-story structure. Alterations include siding and porch changes, window sash replacement, and additions. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



Fig. 71. 124 4th St. E. Wilson House (facing NE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-387 125 4th St. E**

**Hist Name: Hubbard House**

**Built:** ca. 1880

**NR Status:** Not Eligible

**HPC Status:**

The Hubbard House retains diamond and square-cut wood shingles in the main gable end. There are many alterations including siding covering the clapboard, porch alterations, window opening and sash changes, and additions. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 72. 125 4th St. E. Hubbard House (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-388 130 4th St. E**

**Hist Name:** **Johnson House**

**Built:** ca. 1904

**NR Status:** Not Eligible

**HPC Status:**

The Johnson House has many alterations including modern siding, porch alterations, window sash replacement, and additions. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.

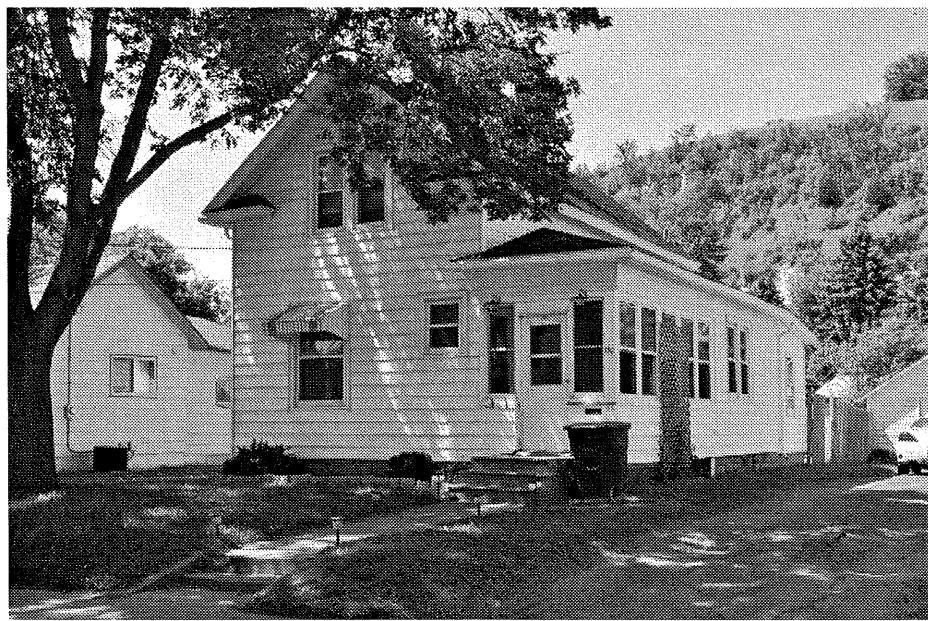


Fig. 73. 130 4th St. E. Johnson House (facing NW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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**GD-RWC-389 133 4th St. E**

**Hist Name: Culbertson-Gipfort House**

**Built: ca. 1890**

**NR Status: Need More Information**

**HPC Status:**

The Culbertson-Gipfort House, built circa 1890, is one of the most intact late 19th century homes in the vicinity. It retains ornate Queen Anne-inspired detailing that includes diamond-shaped, square-cut, and sawtooth wood shingles in the main gable end. The L-shaped front porch retains turned columns and fretwork and fancy brackets. Window openings are filled with 1/1 replacement sash. The house has a shed-roofed rear addition and a small shed-roofed side addition.

### ***Historical Background***

In 1894 the occupants were blacksmith J. S. Culbertson and Louis Gipfort, a wagon maker.

Local historian Thomas J. Lutz writes that this house was built "ca. 1890 by unknown parties as an excellent local example of vernacular with a superb blend of skilled craftsmanship, excellent detailing, and expressive materials; other history unknown but highly worthy of further research; one of the finest worker cottages in Red Wing" (Lutz 1979-1982: 77).

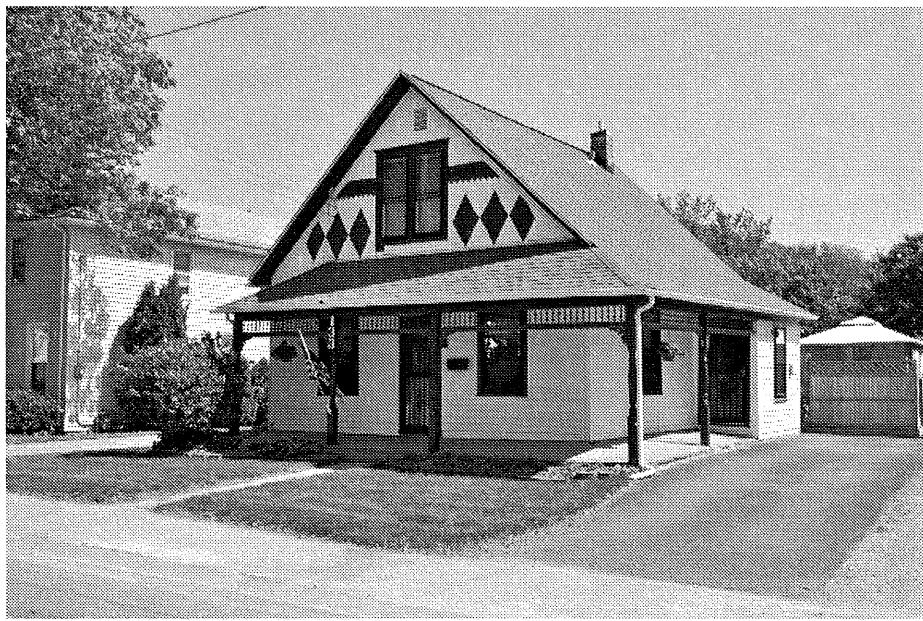
### ***Recommendation***

This small house is one of the most intact 19th century homes in East Red Wing or the East End (i.e., the part of the city east of Bluff Street). It is an ornamented version of a front gable vernacular form and may be an unusually intact example of early working class housing in Red Wing. It appears to meet National Register integrity requirements and could be eligible if found to be significantly associated with an important event or broad pattern (Criterion A) or an important person (Criterion B). It may not be intact enough to be architecturally significant (Criterion C). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 74. 133 4th St. E. Culbertson-Gipfort House, main facade and west side (facing SE)**



**Fig. 75. 133 4th St. E. Culbertson-Gipfort House, main facade and east side (facing SW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-390 134 4th St. E**

**Hist Name: Bordson House**

**Built:** ca. 1865

**NR Status:** Not Eligible

**HPC Status:**

The Bordson House has significant alterations including vinyl siding, porch alterations, window opening and sash alterations, and additions. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 76. 134 4th St. E. Bordson House (facing NW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-391 137 4th St. E**

**Hist Name:** **Hendel House**

**Built:** ca. 1875

**NR Status:** Not Eligible

**HPC Status:**

The Hendel House is an altered example of the Italianate style. Changes include vinyl siding, porch alterations, window sash replacement, and a rear addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 77. 137 4th St. E. Hendel House (facing SW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-392 141 4th St. E**

**Hist Name: Hanson House**

**Built: ca. 1865**

**NR Status: Not Eligible**

**HPC Status:**

The Hanson House has many alterations including siding, the porch removed, window sash replacement, and a large addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 78. 141 4th St. E. Hanson House (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-393 142 4th St. E**

**Hist Name:** **Lund House**

**Built:** ca. 1890

**NR Status:** Not Eligible

**HPC Status:**

The Lund House is a woodframe structure with boxlike massing. Alterations include siding that obscures the clapboard, porch changes, window sash replacement, and additions. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 79. 142 4th St. E. Lund House (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-394 147 4th St. E**

**Hist Name: Erickson House**

**Built:** ca. 1885

**NR Status:** Not Eligible

**HPC Status:**

The Erickson House is located at the southwestern corner of Fourth and Sanderson just south of Barn Bluff in Red Wing's East End. It has several alterations including siding, porch changes, and changes to window openings and sash. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 80. 147 4th St. E. Erickson House (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-395 150 4th St. E**

**Hist Name:** Gunderson House

**Built:** ca. 1865

**NR Status:** Not Eligible

**HPC Status:**

The Gunderson House, located on a corner lot at Fourth and Sanderson, has several alterations that include replacement siding and substantial additions. This property is too altered to meet National Register integrity requirements.



**Fig. 81. 150 4th St. E. Gunderson House (facing N)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-396 202 4th St. E**

**Hist Name: Fogerquist House**

**Built: ca. 1895**

**NR Status: Not Eligible**

**HPC Status:**

The Fogerquist House is located at the northeastern corner of Fourth and Sanderson in eastern Red Wing. It has substantial alterations including vinyl siding, porch changes, window sash replacement, and additions. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 82. 202 4th St. E. Fogerquist House (facing NE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-397 207 4th St. E**

**Hist Name:** House  
**Built:** ca. 1915  
**NR Status:** Not Eligible  
**HPC Status:**

This Craftsman-style house has several alterations including vinyl siding, porch enclosure, window sash replacement, and a substantial addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 83. 207 4th St. E. House (facing SE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-398 213 4th St. E**

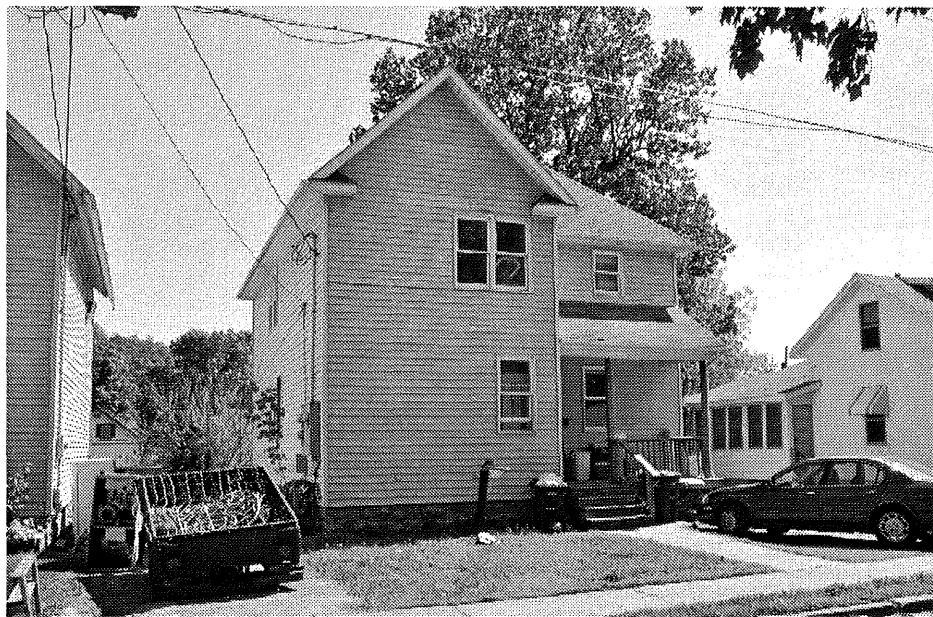
**Hist Name:** **Sall House**

**Built:** ca. 1890

**NR Status:** Not Eligible

**HPC Status:**

The Sall House has many alterations including vinyl siding, porch changes, and window opening changes. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 84. 213 4th St. E. Sall House (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-399 214 4th St. E**

**Hist Name:** **Anderson House**

**Built:** ca. 1895

**NR Status:** Not Eligible

**HPC Status:**

The Anderson House's alterations include vinyl siding, porch changes, and altered window openings. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 85. 214 4th St. E. Anderson House (facing NW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-400 215 4th St. E****Hist Name: Hult House****Built: ca. 1890****NR Status: Not Eligible****HPC Status:**

The Hult House has a dominant gable-roofed open front porch with thick turned columns. The cornice is lined with dentils and a pediment over the porch entrance has a floral design in the tympanum. The house has several alterations including vinyl siding, window changes, and additions. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 86. 215 4th St. E. Hult House (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-401 220 4th St. E**

**Hist Name:** House  
**Built:** ca. 1880  
**NR Status:** Not Eligible  
**HPC Status:**

This house has many exterior changes including vinyl siding, porch removal, altered window openings, and substantial addition(s). Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 87. 220 4th St. E. House (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-402 221-223 4th St. E**

**Hist Name:** **House**

**Built:** ca. 1890

**NR Status:** Not Eligible

**HPC Status:**

Like many in the immediate neighborhood, this house has experienced several alterations including asbestos siding, porch changes, and window sash replacement. It has been converted to a duplex and architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 88. 221-223 4th St. E. House (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-403 225 4th St. E**

**Hist Name:** Ellingson House

**Built:** ca. 1880

**NR Status:** Not Eligible

**HPC Status:**

The Ellingson House was originally a mirror image of the house next door (see 227 E. 4th St.; GD-RWC-404). It retains some 4/4 sash. Exterior alterations include composition board siding, porch modification, rear changes, and the addition of a shed dormer. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 89. 225 4th St. E. Ellingson House (facing SW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-404 227 4th St. E**

**Hist Name: Erickson House**

**Built: ca. 1880**

**NR Status: Not Eligible**

**HPC Status:**

The Erickson House was originally one of a pair of adjacent, mirror image houses. (See the house next door at 225 E. 4th St.; GD-RWC-403.) It retains some 4/4 sash and an open front porch with turned columns, balusters, and fretwork. Alterations include asbestos siding and changes to the rear. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 90. 227 4th St. E. Erickson House (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-405 228 4th St. E**

**Hist Name:** Ingebritson House

**Built:** ca. 1890

**NR Status:** Not Eligible

**HPC Status:**

The Ingebritson House has an L-shaped plan typical of many houses of its age. The house has significant exterior alterations including vinyl siding, porch changes, and window sash replacement. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 91. 228 4th St. E. Ingebritson House (facing N)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-406 232 4th St. E**

**Hist Name: Landberg House**

**Built: ca. 1880**

**NR Status: Not Eligible**

**HPC Status:**

The Landberg House has alterations that include changes to siding, porch alterations, additions, window sash replacement, and the addition of an oriel window on the main facade. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 92. 232 4th St. E. Landberg House (facing NE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-407 233 4th St. E**

**Hist Name:** Nelson House

**Built:** ca. 1870

**NR Status:** Not Eligible

**HPC Status:**

The exterior of this two-story, woodframe house has been changed considerably. Alterations include vinyl siding, the addition of mock stone, porch changes, window sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 93. 233 4th St. E. Nelson House (facing SE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-408 236 4th St. E**

**Hist Name: Swanstrom House**

**Built: ca. 1870**

**NR Status: Not Eligible**

**HPC Status:**

The Swanstrom House is a small one-story structure that has been expanded. Alterations include vinyl siding, a missing porch, additions, and window sash replacement. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 94. 236 4th St. E. Swanstrom House (facing NW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-409 239 4th St. E**

**Hist Name:** **Seline House**

**Built:** ca. 1870

**NR Status:** Not Eligible

**HPC Status:**

The Seline House has had many exterior alterations including siding, porch changes, window sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 95. 239 4th St. E. Seline House (facing SW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-411 243 4th St. E**

**Hist Name: Nelson House**

**Built: ca. 1870**

**NR Status: Not Eligible**

**HPC Status:**

The Nelson House is located just south of Barn Bluff in Red Wing's East End. Its many exterior changes include modern siding, porch alterations, window sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 96. 243 4th St. E. Nelson House (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-412 247 4th St. E**

**Hist Name:** **Shakespeare House**

**Built:** ca. 1870

**NR Status:** Not Eligible

**HPC Status:**

The Shakespeare House has been significantly altered with vinyl siding, porch changes, and window sash replacement. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 97. 247 4th St. E. Shakespeare House (facing SE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-413 250 4th St. E**

**Hist Name:** Daily House

**Built:** ca. 1870

**NR Status:** Not Eligible

**HPC Status:**

The Daily House has many alterations including vinyl siding, porch changes, altered window openings, and sash replacement. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 98. 250 4th St. E. Daily House (facing NE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-414 255 4th St. E**

**Hist Name:** House  
**Built:** ca. 1925  
**NR Status:** Not Eligible  
**HPC Status:**

This stucco-faced Craftsman-style house with brick trim has many alterations including porch changes (two different eras of brick are evident) and window sash replacement. A west side entrance porch has been added and architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 99. 255 4th St. E. House (facing SE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-415 263 4th St. E**

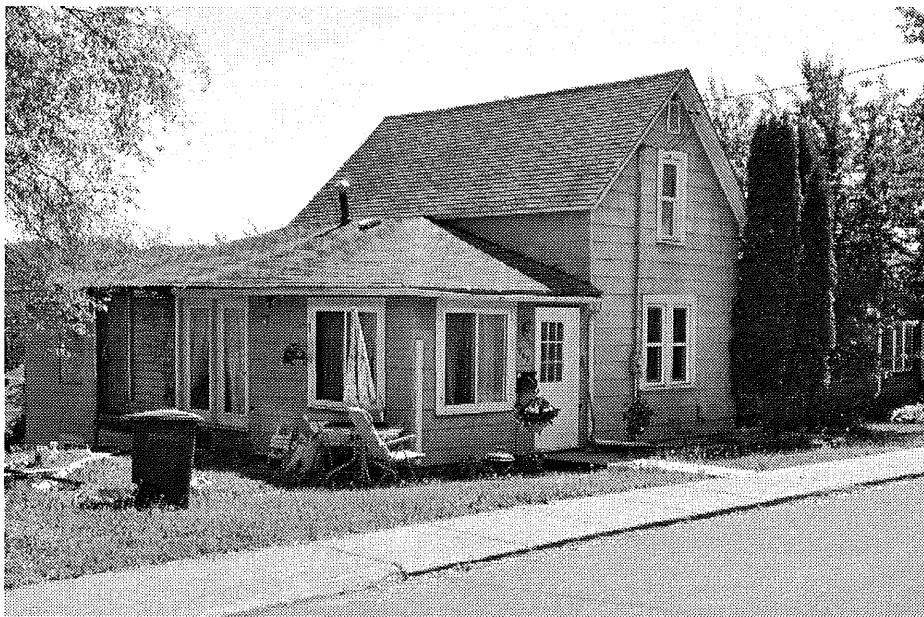
**Hist Name:** **Lindell House**

**Built:** ca. 1870

**NR Status:** Not Eligible

**HPC Status:**

The Lindell House has many alterations including asbestos siding, porch removal (or substantial alteration), additions, and window sash and casing changes. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 100. 263 4th St. E. Lindell House (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-416 273 4th St. E**

**Hist Name:** House  
**Built:** ca. 1895  
**NR Status:** Not Eligible  
**HPC Status:**

The house at 273 E. 4th St. is a two-story woodframe structure with boxlike massing and bracketed eaves. Alterations include vinyl siding, porch alteration, window sash replacement, and a deck added to the western side. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 101. 273 4th St. E. House (facing SE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-417 301 4th St. E**

**Hist Name: Gulbrandson House**

**Built: ca. 1880**

**NR Status: Not Eligible**

**HPC Status:**

The Gulbrandson House is located at the southeastern corner of Fourth and Green just south of Barn Bluff. It has substantial alterations that include vinyl siding, porch changes, and window sash replacement. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 102. 301 4th St. E. Gulbrandson House (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-418 309 4th St. E**

**Hist Name:** Eichinger House

**Built:** ca. 1900

**NR Status:** Not Eligible

**HPC Status:**

The Eichinger House, built circa 1900, is 1 1/2 stories with clapboard siding and an intersecting gabled roof. The western end, which is the original main facade, has a shed-roofed porch that is partly enclosed but retains a turned column and dentils at the cornice. The porch balustrade is missing. A porch or kitchen wing appears to be missing from the eastern end. The southern side wall has a small addition. For at least ten years, from 1911-1921, this was the home of Frank A. and Elsie Eichinger. Frank worked as a cutter, and later an inspector, for Red Wing Shoe Company.

The Eichinger House, built circa 1900, has fewer alterations than most houses in Red Wing's East End but nonetheless does not appear to meet National Register integrity criteria.



Fig. 103. 309 4th St. E. Eichinger House (facing SE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-338 312 4th St. W**

**Hist Name:** **Monument Works**

**Other Name:** Walt's Shoe Service

**Built:** ca. 1915

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

Walt's is an altered one-story building faced with painted brick with poured concrete trim. The building is labeled a monument works on the 1917 and 1927 Sanborn maps. The facade has two intact display windows and an entrance with a glass transom window. Across the top of the storefront is a modern wooden pent eave. Immediately to the east is a circa 1950 addition that matches the original building.

This property is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of alterations to the original building and because of the addition, the property is Noncontributing to the potential district. (Despite being Noncontributing, the property is more valuable to the district's historic integrity than a modern replacement would be, and rehabilitation of the original portion should be encouraged.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 104. 312 4th St. W. Monument Works (facing W)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1394 314 4th St. W**

**Hist Name:** Commercial Building

**Other Name:** Zibble Insurance

**Built:** ca. 1900

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

Zibble Insurance, built circa 1900, is an altered commercial building with a main facade faced with brick that has been painted. Composition board covers the eastern elevation and stucco covers the west. On the main facade, a wooden pent eave covers or replaces the cornice.

This property is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of alterations, the building is Noncontributing to the potential district. (Despite being Noncontributing, the building is more valuable to the district's historic integrity than a modern replacement would be and its rehabilitation should be encouraged.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 105. 314 4th St. W. Commercial Building (facing W)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-009 315 4th St. W**

**Hist Name: Red Wing City Hall**

**Built: 1905**

**NR Status: Listed**

Contributing to Potential Red Wing Commercial Historic District

**HPC Status: In Downtown Historic District**

Red Wing City Hall, built in 1905, is located on the southern side of Fourth Street between Bush and Plum Streets. The main facade faces north. The one-half-block site has a large grassy lawn and parking areas east and west of the building.

City Hall is a Renaissance Revival-style building designed by Minneapolis architect Lowell A. Lamoreaux. It is faced with peachy-brown brick and has stone trim. A five-bay-wide section at the center of the main facade projects forward. Window openings are decorated with pedimented window hoods and ornate keystones, and there are pilasters between bays. The exterior is generally intact with some fairly minor changes.

Red Wing City Hall was individually listed on the National Register in 1979. It was listed under National Register Criteria A (broad patterns of history) and C (architecture) in the areas of Architecture and Politics/Government. The level of significance is Local.

City Hall is also a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See Map 5.) The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 106. 315 4th St. W. Red Wing City Hall (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-339 418 4th St. W**

**Hist Name:** Northwestern Bell Telephone Co.

**Other Name:** Qwest

**Built:** 1950, 1974

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

Northwestern Bell Telephone was built in 1950. It has a large rear addition built in 1974. The 1950 portion was designed by the Minneapolis firm of Magney, Tusler, and Setter. It is a one-story building faced with red-brown brick. Smooth gray limestone was used for window surrounds, the watertable, and a wide lintel above the main entrance and principal set of windows. The 20' x 70' rear addition is faced with smooth concrete block.

Northwestern Bell Telephone, now Quest, is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because it was built outside the potential district's period of significance (1858-1945), the building is Noncontributing to the district. (Despite being Noncontributing, the building has a handsome brick facade and is more valuable to the historic district's integrity than a modern replacement would be.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)

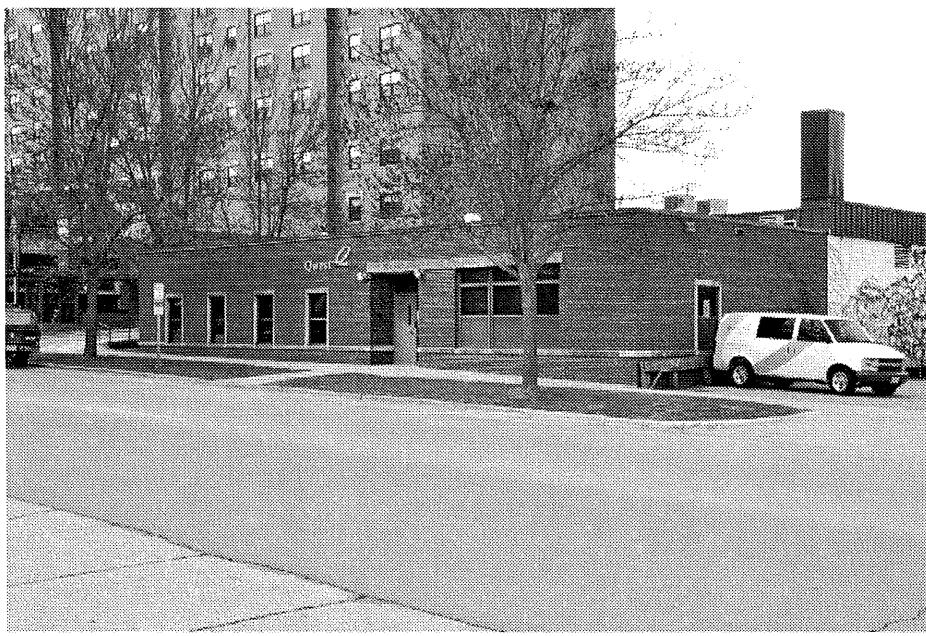


Fig. 107. 418 4th St. W. Northwestern Bell Telephone Co. (facing W)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1395 434 4th St. W**

**Hist Name:** **Downtown Plaza**

**Built:** 1985-1986

**NR Status:** Not Eligible

**HPC Status:** In Downtown Historic District

This multi-story senior apartment complex was built in 1985-1986. It is faced with red brick. The main entrance is located under a substantial canopy on the southern elevation.

Downtown Plaza is not yet 50 years old and therefore is too recent to be considered individually eligible for the National Register. It is not located within the bounds of a historic district that is either listed on, or potentially-eligible for, the National Register.

Downtown Plaza is, however, within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 108. 434 4th St. W. Downtown Plaza (facing N)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-095 454 4th St. W**

**Hist Name:** Masonic Temple

**Other Name:** Vogel and Gorman Attorneys

**Built:** 1928

**NR Status:** Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

The Masonic Temple is located at the northeastern corner of Fourth Street and East Avenue on the eastern side of Red Wing's multi-block civic Mall. It was built in 1928 by Minneapolis contractor J. and W. A. Elliott. The building is faced with textured, multi-toned brown brick with smooth limestone trim. The classically-inspired entrance area is decorated with Masonic symbols. The exterior is basically intact.

The Masonic Temple is a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



Fig. 109. 454 4th St. W. Masonic Temple (facing N)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-082 508 4th St. W**

**Hist Name:** Christ Church Parish House

**Other Name:** Wells Memorial Parish House

**Built:** 1910

**NR Status:** Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

Christ Church Parish House, built in 1910, faces south toward Fourth Street between West and East Avenues. The house is attached to the southern end of Christ Episcopal Church, whose main facade faces north. The church was inventoried separately; see 321 West Ave. (GD-RWC-081). The rectory was designed by Twin Cities architect Edwin Hewitt in the Tudor Revival style. The first story is built of rockfaced coursed ashlar limestone. The second story, which projects slightly over the first, is woodframe and faced with stucco with mock half-timbering. The building is basically intact.

Christ Church Parish House is a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



Fig. 110. 508 4th St. W. Christ Church Parish House (facing N)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

### GD-RWC-1397 1527 4th St. W

**Hist Name:** Featherstone-Sweasy House

**Built:** 1916

**NR Status:** Need More Information

**HPC Status:**

The Featherstone-Sweasy House is located at the southeastern corner of Fourth and Jefferson with excellent views of the river valley and bluff lands. The sloped site is retained by a low brick-faced wall (near the public sidewalk) that has a poured concrete cap.

This woodframe house was built in 1916 and altered circa 1960 based on designs by noted Minnesota architect Edwin H. Lundie. On the main facade is a hip-roofed porch with short square wooden columns resting on a brick balustrade. The porch is unobtrusively screened. The lower portion of the house is faced with brown brick and the upper part with stucco. On the western elevation is a polygonal woodframe bay window and rear shed-roofed open porch, both evidently designed by Lundie and built circa 1960.

Projecting from the rear is a one-story, brick-faced, gable-roofed addition designed by Lundie and built circa 1960. The three-bay-long addition has a massive, wide brick fireplace and chimney. The interior has heavy exposed beams, wood paneled walls, and detailing characteristic of Lundie's work.

#### ***Historical Background***

The original owners of the house were probably William J. and Helen Featherstone. William Featherstone was president of the First National Bank, a director of LaGrange Mills, and had many other business interests. The family lived here through at least 1948.

From at least 1954-1970 this was the home of William and Evelyn Sweasy and family. William D. ("Bill Sr.") Sweasy (1916-1991) was president and major stockholder of Red Wing Shoe Company, one of Goodhue County's largest employers. (One of the Sweasys' seven children, Bill Jr., is now company president.) Bill Sweasy, Sr., was a civic leader, philanthropist, and important figure in Red Wing's successful historic preservation movement. Less has been written about Evelyn Jorgensen Sweasy (born 1923), also a philanthropist.

Architect Edwin H. Lundie (1886-1972) was born in Iowa, moved to St. Paul in 1904, and trained for several years with some of the city's best architects. He formed his own practice and became known for residential designs. Among Lundie's notable works are the Weyerhaeuser House (1926-1931) on White Bear Lake, Lutsen Resort (1949-1960) in Lutsen, and the Minnesota Landscape Arboretum (1966-1972) in Chanhassen.

#### ***Recommendation***

William D. Sweasy, longtime civic leader and president of the Red Wing Shoe Company, may be a historically-significant person (National Register Criterion B), but the Red Wing Shoe Company plant at Main and Potter Streets (see 129 W. Main St.; GD-RWC-019) may be the property most closely associated with his professional and civic contributions. Evelyn Sweasy is still living; further research on her contributions to Red Wing is needed. Further research is also needed to understand the Sweasy House alterations within the body of Edwin Lundie's work; Lundie is

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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considered a prominent Minnesota architect of his era (National Register Criterion C). Gemini Research recommends that the property merits and requires further research and evaluation to determine its National Register eligibility.



Fig. 111. 1527 4th St. W. Featherstone-Sweasy House, main facade (facing SW)

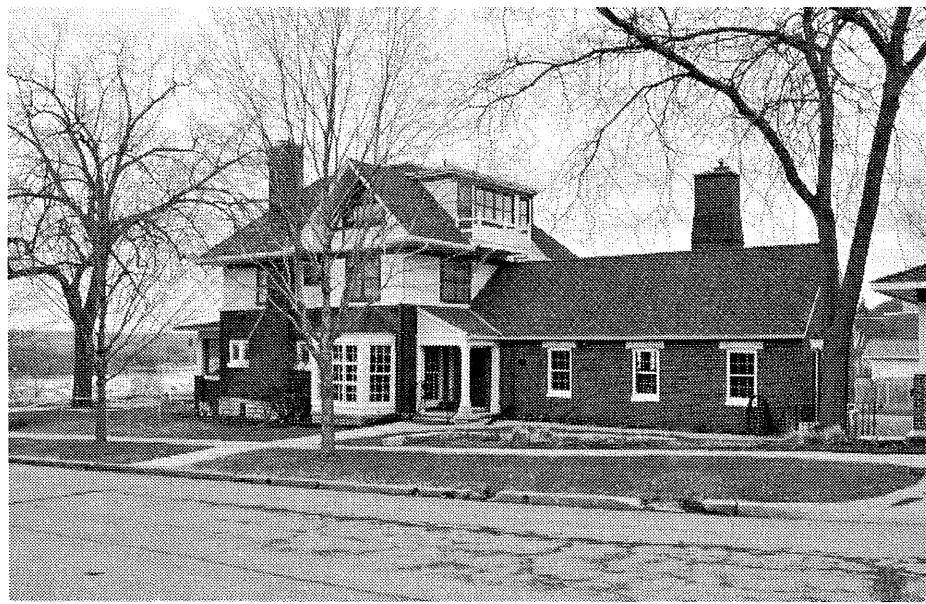
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 112. 1527 4th St. W.** Featherstone-Sweasy House, main facade and west side (facing SE)



**Fig. 113. 1527 4th St. W.** Featherstone-Sweasy House, west side wall and Edwin Lundie-designed rear wing (facing NE)

**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 114. 1527 4th St. W.** Featherstone-Sweasy House, Lundie-designed rear wing and east side (facing NW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

### GD-RWC-1398 1603 4th St. W

**Hist Name:** Metzler House

**Built:** ca. 1895

**NR Status:** Need More Information

**HPC Status:**

This Queen Anne-inspired house, built circa 1895, is located at the southwestern corner of Fourth and Jefferson. It is sited with a dramatic view of the Mississippi River and bluffs. The house is woodframe with clapboard siding. Ornamentation includes fishscale shingles in the gable ends, a Palladian-inspired window on the main facade, square incised porch columns, and ornate incised brackets at the porch eaves. Each side wall has a small gabled dormer. On the eastern side is a rectangular bay window with bracketed eaves, and on the rear is an original or early wing and an intact porch. The front porch is enclosed but retains its columns and other detailing.

#### ***Historical Background***

The house is drawn on the 1902 Sanborn insurance map. (The previous Sanborn map, from 1895, does not show this area and therefore does not help with dating.) The County Tax Assessor estimates the year built as 1890.

The Metzler House has the asymmetrical massing and porch ornamentation typical of the Queen Anne style, but the house is not overly ornamented and the Palladian-inspired window in the main gable end is classically-inspired. This combination is typical of mid-1890s design.

The original owners of the house have not yet been identified. In 1910 the house was owned and occupied by a widowed German immigrant named Bertha E. Metzler, her adult sons, her adult daughter, her daughter's husband and their child, and a nurse.

#### ***Recommendation***

The Metzler House, built circa 1895, may meet National Register integrity requirements and could be eligible if found to be significantly associated with an important event or broad pattern (Criterion A) or an important person (Criterion B). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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Fig. 115. 1603 4th St. W. Metzler House, main facade (facing SW)



Fig. 116. 1603 4th St. W. Metzler House, east side wall with original or early wing and intact dormer, porch, and bay window (facing NW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

### GD-RWC-1400 1759 4th St. W

**Hist Name:** Doebler House

**Built:** 1951

**NR Status:** Need More Information

**HPC Status:**

The Doebler House stands near the edge of a bluff to take advantage of striking views of the Mississippi River Valley. This gable-roofed, woodframe, Ranch-style house was built in 1951. It is one of two adjacent houses of similar age, siting, style, and form. The adjacent house is the Tollison House at 1765 W. 4th St. (GD-RWC-1401; see below).

The Doebler House is built into the hill with the concrete block basement level exposed on the southern facade. This elevation includes the garage and what appears to be the most-used entrance – a single-leaf door sheltered by a small original shed-roofed porch. The concrete block is smooth, with bullnose-edged blocks used to create window and door openings. Shallow poured concrete steps curve around the eastern end of the house to access the main level. This level has a door at the eastern end with a simple original porch. This level is sided with vinyl, evidently over original wide-lap wood siding. The house has a limestone-faced chimney, a picture window, and a long, low limestone-faced window box – all typical of mid-20th century design. At the northeastern corner is a porch tucked within the massing of the roofline. The porch is glazed with unusual and original aluminum-framed panels with window glass and screens. Most of the house's rectangular window openings are filled with 1950s double-hung sash with horizontal muntins. Windows on the west, east, and south sides have awnings (that perhaps replace original awnings). Two basement windows support a removable windowbox greenhouse. The exterior appears to be largely intact except for the vinyl siding.

#### ***Historical Background***

The house was built six years after the end of World War II. The original owners were Lewis O. and Agnes A. Doebler. Lewis was employed as a compositor for the Red Wing Publishing Company. The house is still owned by the Doeblers' son.

#### ***Recommendation***

Built in 1951, the Doebler House is one of two adjacent Ranch-style houses of similar age and basic design built with bluff-top views of the Mississippi River Valley. In age, size, style, and form, the Doebler House is typical of houses built during Red Wing's post-World War II housing boom. The house appears to meet National Register integrity requirements and could be eligible if found to be significantly associated with an important event or broad pattern (Criterion A) or an important person (Criterion B). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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Fig. 117. 1759 4th St. W. Doebler House, south elevation (facing N)

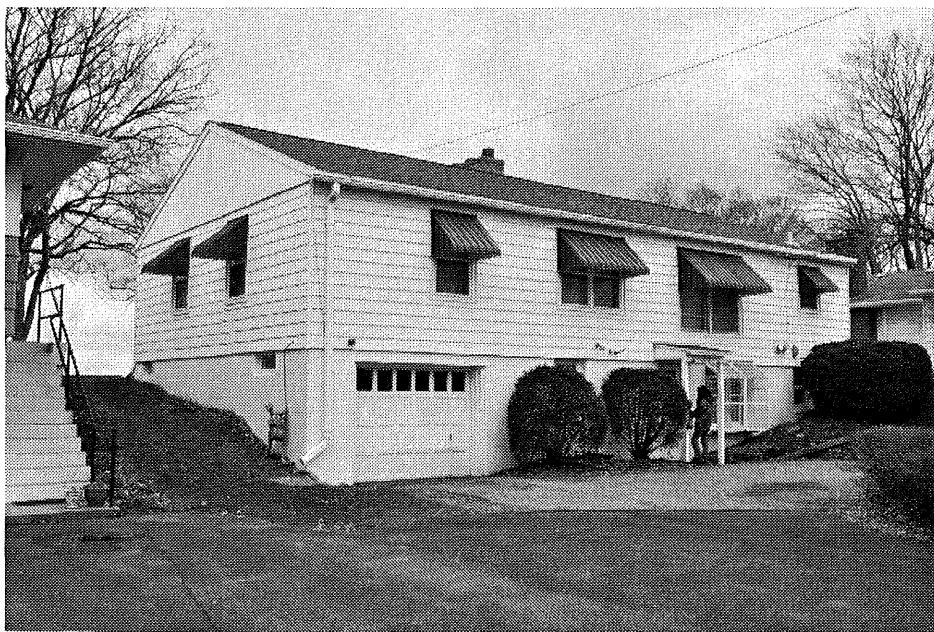


Fig. 118. 1759 4th St. W. Doebler House, west and south elevations (facing NE)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 119. 1759 4th St. W.** Doebler House, north elevation, which faces the river, with original glassed-in porch and picture window (facing S)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1401 1765 4th St. W**

**Hist Name:** **Tollison House**

**Other Name:** Millard House

**Built:** 1954

**NR Status:** Need More Information

**HPC Status:**

The Tollison House, built in 1954, is located on the edge of a bluff with long views of the Mississippi River Valley. It is one of two adjacent houses of similar age, siting, style, and form. The other house is the Doeblner House at 1759 W. 4th St. (GD-RWC-1400, see above).

The Tollifson House, which is woodframe, has a simple rectangular form, hipped roof, and deep overhanging eaves. The basement is built of smooth concrete block, with bullnose-edged blocks used to create window and door openings. The basement is exposed on the southern side, facing Fourth Street. This side incorporates both the garage door opening and the most-used door to the house. A set of exterior poured concrete steps with a simple pipe railing ascends the eastern end to access the main level, which is sided with asbestos siding. The main level has a blond brick exterior chimney, a picture window, and a low brick-faced planter box. At the northeastern corner of the house is a porch tucked within the massing of the roofline. The porch is glazed with original glass jalousie windows (i.e., windows entirely comprised of parallel adjustable glass louvers). A small shed-roofed screened porch was added outside of the glass porch circa 1965. The house has rectangular window openings with 1/1 sash. Two windows that wrap around the southeastern corner now have crank-out sash rather than double-hung sash. The exterior appears to be largely intact except for the garage door, early screened porch, and two crank-out windows.

***Historical Background***

This house was built nine years after the end of World War II. The original owners were Norman M. and Evelyn M. Tollison. Norman was an insurance salesman with an office downtown at 205 Bush St.

***Recommendation***

The Tollison House, built in 1954, is one of two adjacent Ranch-style houses of similar age and basic design, sited with far-reaching views of the river valley. In age, size, style, and form, the Tollison House is typical of houses built during Red Wing's post-World War II housing boom. The house appears to meet National Register integrity requirements and could be eligible if found to be significantly associated with an important event or broad pattern (Criterion A) or an important person (Criterion B). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



Fig. 120. 1765 4th St. W. Tollison House, south and east elevations (facing NW)

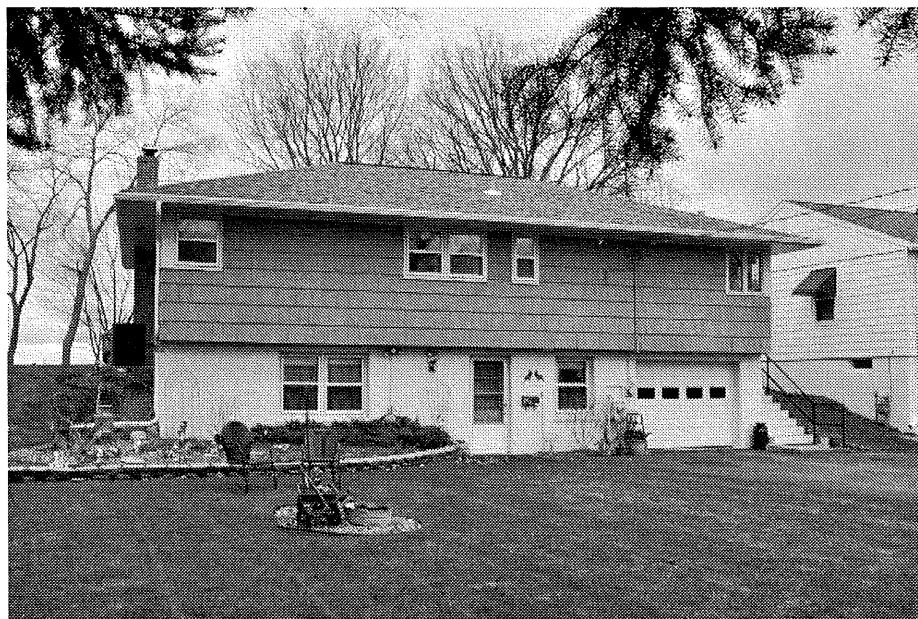
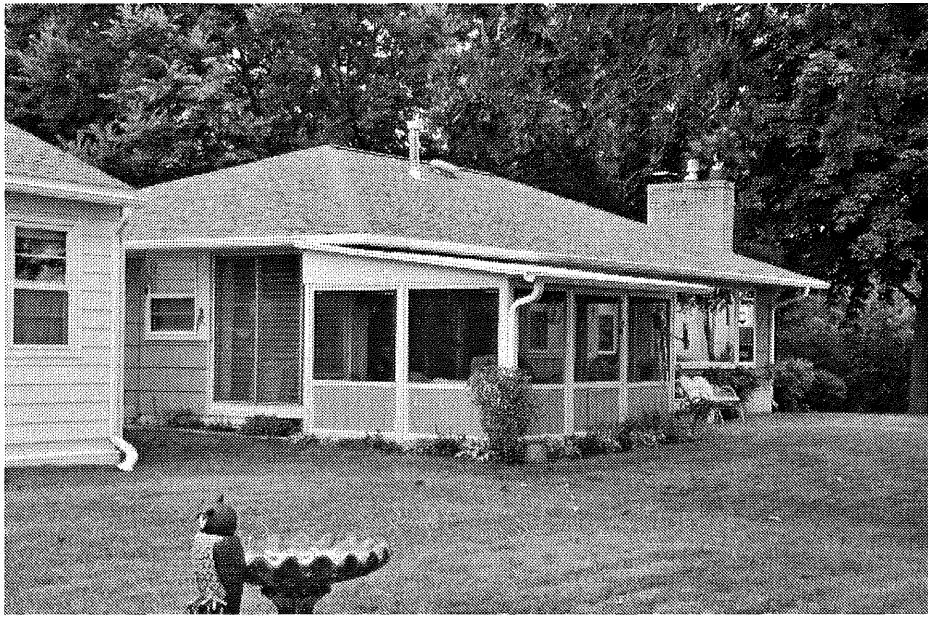


Fig. 121. 1765 4th St. W. Tollison House, south elevation (facing N)

**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 122. 1765 4th St. W.** Tollison House, northeast corner with jalousie windows, early screened porch, and picture window (facing W)



**Fig. 123. 1765 4th St. W.** Tollison House, front yards of 1765 and 1759 W. 4th St. (facing W)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-425 103 5th St. E**

**Hist Name:** **Davidson House**

**Built:** ca. 1925

**NR Status:** Need More Information

**HPC Status:**

The Davidson House, built circa 1925, stands on a triangular lot at Fifth and Bluff Streets in East Red Wing (also called the East End). The house is a two-story woodframe building covered with stucco. It has a symmetrical, period revival design. The gabled roof has little overhang at the eaves. The center of the main facade has an enclosed entrance porch with a curved roof. There is an unusual and probably original one-story rear wing with a parapet wall at each end. The wing contains a single-car garage at the western end and a room (perhaps a sun porch or kitchen) at the eastern end.

***Historical Background***

The County Tax Assessor lists a year built of 1907, but the Heritage Preservation Commission's Red Wing Historic Resources Inventory form (1986) suggests the house was built between 1921 and 1930 for Oscar Davidson. (Information on Sanborn insurance maps is not definitive.)

The 1932 Red Wing city directory lists the resident as Paul O. Davidson, a fireman. The 1938 city directory lists the resident as Paul's widow, Mrs. Inga Davidson.

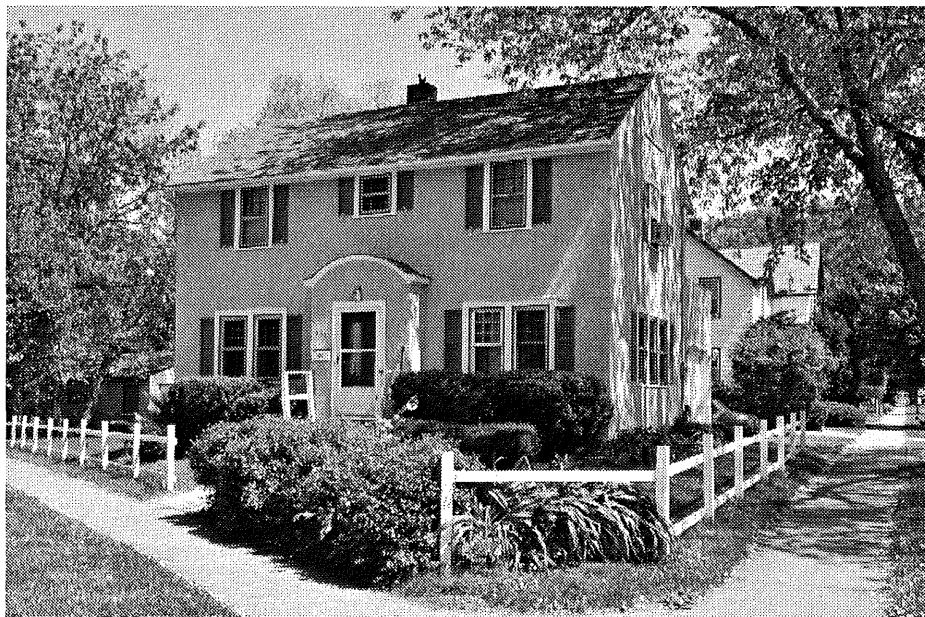
***Recommendation***

The Davidson House is one of the most intact early 20th century houses in the East End or East Red Wing (the part of the city east of Bluff Street). The house appears to meet National Register integrity requirements and could be eligible if found to be significantly associated with an important event or broad pattern (Criterion A) or an important person (Criterion B). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 124. 103 5th St. E. Davidson House, main facade and west side (facing E)**



**Fig. 125. 103 5th St. E. Davidson House, west side and rear (facing N)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-426 108 5th St. E****Hist Name:** **Axelson House****Built:** ca. 1875**NR Status:** Not Eligible**HPC Status:**

The Axelson House has a tri-gabled ell form typical of many houses of its age in Red Wing. Exterior changes include vinyl siding, porch alterations, window sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 126. 108 5th St. E. Axelson House (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-427 112 5th St. E**

**Hist Name: Anderson House**

**Built: ca. 1875**

**NR Status: Not Eligible**

**HPC Status:**

The Anderson House has many alterations including vinyl siding, porch alterations, remodeled window openings, and window sash replacement. It has a substantial addition, and architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 127. 112 5th St. E. Anderson House (facing NE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-428 120 5th St. E**

**Hist Name:** House  
**Built:** 1854  
**NR Status:** Not Eligible  
**HPC Status:**

This house has a deeper setback than neighboring buildings. The house has several exterior alterations including a Craftsman-style remodeling with wood shingle siding, a replaced porch, modified window openings, and window sash replacement. The house has a substantial addition and architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



Fig. 128. 120 5th St. E. House (facing NE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-429 122 5th St. E****Hist Name:** **House****Built:** ca. 1875**NR Status:** Not Eligible**HPC Status:**

This house has several alterations. They include vinyl siding, porch alterations, additions, changes to window openings, and replacement window sash. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 129. 122 5th St. E. House (facing NW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-430 128 5th St. E**

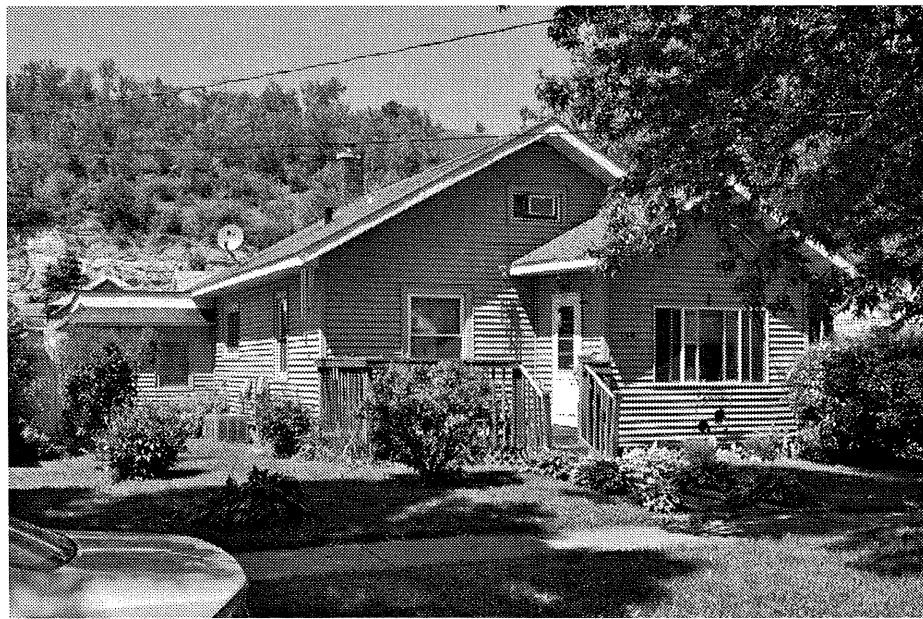
**Hist Name:** House

**Built:** 1924

**NR Status:** Not Eligible

**HPC Status:**

This Craftsman-style house is located at the northwestern corner of Fifth and Sanderson in Red Wing's East End. Its many alterations include vinyl siding, a porch converted to living space, window sash changes, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 130. 128 5th St. E. House (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-431 201 5th St. E**

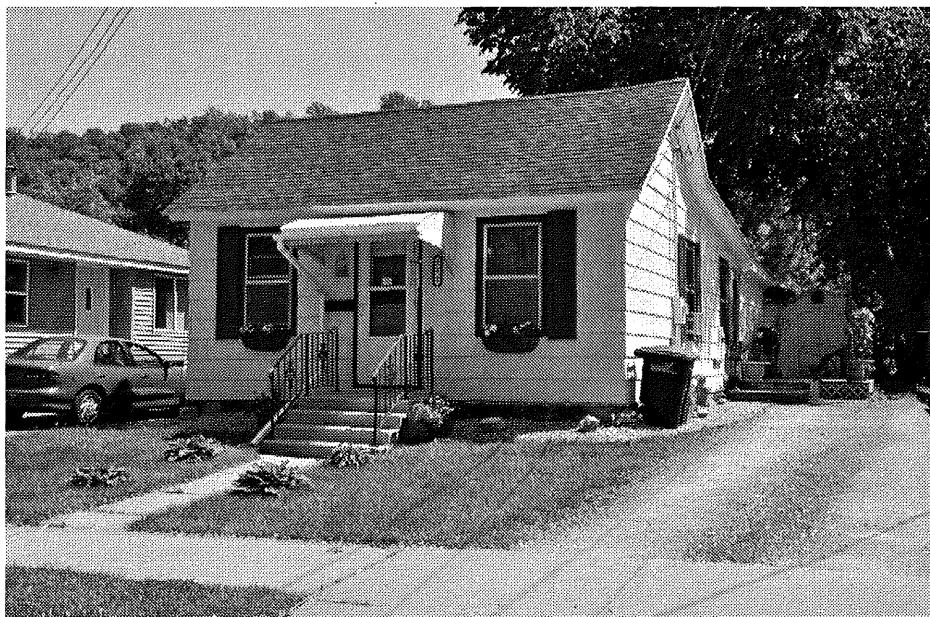
**Hist Name: Johnson House**

**Built: ca. 1865**

**NR Status: Not Eligible**

**HPC Status:**

The Johnson House is a modest one-story structure. Exterior alterations include composition board siding, a missing porch, window openings altered, window sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 131. 201 5th St. E. Johnson House (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-432 202 5th St. E**

**Hist Name:** **Hendel House**

**Built:** ca. 1875

**NR Status:** Not Eligible

**HPC Status:**

The Hendel House has significant alterations that include new vinyl siding, porch alterations, an addition, remodeled window casings, and sash changes. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 132. 202 5th St. E. Hendel House (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-433 205 5th St. E**

**Hist Name:** House

**Built:** 1964

**NR Status:** Not Eligible

**HPC Status:**

This hip-roofed Ranch style house has been altered with vinyl siding and replacement window sash. The eaves have also been encased in vinyl. This property is too altered to meet National Register integrity requirements.



Fig. 133. 205 5th St. E. House (facing SE)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-434 209 5th St. E****Hist Name:** Otis House**Built:** ca. 1865**NR Status:** Not Eligible**HPC Status:**

The Otis House is a 1 1/2-story gable-roofed building with the gable ends facing the sides of the lot. Exterior alterations include composition board siding, porch changes, replacement window sash, replacement doors, and a substantial addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



Fig. 134. 209 5th St. E. Otis House (facing SW)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-435 210 5th St. E**

**Hist Name:** Ogilvie House

**Built:** ca. 1880

**NR Status:** Not Eligible

**HPC Status:**

The Ogilvie House has substantial alterations that include vinyl siding, porch changes, window sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 135. 210 5th St. E. Ogilvie House (facing N)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-436 214 5th St. E**

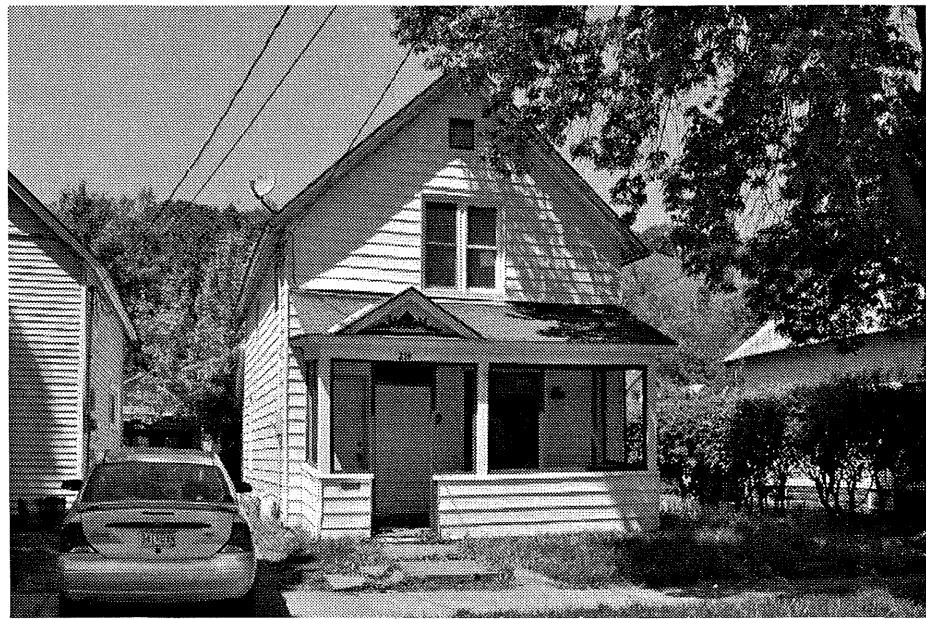
**Hist Name:** **Lindblom House**

**Built:** ca. 1880

**NR Status:** Not Eligible

**HPC Status:**

The Lindblom House retains Queen Anne-inspired floral detailing in the tympanum over the porch entrance. Alterations include aluminum siding, changes to the porch, and window sash replacement. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 136. 214 5th St. E. Lindblom House (facing N)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-437 217 5th St. E**

**Hist Name:** **House**

**Built:** **1968**

**NR Status:** **Not Eligible**

**HPC Status:**

This house has alterations that include a picture window on the main facade, composition board siding, and window sash replacement. This property is too altered to meet National Register integrity requirements.



**Fig. 137. 217 5th St. E. House (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-438 218 5th St. E****Hist Name:** **Hanson House****Built:** 1920**NR Status:** Not Eligible**HPC Status:**

The Hanson House, built in 1920, is a Craftsman style bungalow with the gable end facing the street. It has a rockfaced concrete block foundation and clapboard siding. The house has bracketed eaves and exposed rafter tails. Sliding sash replaces double-hung sash on the principal living room window on the main facade, and on two windows on the west side. Shutters have been added to window openings. The front porch has been enclosed with windows. In 1938, according to the city directory, this was the home of Ida Hanson, a 71-one-year-old Swedish immigrant who was the widow of Oscar Hanson. This property is too altered to meet National Register integrity requirements.



**Fig. 138. 218 5th St. E. Hanson House (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-439 221 5th St. E**

**Hist Name: Malloy House**

**Built: ca. 1870**

**NR Status: Not Eligible**

**HPC Status:**

The Malloy House has many alterations including a porch replaced and later enclosed, a substantial addition, asbestos siding, window opening changes, and sash replacement. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 139. 221 5th St. E. Malloy House (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-440 222 5th St. E**

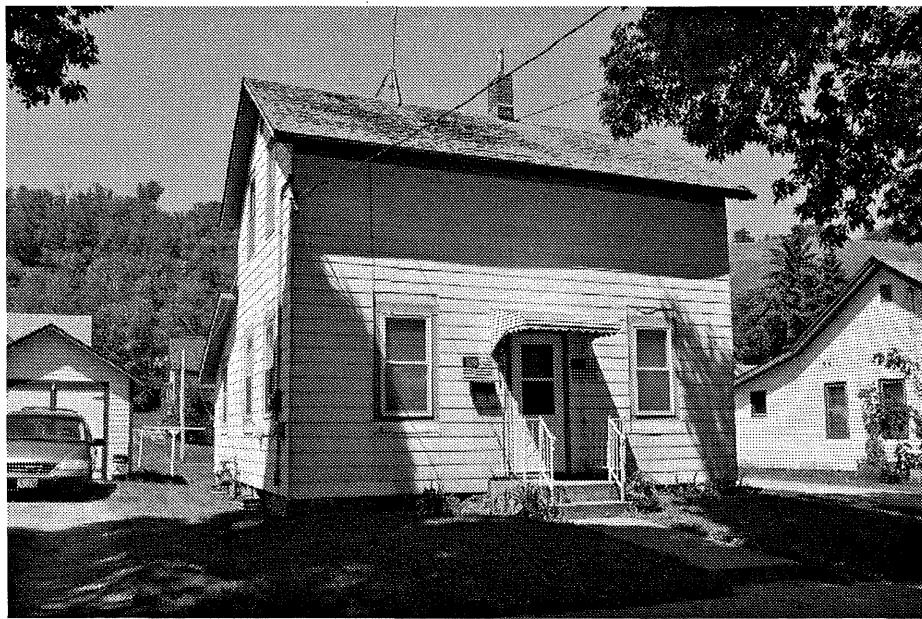
**Hist Name:** **Reinbold House**

**Built:** ca. 1875

**NR Status:** Not Eligible

**HPC Status:**

The Reinbold House has several exterior alterations that include a porch removed, asbestos siding, and window opening and sash changes. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 140. 222 5th St. E. Reinbold House (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-441 225 5th St. E**

**Hist Name: Nelson House**

**Built: ca. 1880**

**NR Status: Not Eligible**

**HPC Status:**

The Nelson House has significant alterations including vinyl siding, a removed porch, window opening changes, sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 141. 225 5th St. E. Nelson House (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-442 228 5th St. E**

**Hist Name:** Berlin House

**Built:** ca. 1880

**NR Status:** Not Eligible

**HPC Status:**

The Berlin House has several exterior alterations. They include vinyl siding, porch alterations, window sash replacement, an added carport, and a rear addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.

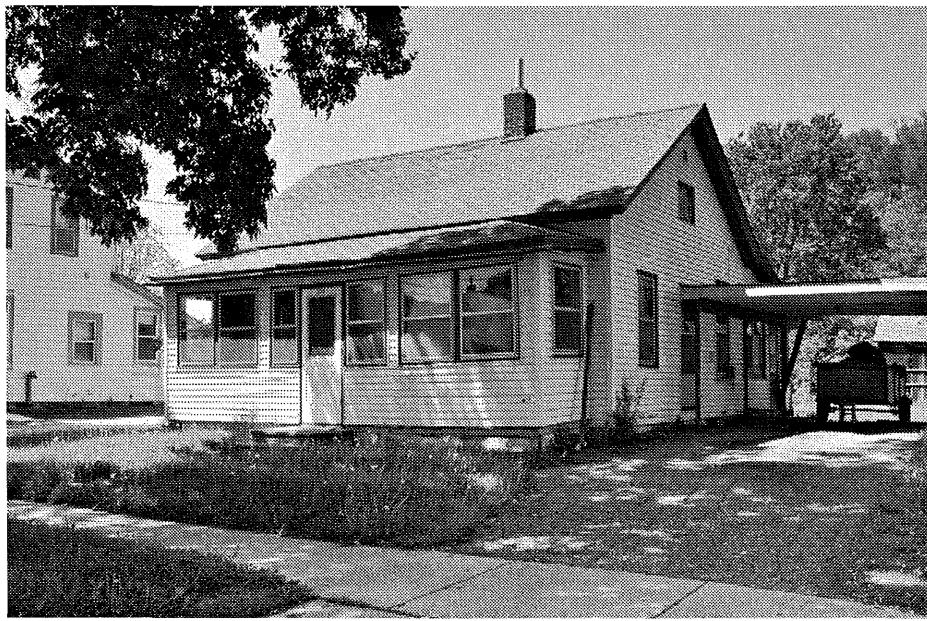


Fig. 142. 228 5th St. E. Berlin House (facing NW)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-443 233 5th St. E**

**Hist Name:** **Ferrin House**

**Built:** ca. 1880

**NR Status:** Not Eligible

**HPC Status:**

The Ferrin House is unusual in that the front entrance is not on the main (or street side) facade. Alterations include vinyl siding, porch alterations, window sash replacement, mock shutters, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 143. 233 5th St. E. Ferrin House (facing SE)**

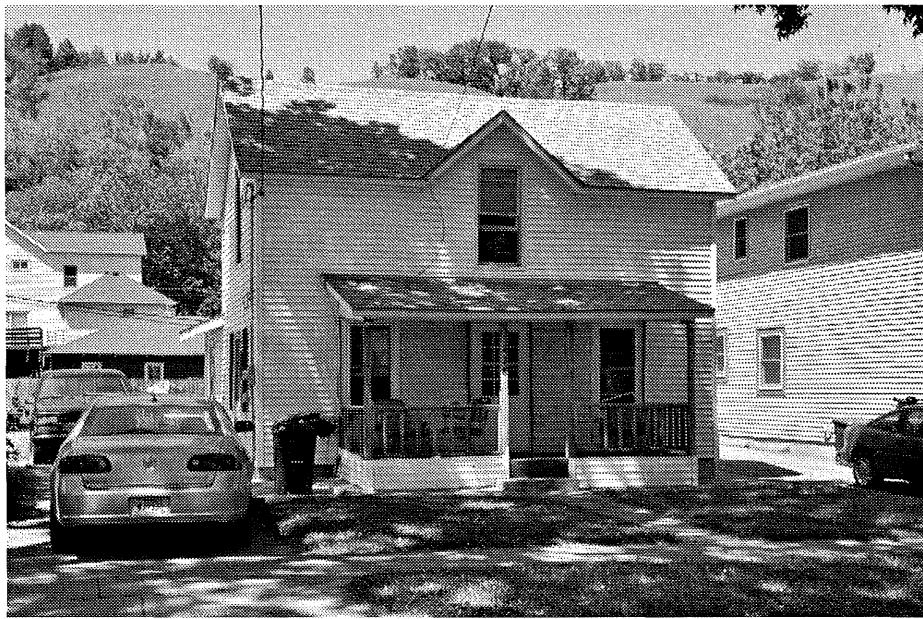
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-445 238 5th St. E****Hist Name:** Olson House**Built:** ca. 1875**NR Status:** Not Eligible**HPC Status:**

The Olson House has a central gabled wall dormer, a design element that suggests an early construction date. Exterior alterations include vinyl siding, porch alterations, window sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 144. 238 5th St. E. Olson House (facing N)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-446 241 5th St. E**

**Hist Name:** Olson House

**Built:** 1922

**NR Status:** Not Eligible

**HPC Status:**

This Craftsman-style bungalow is located at the southwestern corner of Fifth and Hodgman in eastern Red Wing. It has a jerkinhead roof and a prominent central dormer, also with a jerkinhead roof. There is a gable-roofed, screened front porch supported by short square wooden columns on brick piers, and also a rear screened porch. Horizontal sliding sash replaces the original sash on the first story; some of the openings have been enlarged. Other alterations include vinyl siding, window casings covered, and eaves encased with vinyl which obscures the characteristic Craftsman-style exposed rafter tails. Wooden brackets or knee braces have probably been removed from the eaves. This property is too altered to meet National Register integrity requirements.



**Fig. 145. 241 5th St. E. Olson House (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-447 242 5th St. E**

**Hist Name:** **Rask House**

**Built:** ca. 1880

**NR Status:** Not Eligible

**HPC Status:**

The Rask House has several alterations. They include vinyl siding, porch alterations, window sash replacement, and a substantial addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 146. 242 5th St. E. Rask House (facing NW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-448 244 5th St. E**

**Hist Name:** **Bergen House**

**Built:** ca. 1875

**NR Status:** Not Eligible

**HPC Status:**

The Bergen House retains some 4/4 sash. Alterations include vinyl siding, a porch removed, window sash replacement, and addition(s). Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



Fig. 147. 244 5th St. E. Bergen House (facing NW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-449 248 5th St. E****Hist Name:** Heinrichs House**Built:** ca. 1875**NR Status:** Not Eligible**HPC Status:**

The Heinrichs House has a tri-gabled ell form. The house has several exterior alterations including aluminum siding, a porch removed, a deck added, and window sash replacement. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 148. 248 5th St. E. Heinrichs House (facing N)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-450 252 5th St. E****Hist Name:** House**Built:** ca. 1950**NR Status:** Not Eligible**HPC Status:**

This house has a gabled roof with little overhang at the eaves. Exterior alterations include window opening and sash changes, an added deck, and vinyl siding. This property is too altered to meet National Register integrity requirements.



**Fig. 149. 252 5th St. E. House (facing N)**

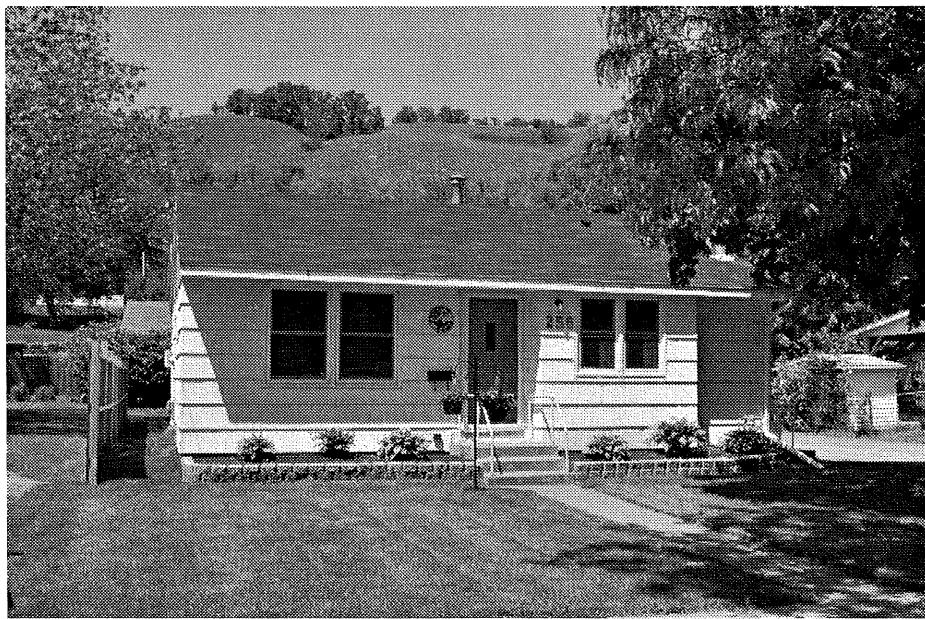
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-451 256 5th St. E****Hist Name:** House**Built:** 1961**NR Status:** Not Eligible**HPC Status:**

This small Ranch style house has several exterior alterations including window opening and sash changes, and asbestos siding which likely replaces or covers the original siding. Additional vinyl siding has been added to the gable ends, and the door opening on the eastern elevation has been altered. This property is too altered to meet National Register integrity requirements.



**Fig. 150. 256 5th St. E. House (facing N)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-453 264 5th St. E**

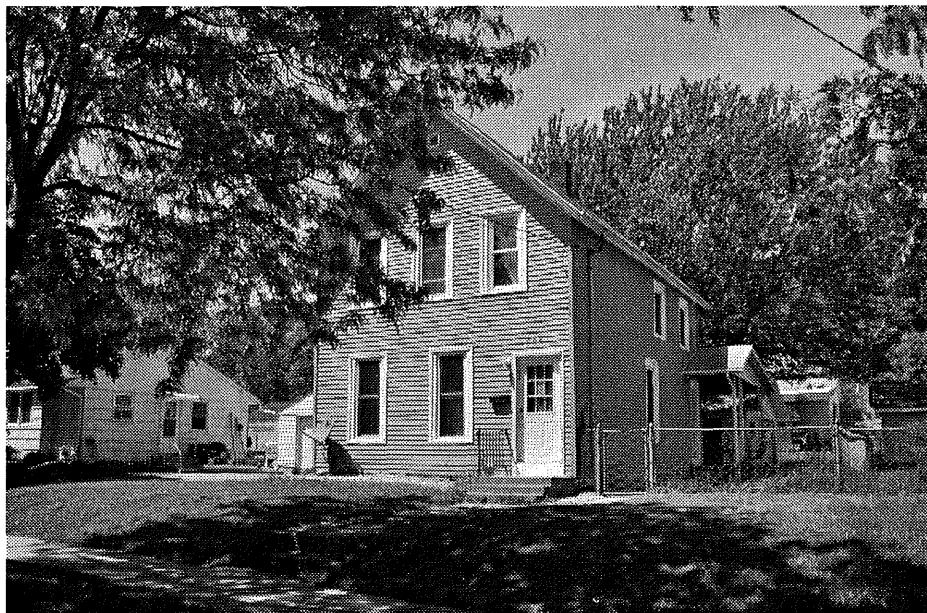
**Hist Name:** **House**

**Built:** ca. 1890

**NR Status:** Not Eligible

**HPC Status:**

This is one of three adjacent, originally-identical, circa 1890 houses that were moved to this block circa 1957 when Highway 61 was moved closer to Barn Bluff in East Red Wing. (See 268 and 272 E. 5th St.; GD-RWC-454 and GD-RWC-455.) All three houses retain similar window and door arrangements on a three-bay main facade. Window casings are ornamented with rondels and incised bands. The house has significant alterations including siding, porch removal, window sash and door replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 151. 264 5th St. E. House (facing NW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-454 268 5th St. E**

**Hist Name:** House  
**Built:** ca. 1890  
**NR Status:** Not Eligible  
**HPC Status:**

This is one of three adjacent, originally-identical, circa 1890 houses that were moved to this block circa 1957 when Highway 61 was rerouted in Red Wing's East End. (See 264 and 272 E. 5th St.; GD-RWC-453 and GD-RWC-455.) All three houses have a three-bay main facade with a similar window and door arrangement. All have window casings with rondels and incised bands. This house has 2/2 sash. It has several alterations including siding, porch removal, window sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.

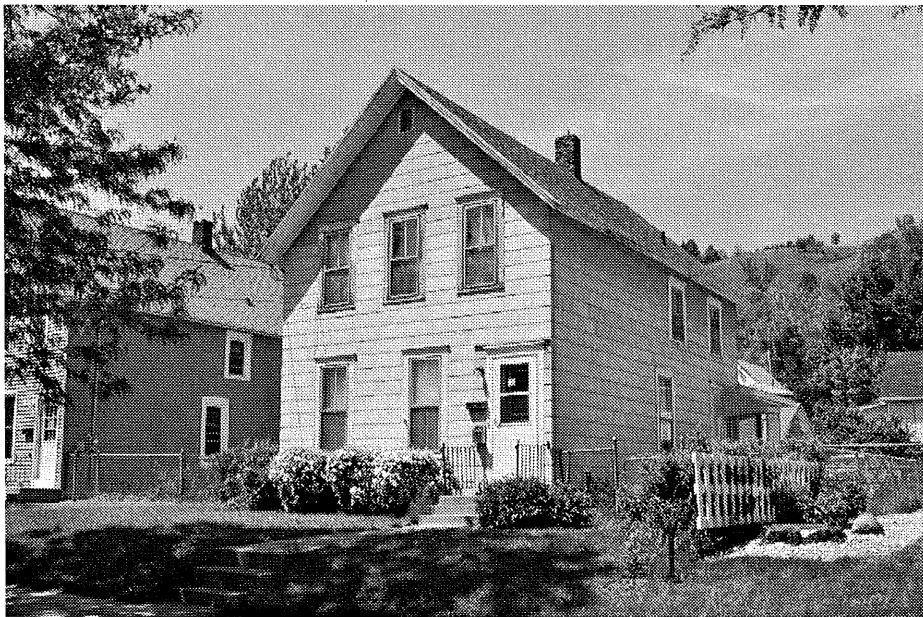


Fig. 152. 268 5th St. E. House (facing NW)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-456 269 5th St. E**

**Hist Name:** **Colvill School**

**Other Name:** Colvill School Family Center

**Built:** 1937

**NR Status:** Not Eligible

**HPC Status:**

Colvill School, built in 1937, has a Moderne-influenced design with simple sculptural massing, horizontal emphasis, smooth brick wall surfaces, and glass block in some window openings. Most operable windows have recent replacement sash. Two sensitively-designed additions have nearly doubled the size of the school. There are large bituminous parking areas flanking the building. Colvill School is too altered to meet National Register integrity requirements.



**Fig. 153. 269 5th St. E. Colvill School, main facade (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



Fig. 154. 269 5th St. E. Colvill School, west side (facing SE)

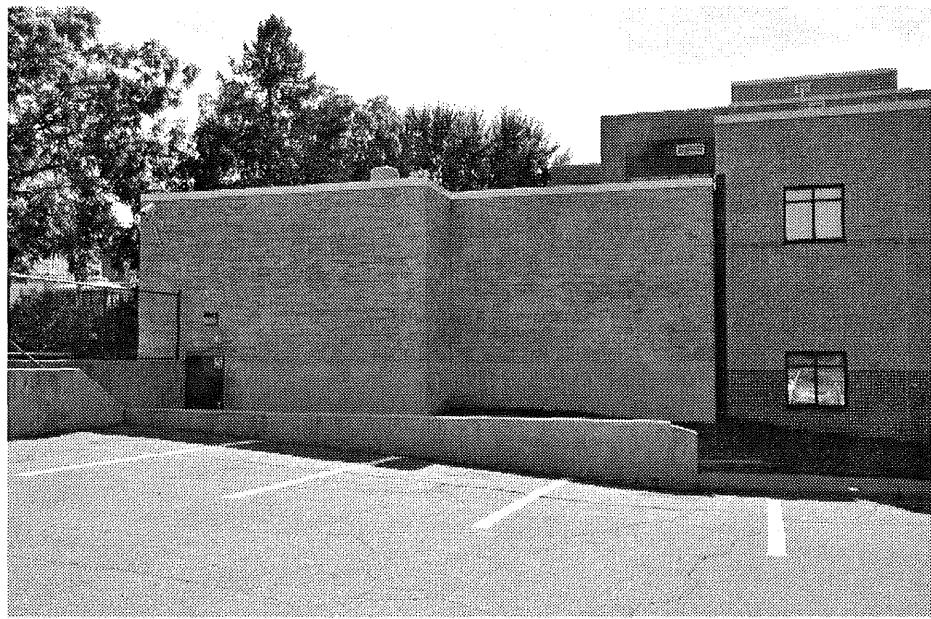


Fig. 155. 269 5th St. E. Colvill School, two east additions (facing SW)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 156. 269 5th St. E. Colvill School, southeast addition (facing NW)**

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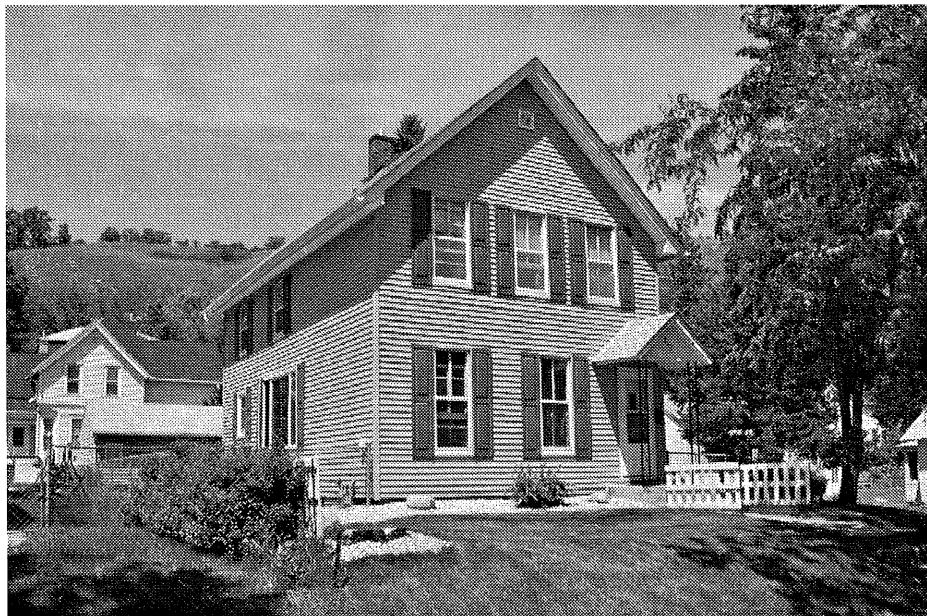
## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-455 272 5th St. E**

**Hist Name:** House  
**Built:** ca. 1890  
**NR Status:** Not Eligible  
**HPC Status:**

This house, located at the northwestern corner of Fifth and Green in Red Wing's East End, is one of three adjacent, originally-identical, circa 1890 houses that were moved to this block circa 1957 when Highway 61 was rerouted from East Seventh Street to the base of Barn Bluff. (See 264 and 268 E. 5th St.; GD-RWC-453 and GD-RWC-454.) All three houses retain similar window and door arrangements on a three-bay main facade. Window casings are decorated with rondels and incised bands.

The house has many alterations including siding, porch removal, window opening alterations, window sash replacement, mock shutters, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 157. 272 5th St. E. House (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-457 304 5th St. E**

**Hist Name:** **Anderson House**

**Built:** 1930

**NR Status:** Need More Information

**HPC Status:**

The Anderson House, built in 1930, is located at the northeastern corner of Fifth and Green Streets, just south of Barn Bluff. It is a basically intact, one-story, Craftsman-style bungalow with the gable end facing the street and three-bay sidewalls. The house has a rockfaced concrete block foundation and clapboard siding. At the center of the main facade is a bracketed, gabled overhang sheltering the front door. A wooden stoop has been added. Most windows retain 3/1 double-hung sash. The three-light front door is original. On the rear elevation is an original or very early hip-roofed porch.

***Historical Background***

The original owners of the house were a young couple, Harold B. and Lillian Anderson. Harold worked as a truck driver for Winona Oil Company and later for C. E. Betcher Lumber Company. By 1938 Harold had died and Lillian was working as an operator for LaGrange Shoe Company.

***Recommendation***

The Anderson House is an intact Craftsman-style bungalow. It likely meets National Register integrity requirements and could be eligible if found to be significantly associated with an important event or broad pattern (Criterion A) or an important person (Criterion B). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



Fig. 158. 304 5th St. E. Anderson House, main facade (facing NE)



Fig. 159. 304 5th St. E. Anderson House, main facade and east side (facing N)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-458 312 5th St. E**

**Hist Name:** House  
**Built:** ca. 1930  
**NR Status:** Not Eligible  
**HPC Status:**

This modest one-story house is located at the northwestern corner of Fifth and Arkin just south of Barn Bluff in East Red Wing (also called the East End). Exterior changes include vinyl siding, porch alterations, a deck added to the main facade, and window sash replacement. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 160. 312 5th St. E. House (facing NE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-459 326 5th St. E**

**Hist Name:** House  
**Built:** ca. 1875  
**NR Status:** Not Eligible  
**HPC Status:**

This house is located at the northeastern corner of Fifth and Arkin just south of Barn Bluff. It has many alterations including vinyl siding, porch changes, a deck added to the main facade, window sash replacement, and additions. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 161. 326 5th St. E. House (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-461 332 5th St. E**

**Hist Name:** House

**Built:** ca. 1890

**NR Status:** Not Eligible

**HPC Status:**

The house at 332 E. 5th St. is a small, gable-roofed building. Exterior alterations include vinyl siding, porch changes, window sash replacement, and major additions. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 162. 332 5th St. E. House (facing NW)**

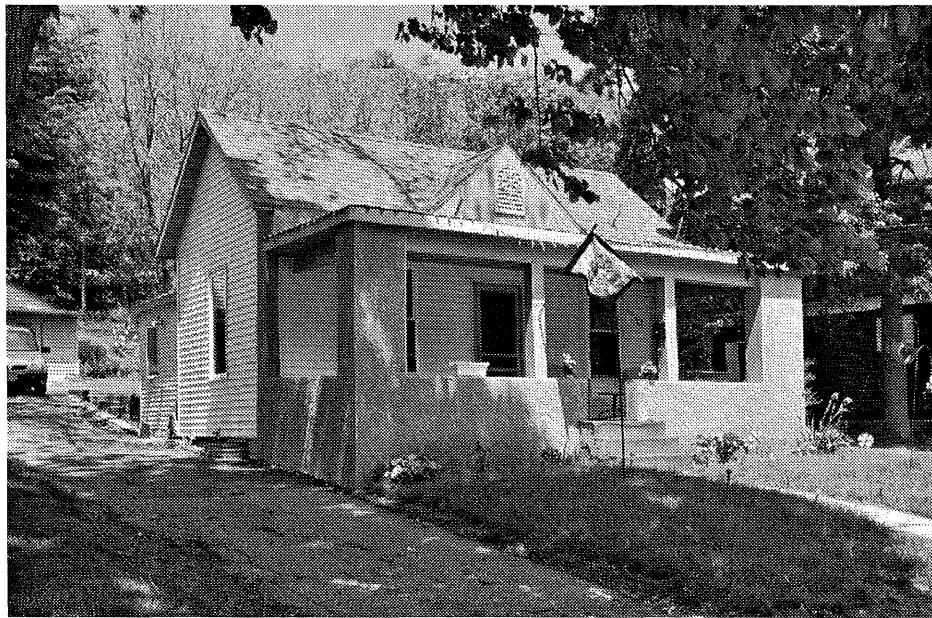
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-462 338 5th St. E****Hist Name:** House**Built:** ca. 1880**NR Status:** Not Eligible**HPC Status:**

This house, located near the base of Barn Bluff, has significant exterior alterations that include vinyl siding, stucco, porch changes, window opening and sash changes, and additions. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 163. 338 5th St. E. House (facing NE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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**GD-RWC-463 342 5th St. E**

**Hist Name:** **House**

**Built:** ca. 1905

**NR Status:** Need More Information

**HPC Status:**

This 1 1/2-story Dutch Colonial Revival-style house is located on the northern side of East 5th Street just south of Barn Bluff. The rear lot line meets the Highway 61 right-of-way. The house was built circa 1905 and has an intersecting gambrel roof, clapboard siding, and square-cut wood shingles in the gambrel ends. Across the front is a hip-roofed porch (which was originally open) with three short Tuscan columns on a solid clapboard balustrade. Window openings are rectangular with 1/1 sash and architraves at the tops of the casings. There is a pair of fixed windows with fairly-rare multipaned Queen Anne-style sash at the attic level on the main facade. Alterations include enclosure of the porch, window sash replacement, and the addition of mock shutters. In addition, a rectangular window opening on the western side wall has been replaced with an octagonal opening, and a shed-roofed porch has been added to the rear (northwestern) corner. Vertical boards were later added to the rear porch as a privacy screen. Despite these changes, the exterior appears to retain basic historic integrity.

***Historical Background***

The Red Wing HPC's Historic Resources Inventory form (1986) dates the house to between 1894 and 1910; the inventory form indicates the house does not appear on an 1894 map but does appear on a 1910 map. The County Tax Assessor lists a year built of 1921, which may be an error or may refer to an alteration.

***Recommendation***

In 1986 this house was identified in the Red Wing HPC's architecture-history survey as an "East End Structure Worthy of Further Consideration" (Conklin 1986). It is one of the most intact early 20th century homes in East Red Wing or the East End (the part of the city east of Bluff Street). It is an example of the Dutch Colonial Revival – a style fairly uncommon in Red Wing (Becker 1997). The house may meet National Register integrity requirements and could be eligible if found to be significantly associated with an important event or broad pattern (Criterion A) or an important person (Criterion B). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



Fig. 164. 342 5th St. E. House, main facade and east side (facing NW)



Fig. 165. 342 5th St. E. House, main facade and west side (facing NE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-464 402 5th St. E**

**Hist Name:** **House**

**Built:** ca. 1885

**NR Status:** Not Eligible

**HPC Status:**

This house is located just south of Barn Bluff and has several alterations that include vinyl siding, applied thin limestone, porch changes, window opening and sash changes, and additions. Architectural details have been covered and/or removed. The property is too altered to meet National Register integrity requirements.



**Fig. 166. 402 5th St. E. House (facing N)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-465 410 5th St. E**

**Hist Name:** House  
**Built:** ca. 1875  
**NR Status:** Not Eligible  
**HPC Status:**

The oldest portion of this complex building is probably the eastern part, which is a small, one-story, gable-roofed house with a limestone foundation. The gable ends face the side of the lot. It has a substantial addition that appears to be another house merged with the first. Additional exterior alterations include vinyl siding, porch changes, and window opening and sash changes. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 167. 410 5th St. E. House (facing N)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-466 425 5th St. E**

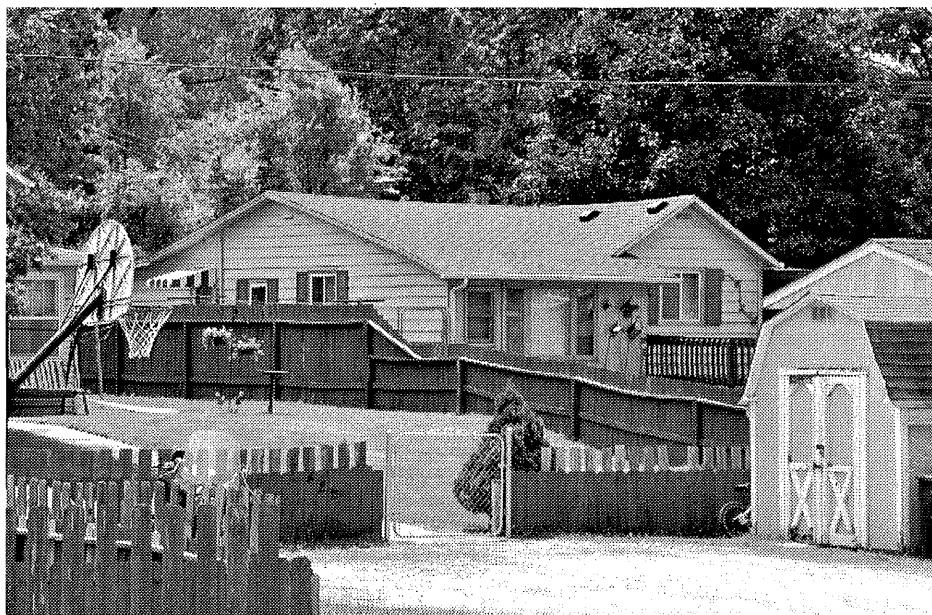
**Hist Name:** House

**Built:** ca. 1905

**NR Status:** Not Eligible

**HPC Status:**

This house is set far back from the street with a long north-south driveway. It has several alterations that include vinyl siding, additions, and window opening and sash changes. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 168. 425 5th St. E. House (facing SW)**

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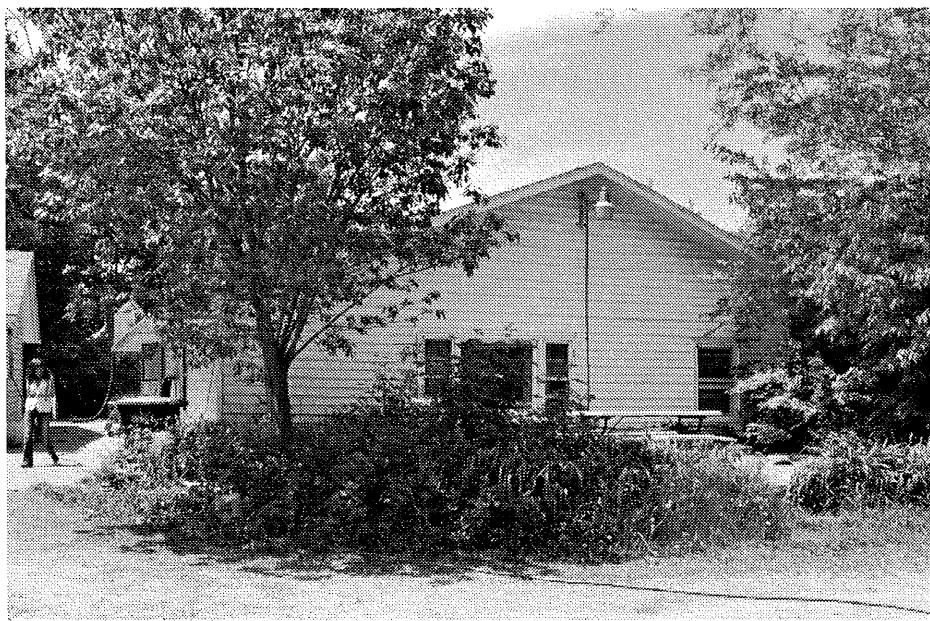
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-467 425.5 5th St. E**

**Hist Name:** House  
**Built:** 1940  
**NR Status:** Not Eligible  
**HPC Status:**

This house is set far back from the street with a long north-south driveway. There are many alterations including vinyl siding, additions, and window opening and sash changes. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 169. 425.5 5th St. E. House (facing S)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-469 429 5th St. E**

**Hist Name:** **House**

**Built:** ca. 1900

**NR Status:** Not Eligible

**HPC Status:**

This house is located just south of Barn Bluff on the southern side of 5th St. E, with a deep setback. It has an intersecting gabled roof. Alterations include vinyl siding, porch enclosure, and window sash changes. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 170. 429 5th St. E. House (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

### GD-RWC-1378 ca. 700 5th St. E

**Hist Name:** Red Wing Water Dept. Pump House 2

**Built:** 1923

**NR Status:** Need More Information

**HPC Status:**

This city water plant is located just north of Highway 61/63 at the eastern base of Barn Bluff. The property has two principal structures, a water storage reservoir and a pump house building, both dating from 1923 and both largely intact. The circular, 750,000-gallon reservoir is a poured concrete cylinder with a partly-buried, buttressed, concrete base. The pump house is a one-story rectangular building faced with brown brick. It has a simple decorative brick cornice and terra cotta coping. Rectangular window and door openings have smooth poured concrete sills and lintels. The window openings have been filled with concrete block. Additional site features include an exterior concrete and steel hatch used to access below-grade equipment, a section of mid-20th century concrete curbing, and a short section of mortared limestone rubble retaining wall behind the pump house.

#### ***Historical Background***

Pump House No. 2 was built in 1923 to supplement Pump House No. 1 at 935 Levee Road (GD-RWC-1381), which was built in 1883-1884 when the city's municipal water works system was first established. In 1923, when Pump House No. 2 was built, Red Wing's water works system included Pump House No. 1 (which had been expanded), two water reservoirs on Sorin's Bluff (the 1927 reservoir still stands), additional pumps, and water mains, hydrants, and other infrastructure.

#### ***Recommendation***

Pump House No. 2 was inventoried in 2010 by 106 Group. On the inventory form's statement of significance, 106 Group recommends the property is eligible for the National Register of Historic Places (NRHP) by writing: "The growth of the city throughout the first decades of the 20th century necessitated construction of an additional pump house and reservoir. The City Water Department Pump House No. 2 is potentially significant under NRHP Criterion A in the area of Community Planning and Development as an example of the necessary public infrastructure that was required to serve the growing population of Red Wing" (Van Erem "City Water Department Pump House No. 2" 2010).

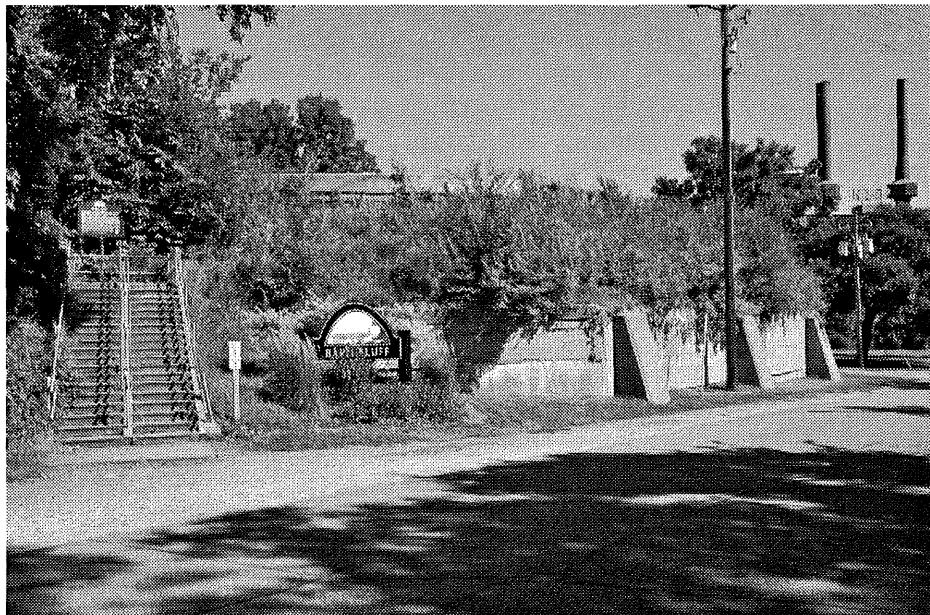
Gemini Research recommends that the question of National Register eligibility requires further analysis. To be eligible under Criterion A, a property must not be simply *associated* with a broad pattern of history, but must be *significantly* associated with, or significant to, that broad pattern or important event. It is not clear that Pump House No. 2 has any distinctive physical attributes or any unusual or important historical associations. Simply being an example of typical public infrastructure built to meet the needs of a normally-growing city may not meet the significance threshold necessary for National Register eligibility. (In contrast, the city's first Pump House No. 1 at 935 Levee Road was built a generation earlier in 1883-1884, is associated with the initial establishment of municipal water service in Red Wing, and was built of local limestone with a distinctive Romanesque Revival design.) Gemini Research recommends that further research and analysis be conducted to understand more about the design and construction of Pump House No.

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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2 and to determine whether it has any outstanding historical or engineering associations that might make it eligible for the National Register.



**Fig. 171. ca. 700 5th St. E.** Red Wing Water Dept. Pump House 2, buttressed concrete storage reservoir; steps to Barn Bluff at left (facing NW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 172. ca. 700 5th St. E.** Red Wing Water Dept. Pump House 2, buttressed concrete storage reservoir (facing W)



**Fig. 173. ca. 700 5th St. E.** Red Wing Water Dept. Pump House 2, main facade of brick pump house (facing W)

**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 174. ca. 700 5th St. E.** Red Wing Water Dept. Pump House 2, side and rear of brick pump house (facing SE)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-424 101 5th St. W**

**Hist Name:** **Pirius House**

**Built:** ca. 1894

**NR Status:** Not Eligible

**HPC Status:**

The Pirius House, built circa 1894, is a relatively large Italianate-style house on a corner lot east of downtown. The house has several exterior alterations including vinyl siding, an enclosed porch, replacement window sash, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 175. 101 5th St. W. Pirius House (facing S)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-423 107 5th St. W**

**Hist Name: Anderson House**

**Built: ca. 1875**

**NR Status: Not Eligible**

**HPC Status:**

This house has a greater setback than its neighbors. There is a bay window on the western side wall. The house has several exterior alterations including a new picture window, altered window openings, and replacement window sash. A porch has most likely been removed and there is an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 176. 107 5th St. W. Anderson House (facing E)**

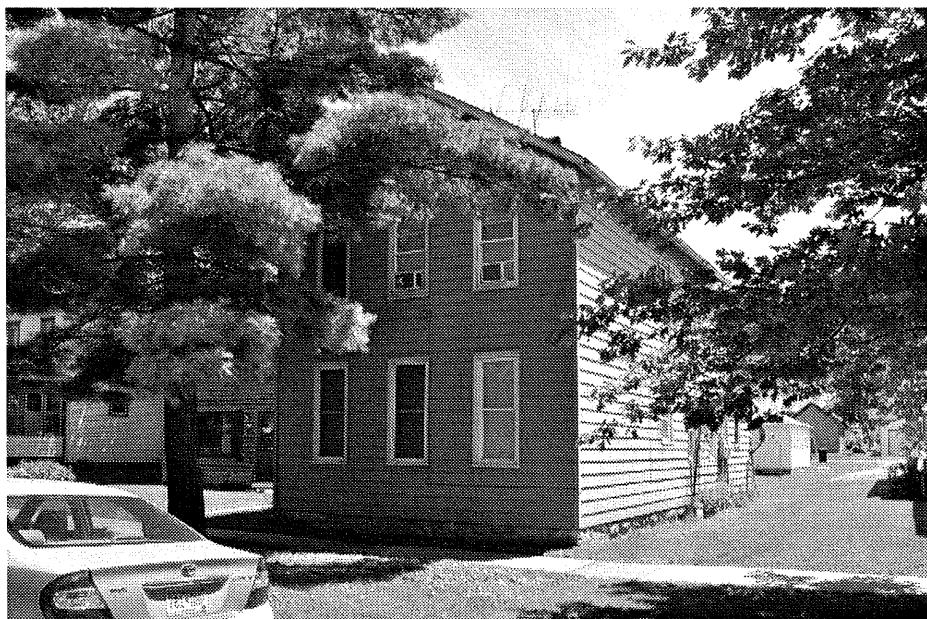
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-422 111 5th St. W****Hist Name:** **Anderson House****Built:** ca. 1875**NR Status:** Not Eligible**HPC Status:**

The house at 111 W. 5th St. is sited very close to the sidewalk. Its many exterior alterations include metal siding, porch changes, and window sash replacement. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 177. 111 5th St. W. Anderson House (facing E)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-421 117 5th St. W**

**Hist Name:** **Warner House**

**Built:** ca. 1875

**NR Status:** Not Eligible

**HPC Status:**

The Warner House, built circa 1875, has many alterations. They include vinyl siding, porch changes, window opening and sash replacement, and a substantial addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



Fig. 178. 117 5th St. W. Warner House (facing E)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-419 127 5th St. W**

**Hist Name:** House  
**Built:** ca. 1925  
**NR Status:** Not Eligible  
**HPC Status:**

This altered Craftsman-style house has experienced several exterior changes including vinyl siding, window sash replacement, and removal or obscuring of architectural details. This property is too altered to meet National Register integrity requirements.



Fig. 179. 127 5th St. W. House (facing SE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1402 201 5th St. W**

**Hist Name:** Chinnock House

**Built:** ca. 1870

**NR Status:** Not Eligible

**HPC Status:**

The Chinnock House, circa 1870, is located at the southwestern corner of Fifth and Potter. It has many exterior alterations that include vinyl siding, porch changes, and window opening and sash changes. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 180. 201 5th St. W. Chinnock House (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1403 209 5th St. W**

**Hist Name:** House  
**Built:** ca. 1880  
**NR Status:** Not Eligible  
**HPC Status:**

Like many houses in the immediate neighborhood, the house at 209 W. 5th St. (circa 1880) has had several exterior alterations. They include vinyl siding, large additions, porch changes, and window opening and sash changes. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



Fig. 181. 209 5th St. W. House (facing S)

**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1404 303 5th St. W**

**Hist Name:** Office Building  
**Other Name:** Palmquist Dental  
**Built:** ca. 1970  
**NR Status:** Not Eligible  
**HPC Status:**

Palmquist Dental is located at the southwestern corner of Fifth and Plum. It is a professional office that appears to have been built circa 1970.

This building is not probably yet 50 years old and is therefore too recent to be considered for the National Register.



Fig. 182. 303 5th St. W. Office Building (facing E)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1405 311 5th St. W**

**Hist Name:** House  
**Other Name:** Body & Soul Massage-Shears Magik  
**Built:** ca. 1903  
**NR Status:** Not Eligible  
**HPC Status:**

This two-story, cube-shaped house was built circa 1903. It has a truncated-hipped roof and segmental-arched window openings with 1/1 sash. The western, eastern, and southern elevations of the house are clearly visible, but a substantial gable-roofed addition obscures the original main (northern) facade. A concrete accessibility ramp has been recently added to the western elevation and a timber stairway has been added to the southern (rear) wall.

The property is too altered to meet National Register integrity requirements.



**Fig. 183. 311 5th St. W. House (facing E)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1406 315 5th St. W**

**Hist Name:** Livery  
**Other Name:** Sign Worx  
**Built:** ca. 1905  
**NR Status:** Not Eligible  
**HPC Status:**

This narrow, one-story, circa 1905 commercial building has an unusual site along the alley near the middle of the block with no direct street frontage. It stands in the "Dutch Town" neighborhood. It is built of rockfaced concrete block with a hipped roof. The western and eastern end walls each have a segmental-arched vehicle opening decorated with a large smooth concrete keystone. The northern and southern elevations have rectangular window and door openings. Several of the window and door openings have been reduced in size or otherwise altered. Those that remain contain replacement sash and doors.

The 1910 Sanborn insurance map labels this building as a livery. The nearby building at 514 Plum St. (GD-RWC-1444) is also labeled "livery."

The property is too altered to meet National Register integrity requirements.



Fig. 184. 315 5th St. W. Livery (facing SE)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

### GD-RWC-1407 725 6th St. W

**Hist Name:** Hedin House

**Built:** 1951

**NR Status:** Need More Information

**HPC Status:**

The Hedin House, built in 1951, is located on the toe of the College Hill bluff and overlooks the Mississippi River and its bluffs, Bridge 9040, and the city below. The large wooded lot is reached via a dead-end section of W. Sixth Street. The land drops off sharply north and east of the house. The house was designed by Twin Cities architect Elizabeth Close, one of the first women to practice architecture in Minnesota. The flat-roofed building has a roughly-L-shaped plan designed to take advantage of tremendous views. Most of the exterior is faced with smooth concrete blocks that are smaller than standard concrete blocks and have been painted white. The garage section, at the western end, is faced with wide, horizontal, tongue and groove boards. The house has wide overhanging eaves and a deep blue band at the roof edge that contribute to the design's horizontal emphasis. There are large rectangular window openings and groups of windows, some of which wrap around corners of the building. The northern and eastern elevations, as seen from the streets below, are dominated by windows. The exterior of the house appears to be intact.

#### ***Historical Background***

This house was built six years after the end of World War II. The original owners were Raymond F. and Lydia "Elizabeth" Hedin. Raymond Hedin died four years after the house was built, while Elizabeth Hedin lived here for many decades. She was a philanthropist and, around 1970, was the first woman elected to the Red Wing City Council. She grew up at her parents' Tower View Farm located just north of Red Wing. (Her father was noted scientist Alexander P. Anderson who invented the method for puffing cereal grains.) Raymond F. Hedin, a Red Wing native, was a physician and cofounder in 1932 of Red Wing's Interstate Medical Center (razed).

Architect Elizabeth Close was born in Austria and educated in Austria and at MIT in the 1930s. She and her husband Winston Close established an architectural partnership in Minnesota in 1939 that continues today as Close Associates.

#### ***Recommendation***

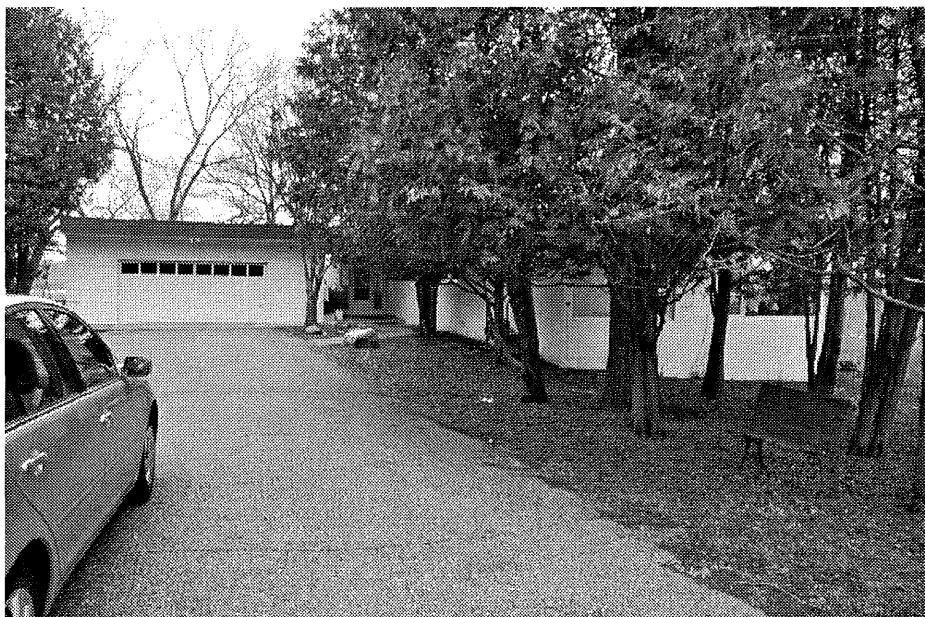
The Hedin House, built in 1951, was designed by noted Twin Cities architect Elizabeth Close and was the longtime home of civic leader and philanthropist Elizabeth Hedin. The house appears to meet National Register integrity requirements and could be eligible if found to be significantly associated with an important broad pattern or event (Criterion A), or an important person (Criterion B), or found to be architecturally significant (Criterion C). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 185. 725 6th St. W. Hedin House, designed by Elizabeth Close; south elevation (facing N)**



**Fig. 186. 725 6th St. W. Hedin House, garage and house (facing NW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

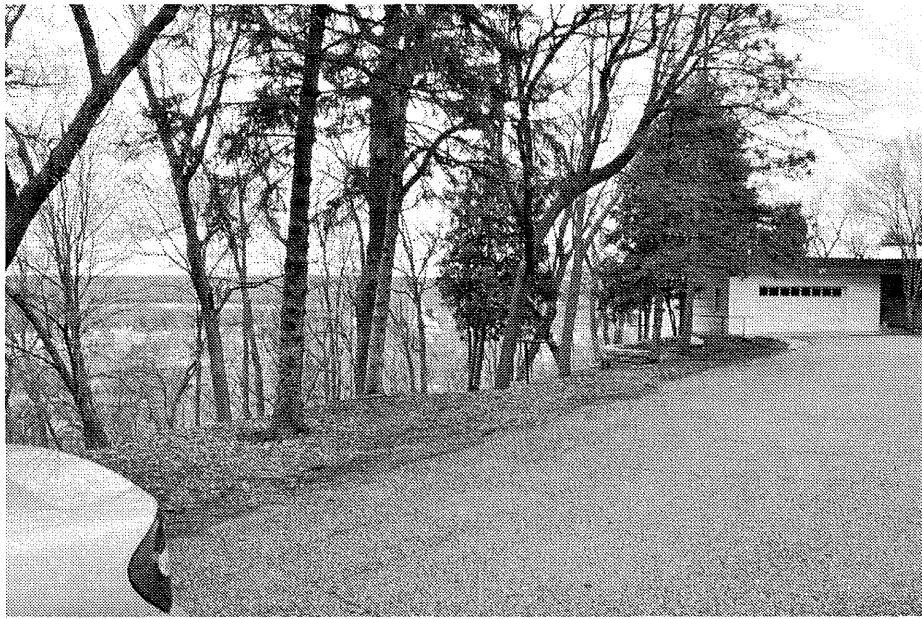


Fig. 187. 725 6th St. W. Hedin House, sited on the edge of a wooded bluff southwest of downtown (facing N)

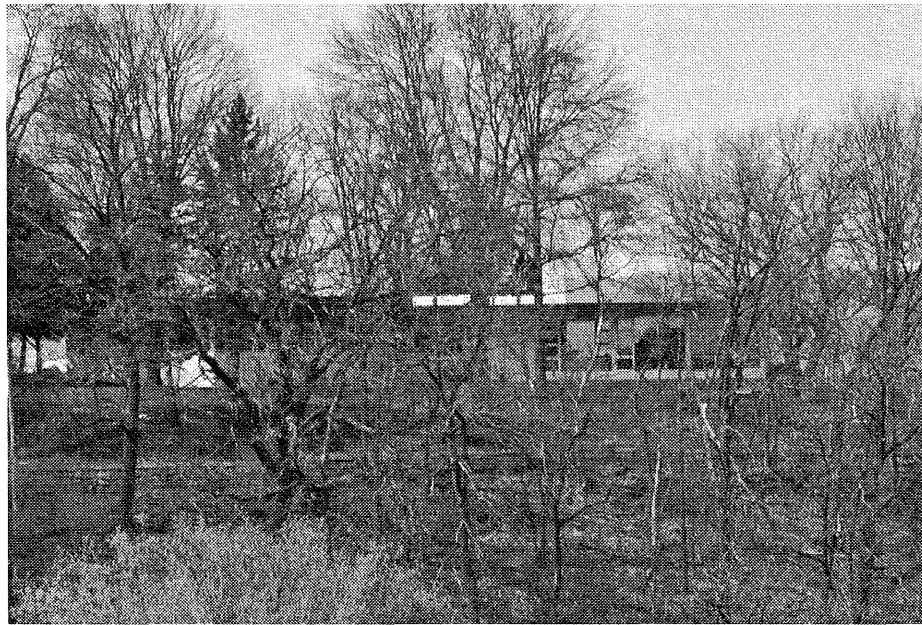


Fig. 188. 725 6th St. W. Hedin House, seen from below the bluff (facing W)

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## **BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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### **GD-RWC-1408 1400 6th St. W**

**Hist Name:** McCoy-Jorgensen House  
**Other Name:** Blue House  
**Built:** ca. 1921  
**NR Status:** Need More Information  
**HPC Status:**

The McCoy-Jorgensen House, built circa 1921, is located on top of a rounded bluff with stunning views of the river valley, Barn Bluff, and Bridge 9040. The lot is large, wooded, and irregularly shaped. The property's driveway, which approaches the house from the east, is entered via Sixth Street.

The house is a period revival-style woodframe building with an L-shaped plan. Further research is needed to determine the age and historical integrity of all sections. The house has intersecting-gable-roofed forms and wings that are angled for maximum views. It is faced with mock half-timbering and thin wood-shingle cladding of two ages. There is limestone trim of two styles around the main entrance and on the garage and breezeway. The window openings are rectangular with 6/1 and 6/6 sash.

The northeastern elevation, facing the river, has a screened porch under a sweeping roofline. A double-gable dormer on this elevation appears to be an addition. The southwestern wing has a breezeway and a two-stall garage that have been skillfully altered at an unknown date. (Perhaps this wing had a sunroom and garage that were later enlarged; further research is needed.)

#### ***Historical Background***

The original owners were Jay V. and Marguerite W. McCoy, who lived in the house through at least 1948. Jay McCoy was president of McCoy-Curran Inc., an automobile sales and service garage in Red Wing established around the 1910s. McCoy-Curran was a Dodge-Chrysler dealership located at 421-423 Main Street (razed).

The next owners of the house were evidently George and Suzanne Jorgensen. George was born in Red Wing. Suzanne Mina Jorgensen was born and raised in France and met her husband while he was serving there during World War I. George C. Jorgensen was president of Jorgensen Chevrolet, established in 1929 and located in downtown Red Wing. The present owner of the house is the granddaughter of George and Suzanne Jorgensen.

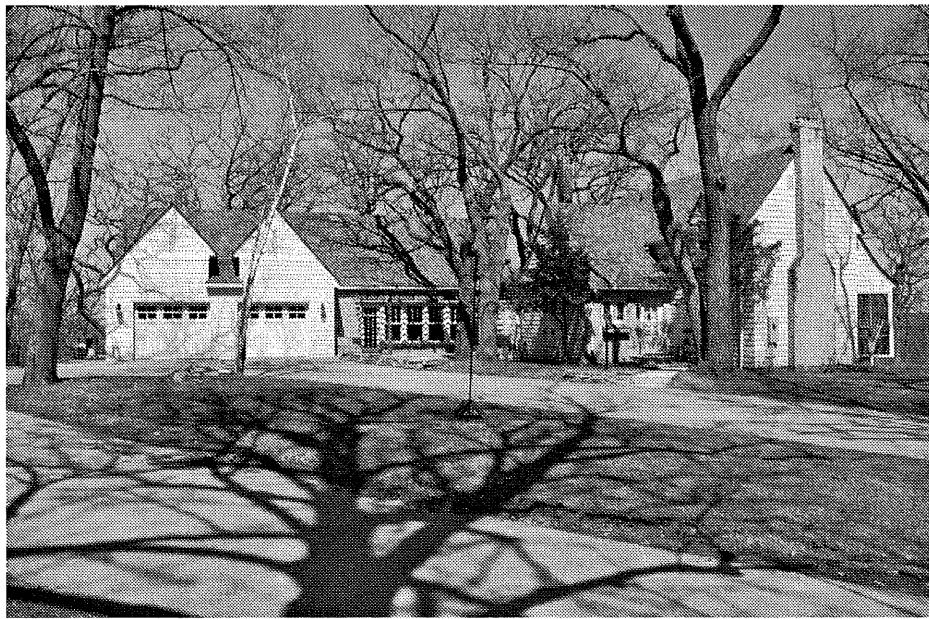
#### ***Recommendation***

The McCoy-Jorgensen House is an interesting house on a dramatic bluff-top site. It is an example of period revival residential design. Further research is needed to determine whether the house meets National Register integrity requirements and whether it is significantly associated with an important event or broad pattern (Criterion A) or an important person (Criterion B). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 189. 1400 6th St. W. McCoy-Jorgensen House, garage wing and main house (facing NW)**

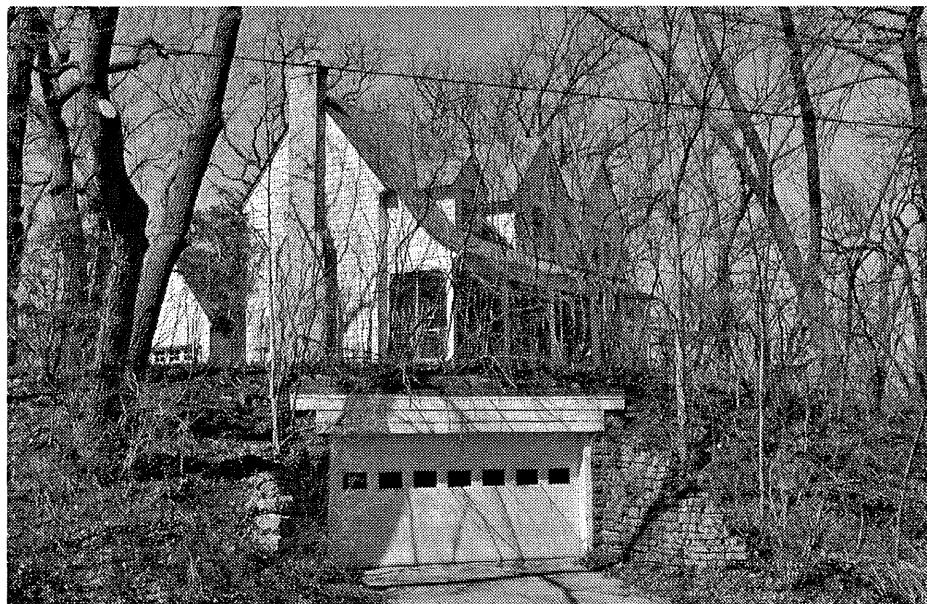


**Fig. 190. 1400 6th St. W. McCoy-Jorgensen House, main facade facing the river valley (facing SW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 191. 1400 6th St. W. McCoy-Jorgensen House, second garage tucked into the bluff (facing W)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-795 407 Arkin St**

**Hist Name:** House  
**Built:** ca. 1905  
**NR Status:** Not Eligible  
**HPC Status:**

This circa 1905 house in eastern Red Wing has significant exterior alterations including vinyl siding, a porch enclosed, boxed-in eaves, covered window casings, and window sash replacement. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



Fig. 192. 407 Arkin St. House (facing NE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-796 415 Arkin St**

**Hist Name:** House

**Built:** ca. 1902

**NR Status:** Not Eligible

**HPC Status:**

This tri-gabled ell house is located just south of Barn Bluff. The porch was replaced and later altered. The house has 1/1 sash windows with openings that have been reduced in size. A rear corner porch has been enclosed, and there has also been a rear addition. The house retains a gabled dormer on the side wall. This property is too altered to meet National Register integrity requirements.



Fig. 193. 415 Arkin St. House (facing NE)

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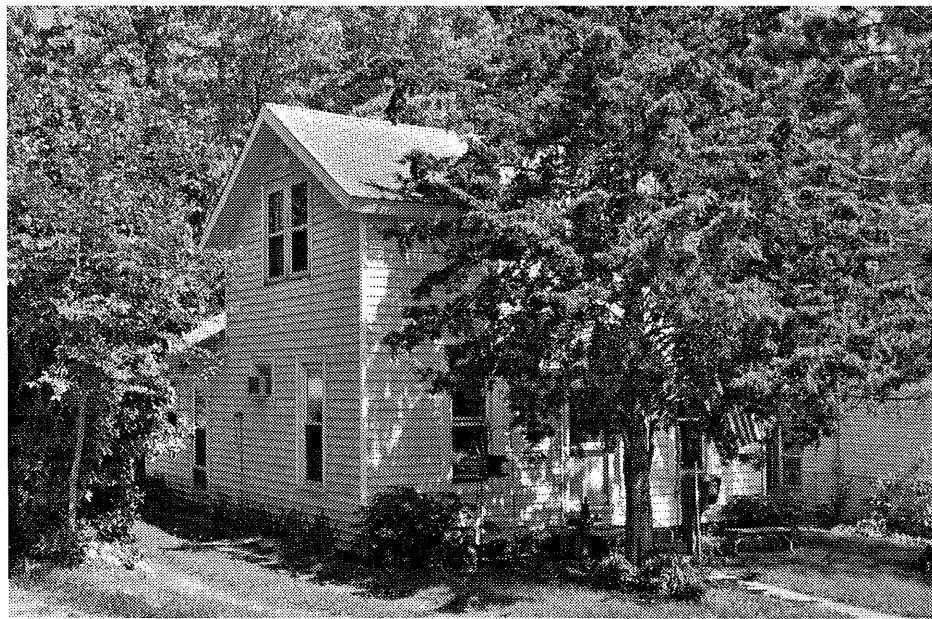
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-797 419 Arkin St**

**Hist Name:** House  
**Built:** ca. 1870  
**NR Status:** Not Eligible  
**HPC Status:**

This house has gable ends that face the sides of the lot. At the center of the main facade is a small gable-roofed wall dormer. The house's many alterations include porch changes, vinyl siding, a large rear addition, and window sash replacement. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 194. 419 Arkin St. House (facing SE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1450 116 Potter St**

**Hist Name:** **Red Wing Linseed Mills**

**Other Name:** Archer Daniels Midland (ADM) (NE part)

**Built:** 1901

**NR Status:** Not Eligible

**HPC Status:**

The historic Red Wing Linseed Mills comprises the northeastern part of a large, altered Archer Daniels Midland (ADM) plant located northeast of the intersection of Main and Plum Streets in the northeastern corner of downtown Red Wing. Its address, 116 Potter, is derived from historic Sanborn maps.

Three surviving Red Wing Linseed Mills components are located on the southern side of the railroad tracks west of Bluff Street:

*Red Wing Linseed Refinery* (built 1901; 1926). The five-story, altered refinery building was historically the main building of Red Wing Linseed Mills. It is faced with brown brick and has large industrial sash windows. On the northern elevation is an open steel shed that extends across two railroad siding tracks. The building has been altered and expanded several times.

*Red Wing Linseed Powerhouse* (built 1901). On the western side of Bluff Street (east of the refinery) is a powerhouse that dates from the original construction of Red Wing Linseed Mills, but has been expanded and altered considerably.

*Red Wing Linseed Retaining Wall* (built 1901-ca. 1980). A long retaining wall is located at the base of the powerhouse and extending eastward. It prevents earth from the plant's hillside from falling northward onto the railroad tracks. The oldest part of the retaining wall is built of coursed ashlar rockfaced limestone. Newer sections are poured concrete.

For the rest of the present-day ADM complex, see the former Red Wing Milling Company plant, now ADM, at 113 Potter (GD-RWC-018).

***Historical Background***

Red Wing Linseed Mills was organized in 1901 and the plant was built the same year for a reported \$66,000. In 1921 the plant became the linseed oil division of the Pittsburgh Plate Glass Company. (See Fig. 5, taken in 1936, which shows the plant in the foreground.) In 1970 Archer Daniels Midland (ADM) acquired Red Wing Milling Company next door to the west (see 113 Potter; GD-RWC-018), and in September 1971 ADM acquired the Pittsburgh Plate Glass linseed oil mill to increase the size of the ADM complex. ADM stopped milling flour in 1981 and now makes linseed and sunflower oil.

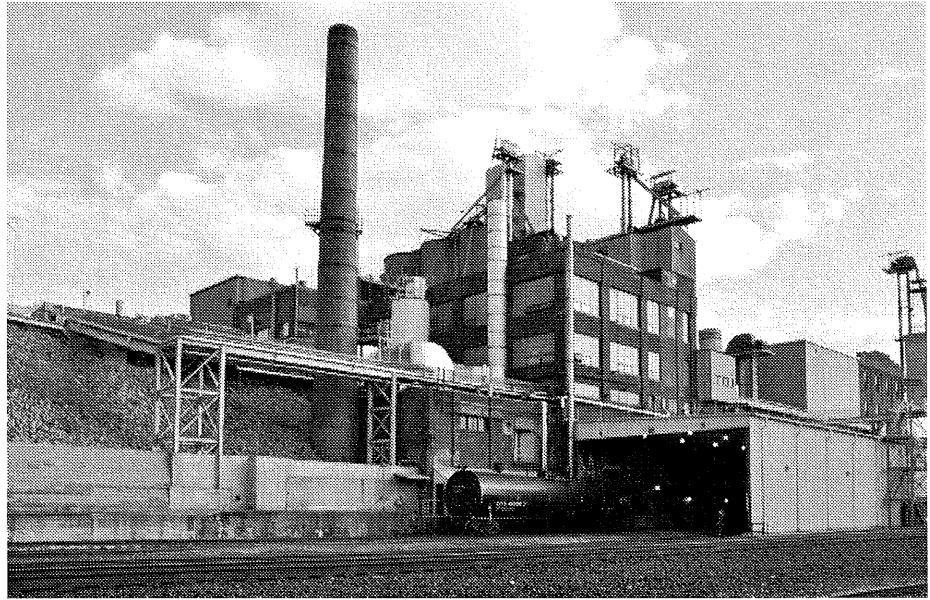
***Recommendation***

The former Red Wing Linseed Mills is too altered to be considered individually eligible for the National Register. The property is not located within the bounds of a historic district that is either listed on, or potentially-eligible for, the National Register. (See the former Red Wing Milling Company plant, now ADM, at 113 Potter (GD-RWC-018) for the rest of the current ADM plant.)

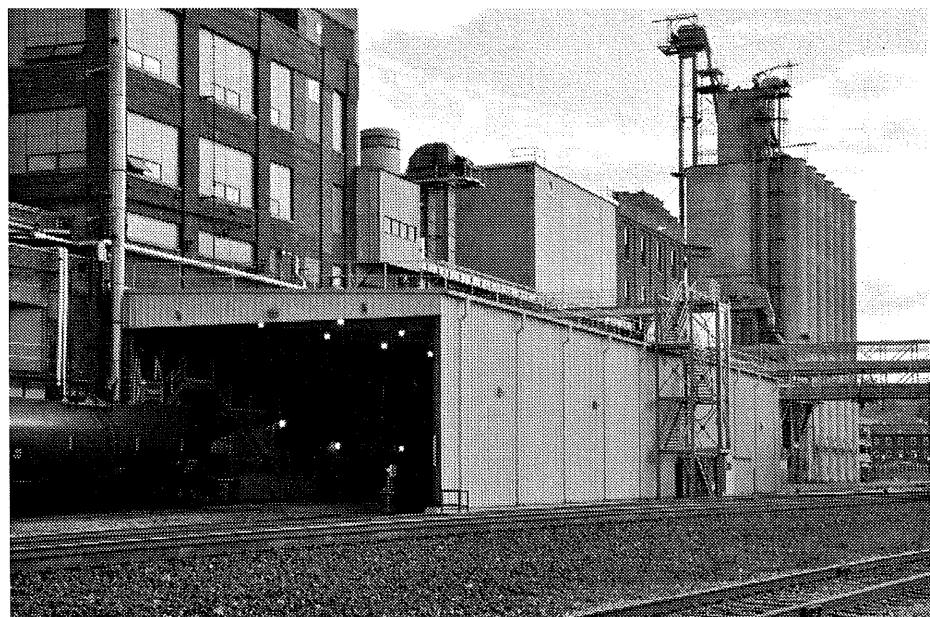
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 195. 116 Potter St.** Red Wing Linseed Mills, retaining wall, powerhouse, and refinery building (L to R) (facing S)



**Fig. 196. 116 Potter St.** Red Wing Linseed Mills, refinery at upper left, shed over railroad track sidings (facing S)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

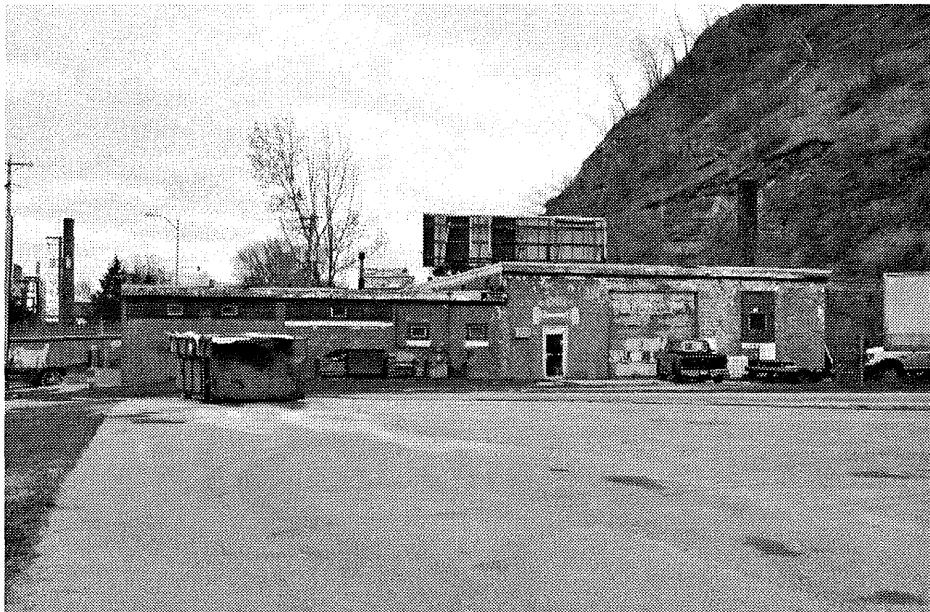
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**GD-RWC-1410 233 Bluff St**

Hist Name: **Light Industrial Building**  
Other Name: Laune's Alignment  
Built: 1947  
NR Status: Not Eligible  
HPC Status:

Standing at 233 Bluff Street is an altered warehouse or light industrial building built in 1947. It is located just south of Barn Bluff near the junction of Highways 61 and 63. It is a flat-roofed, concrete block structure that appears to have been built in two phases. It has vehicle entrances, loading docks, and rectangular window openings, some of which are filled with glass block. The building appears to have most recently been used as Laune's Alignment.

The building was doubled in size circa 1970 and therefore does not meet National Register integrity criteria.



**Fig. 197. 233 Bluff St. Light Industrial Building (facing NW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1411 312 Bluff St**

**Hist Name:** Automobile Service Garage

**Built:** ca. 1930

**NR Status:** Not Eligible

**HPC Status:**

This altered one-story, flat-roofed building was built circa 1930. It has a rockfaced concrete block main facade and smooth concrete block side walls. The vehicle door opening on the main facade, which faces Bluff Street, has been filled in and now has a pedestrian door and windows. Window openings are rectangular, and most have either been filled or reduced in size with infill materials. There is a poured concrete loading dock on the northern elevation. The 1927/updated-to-1943 Sanborn map labels this building as an automobile storage and service garage.

The property is too altered to meet National Register integrity requirements.



**Fig. 198. 312 Bluff St. Automobile Service Garage (facing W)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-735 320 Bluff St**

**Hist Name:** Pratt Bottling Works  
**Other Name:** Viking Coca Cola Bottling  
**Built:** ca. 1898  
**NR Status:** Not Eligible  
**HPC Status:**

The former Pratt Bottling Works, later Reichert Bottling Works, consists of an original woodframe building (built ca. 1898) and four concrete block additions: two that flank the sides of the woodframe building (ca. 1930 and ca. 1945), a larger addition (ca. 1960) at the southeastern corner of the block, and a more recent addition behind (west of) the three earlier buildings. The woodframe building is two stories tall with a gabled roof, a false front, and a limestone foundation. Still a soda distributing business, the company more recently built a detached six-bay concrete block warehouse on the northern half of the block (on Lots 7-8 of Block 25). (The company also owns the former auto service garage at 312 Bluff; GD-RWC-1411.)

The former Pratt Bottling Works is too altered to meet National Register integrity requirements.

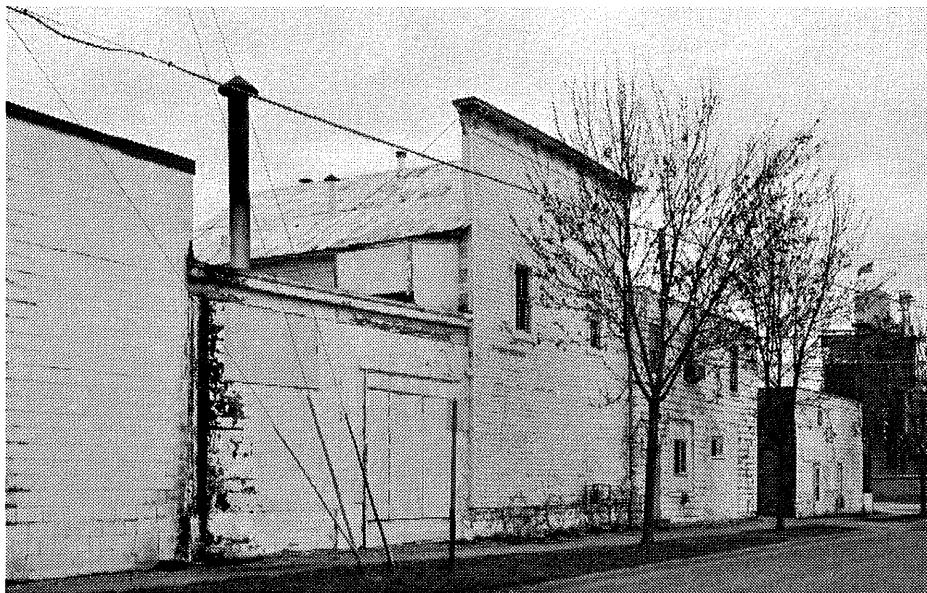


Fig. 199. 320 Bluff St. Pratt Bottling Works (facing W)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

### GD-RWC-1412 321 Bluff St

**Hist Name:** **Warehouse**

**Other Name:** City of Red Wing Parks Building

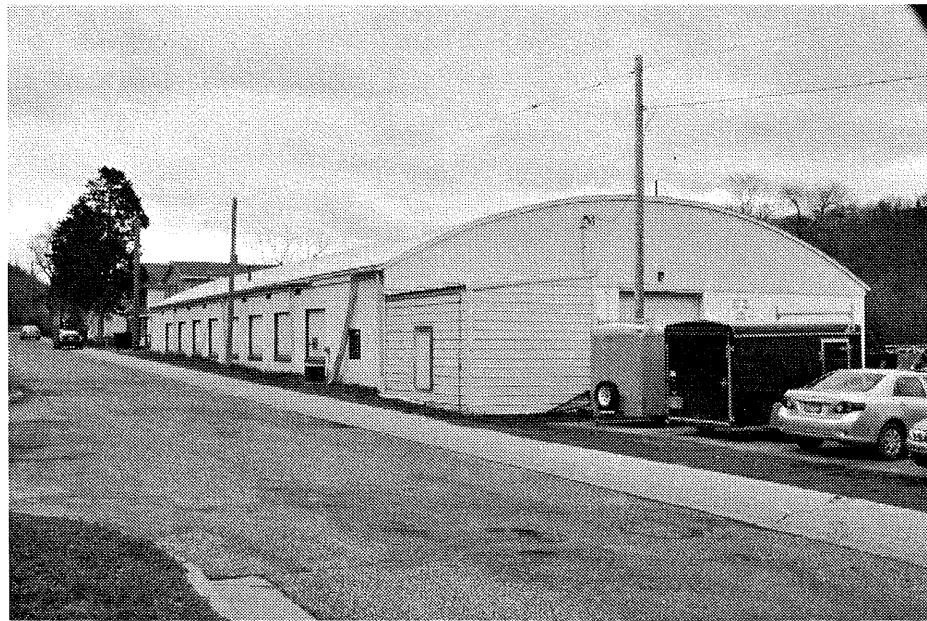
**Built:** ca. 1950

**NR Status:** Not Eligible

**HPC Status:**

The headquarters of the City Parks Department is located at the southeastern corner of Bluff and Third Streets, just south of Barn Bluff. It is a large rectangular warehouse or light industrial facility faced with smooth concrete block. The main facade is the western end, facing Bluff Street. Vertical sheet metal has recently been applied to the upper end walls. The roof is arched. There are eight-bay side walls with large rectangular window openings with smooth concrete sills. The rear elevation has similar rectangular openings. All openings are now filled with wood. There is a tall modern vehicle door on the western end and a small shed-roofed, metal-sided addition at the northwestern corner. A mural has been painted on the southern side wall. There are community garden plots in the southern yard.

The property is too altered to meet National Register integrity requirements.



**Fig. 200. 321 Bluff St. Warehouse (facing SE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-737 403 Bluff St**

**Hist Name: Sexton House**

**Built:** ca. 1865

**NR Status:** Not Eligible

**HPC Status:**

The Sexton House is located at the southeastern corner of Bluff and Fourth. It has substantial alterations that include vinyl siding, porch enclosure, window sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 201. 403 Bluff St. Sexton House (facing NE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-738 409 Bluff St**

**Hist Name:** **Anderson House**

**Built:** ca. 1865

**NR Status:** Not Eligible

**HPC Status:**

The Anderson House has several exterior alterations that include asbestos siding, porch enclosure, window sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 202. 409 Bluff St. Anderson House (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-739 413 Bluff St**

**Hist Name:** House

**Built:** ca. 1875

**NR Status:** Need More Information

**HPC Status:**

The house at 413 Bluff Street, built circa 1875, was moved to this site from a location across the street to the west. The house stood at 127 W. 4th St. at the southeastern corner of 4th and Potter. The house was moved when the site was cleared for construction of a supermarket at 411 Potter in 1977. (The supermarket was later expanded and remodeled into present-day Runnings.)

The house is a two-story, woodframe, stucco-covered Italianate-style building with boxlike massing and a hipped roof. It has an intact gable-roofed rear wing. The foundation is concrete block. The eaves have a deep overhang and are ornamented with brackets and dentils. The window openings are segmental-arched and have unusual surrounds. Some windows retain original 4/4 sash, most have 1/1 replacement sash. A decorative band of wood encircles the house at the level of the second-floor window sills. The current front porch was built sometime between 1910 and 1917 to replace the original front porch, which spanned the main facade according to Sanborn insurance maps. The current porch has a hipped roof and short Tuscan columns above a stucco-covered balustrade.

***Historical Background***

The house was moved to this lot in the 1970s, according to the HPC's Red Wing Historic Resources Inventory form (1986). The 1986 form indicates the house was moved as part of a Block 24 city redevelopment project.

***Recommendation***

Moved properties are not usually eligible for the National Register, but this house was relocated only about 400' east of its original location and to a city-block setting similar to its original setting. Because of its early construction date and because it retains a considerable amount of historic integrity, it is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



Fig. 203. 413 Bluff St. House, main facade (facing N)

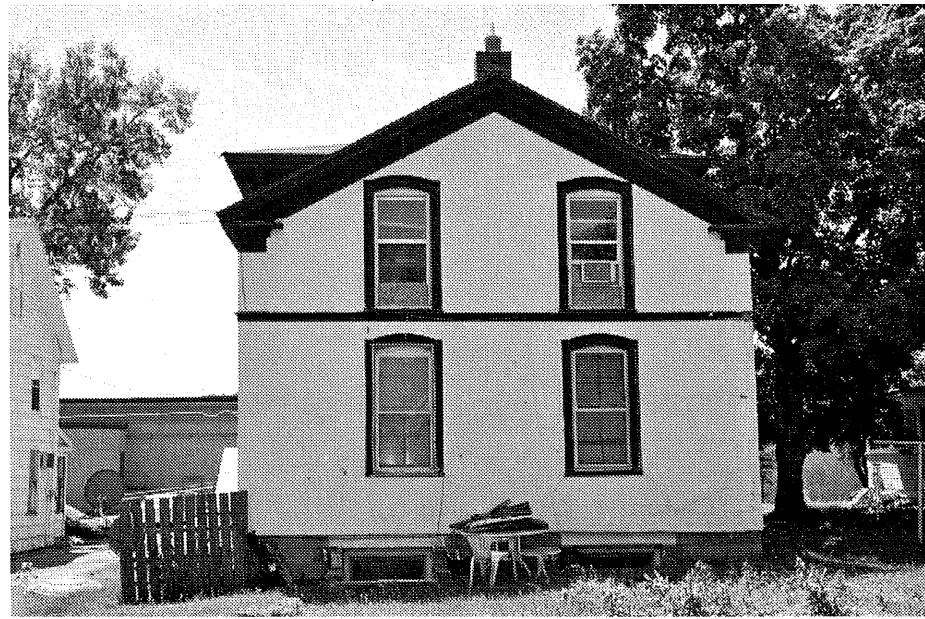


Fig. 204. 413 Bluff St. House, rear elevation (facing SW)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-740 415 Bluff St**

**Hist Name: Johnson House**

**Built: ca. 1880**

**NR Status: Not Eligible**

**HPC Status:**

The Johnson House, built circa 1880, has significant alterations that include asbestos siding, porch enclosure, and window sash replacement. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 205. 415 Bluff St. Johnson House (facing N)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-742 423 Bluff St****Hist Name:** Erickson House**Built:** ca. 1865**NR Status:** Not Eligible**HPC Status:**

The porch of the Erickson House has possibly been altered. The house has many other exterior changes including metal siding, window opening changes, window sash replacement, and a large addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 206. 423 Bluff St. Erickson House (facing E)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-743 433 Bluff St****Hist Name:** **Carlson House****Built:** ca. 1875**NR Status:** Not Eligible**HPC Status:**

The Carlson House, located at the northeastern corner of Bluff and Fifth, has several alterations. They include vinyl siding, porch changes, window sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 207. 433 Bluff St. Carlson House (facing NE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-744 513 Bluff St**

**Hist Name: Chellson House**

**Built:** ca. 1875

**NR Status:** Not Eligible

**HPC Status:**

The Chellson House, built circa 1875, has alterations that include vinyl siding, window opening and sash changes, porch changes, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 208. 513 Bluff St. Chellson House (facing E)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-746 519 Bluff St**

**Hist Name:** **Luft Doublehouse**

**Built:** ca. 1896

**NR Status:** Need More Information

**HPC Status:**

This circa 1896 building is a remarkably intact, late 19th century, Queen Anne-inspired doublehouse or duplex. It is woodframe, with a symmetrical design and boxlike massing made more complicated by a gable end projecting over a bay window on each of the side walls. The gable ends are "supported" by sunrise motif brackets and decorated with small dentils at the cornice and ball-shaped pendants. The roof is truncated-hipped and gabled with small dentils at the cornice. The window openings are rectangular with architraves at the tops of the casings and 1/1 sash. The building is covered with clapboard siding with cornerboards. There is a complex pattern of square-cut, diamond, round, and other fancy-cut wood shingles in the main gable end. An open, hip-roofed porch spans the main facade, shared by the two units. The porch retains a pediment over the entrance with a floral motif in the tympanum, small dentils at the cornice, turned columns and fretwork, cut-out brackets, and a balustrade comprised of square members alternating with substantial spool-like balusters. Each half of the house also has an intact shed-roofed open porch on the side wall that matches the front porch in detailing.

***Historical Background***

In 1899 one-half of the building was occupied by Henry Luft, a bookbinder at Red Wing Printing Company and Peter M. Luft, who was retired. The other half was occupied by Mrs. Hannah Luft, a widow, and Peter Olson, who was retired. Members of the Luft family were still living here in 1911.

***Recommendation***

In 1986 this building was identified in the Red Wing HPC's architecture-history survey as an "East End Structure Worthy of Further Consideration." It is a Queen Anne-style duplex or doublehouse of rare historic integrity. It is one of the most intact and architecturally impressive early houses in East Red Wing or the East End (the part of the city east of Bluff Street). The house meets National Register integrity requirements and could be eligible if found to be significantly associated with an important event or broad pattern (Criterion A) or an important person (Criterion B) or found to be architecturally significant (Criterion C). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 209. 519 Bluff St. Luft Doublehouse, main facade (facing E)**



**Fig. 210. 519 Bluff St. Luft Doublehouse, main facade and south side wall with intact ornamented porches; the north side wall is identical (facing N)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-109 102 Broad St**

**Hist Name:** Red Wing Malting Company

**Other Name:** Fleischmann Malting Company

**Built:** 1901

**NR Status:** Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

The Red Wing Malting Company is located at the southwestern corner of Broad and Levee on the southern side of the former Chicago, Milwaukee, St. Paul, and Pacific railroad tracks (now the Soo Line). The oldest part of the factory is a series of multistory red brick structures. Key components include:

*Germinating and Attemporating Building* (built 1901-1910). A three- to five-story brick structure at the corner of Broad and Levee. The fifth story is now covered with corrugated metal. The five-story section also has a shallow metal-clad addition on the southern elevation (perhaps an equipment chase).

*Kiln House* (built 1901-1910). A six-story brick structure with a footprint of about 50' x 100'. It also has a shallow metal-clad addition on the southern elevation (perhaps an equipment chase).

*Powerhouse and Dryer* (built ca. 1960). A smooth concrete block structure that is about four stories tall with few window openings.

*Retaining Wall* (built 1901-1910). A long, buttressed limestone retaining wall aligned east-west south of the buildings.

*Grain Elevator* (built 1918). An 8-shaft, riveted-steel grain elevator with a capacity of 350,000 bushels. A modern leg with an open loading shed was to the eastern end.

*Grain Elevator* (built 1934). A multi-shaft concrete elevator with a capacity of about 650,000 bushels.

*Scale* (built ca. 1960). An open-air scale and a small steel-sided, shed-roofed scale house.

***Historical Background***

Malting is a process of drying grain – usually barley – for use in making beer, distilled spirits, vinegar, and various cereals and baked products. Malting was particularly profitable when beer production soared in Minnesota in the first decades of the 20th century.

In 1901 the Red Wing Malting Company was established and built this plant. The plant was an important processor of grain grown in the region, and one of many industries that lined Red Wing's riverbank and railroad. In 1918 the plant became Fleischmann Malting Company.

***Recommendation***

The eastern part of the former Red Wing Malting Company is a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. The part of the Malting Company that is included in the historic district lies east of the 1918 and 1934 grain

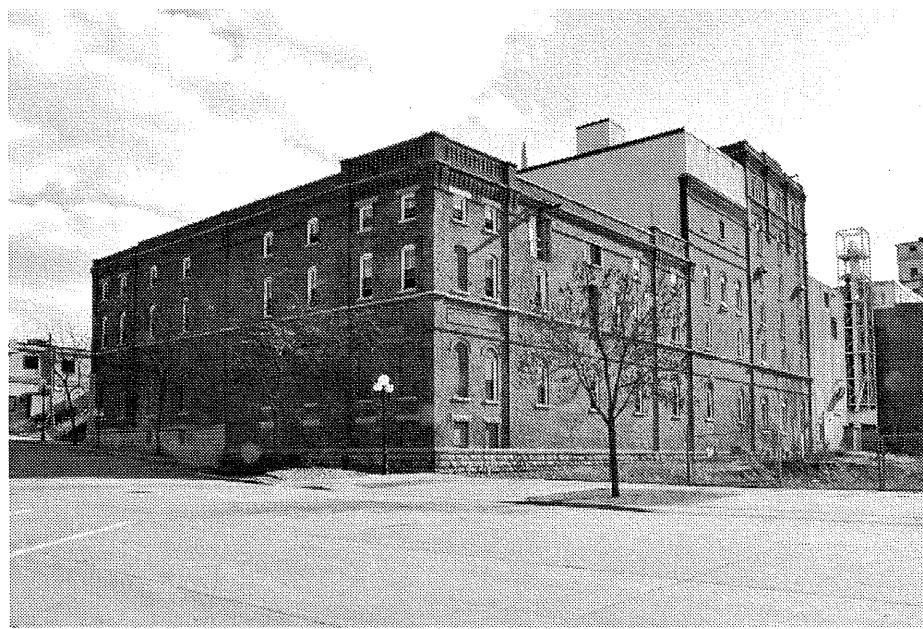
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

elevators. This would include the Germinating and Attemporating Building, Kiln House, Powerhouse and Dryer, retaining wall, track spurs, and scale and scale house. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

A smaller part of the Malting Company property is also located within the local Historic Mall District, a historic district designated by the City of Red Wing. The local Historic Mall District boundaries evidently include only the Germinating and Attemporating Building. (See Map 3.)

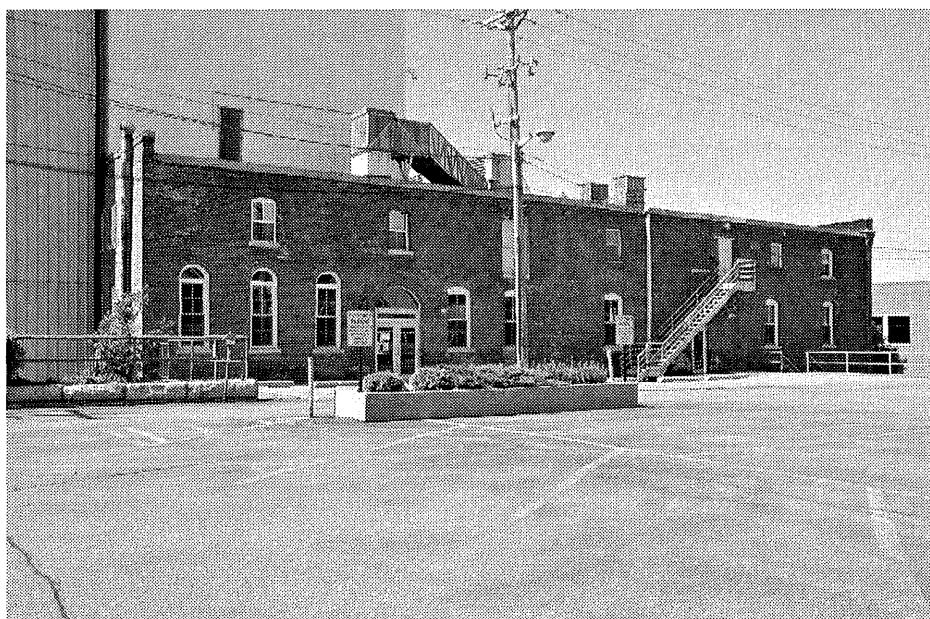


**Fig. 211. 102 Broad St.** Red Wing Malting Company, germinating and attemporating building, and the kiln house, which is the six-story brick structure (facing SW)

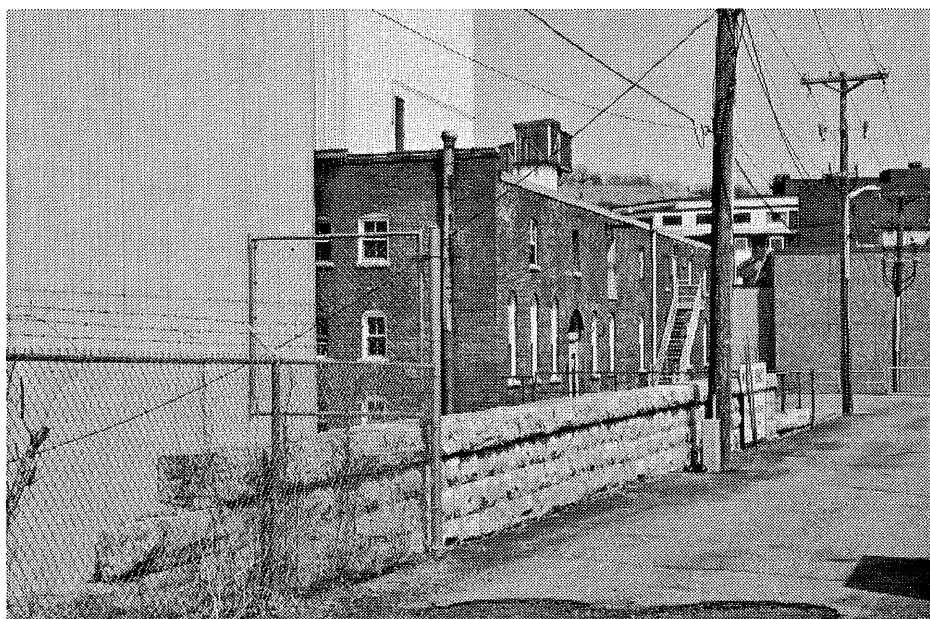
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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 212. 102 Broad St.** Red Wing Malting Company, south side of the kiln house and germinating and attemperating building (L to R) (facing NE)



**Fig. 213. 102 Broad St.** Red Wing Malting Company, retaining wall and south side of the kiln house and germinating and attemperating building; the block's east-west alley is in the foreground (facing NE)

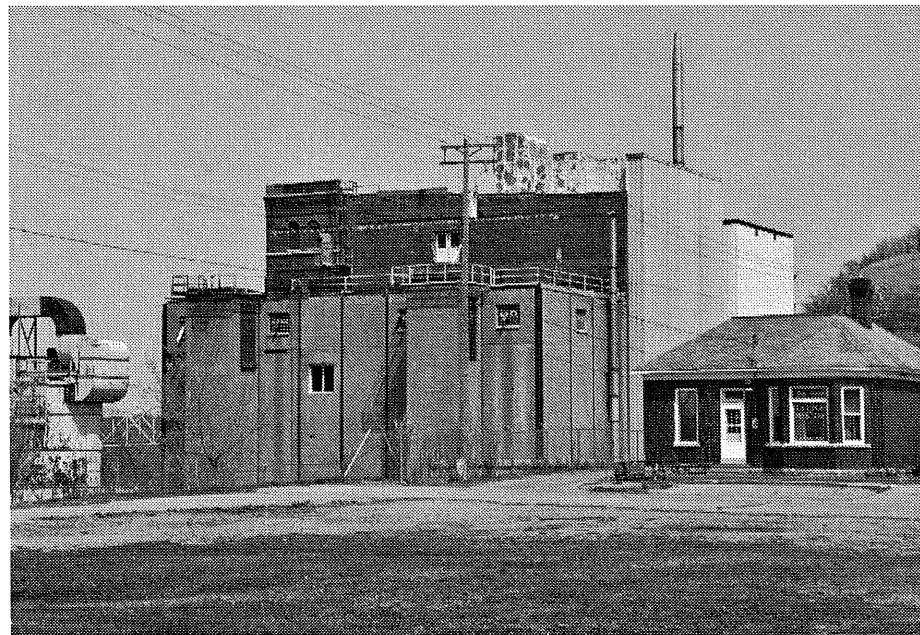
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 214. 102 Broad St.** Red Wing Malting Company, concrete block powerhouse and dryer (facing SE)

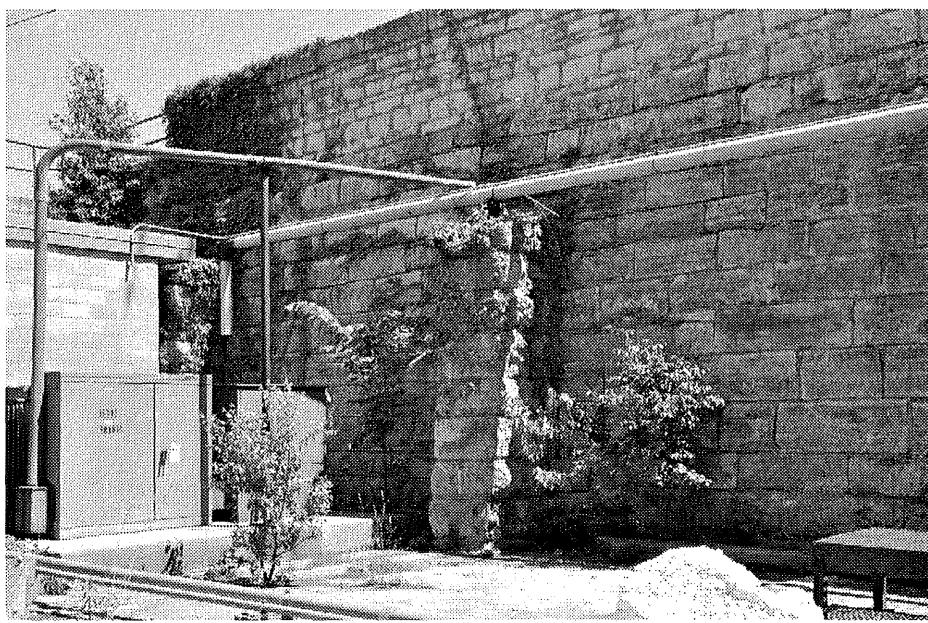


**Fig. 215. 102 Broad St.** Red Wing Malting Company, the plant from the southwest (the small hip-roofed building is another property – the former Betcher Lumberyard Office at 115 Dakota St. (GD-RWC-1419)) (facing NE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 216. 102 Broad St.** Red Wing Malting Company, buttressed limestone retaining wall aligned east-west along the south edge of the property (facing SE)



**Fig. 217. 102 Broad St.** Red Wing Malting Company, 1918 and 1934 grain elevators (facing SW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-108 116 Broad St**

**Hist Name:** State Employment Office

**Other Name:** Royal Crown Dental Studio

**Built:** 1968

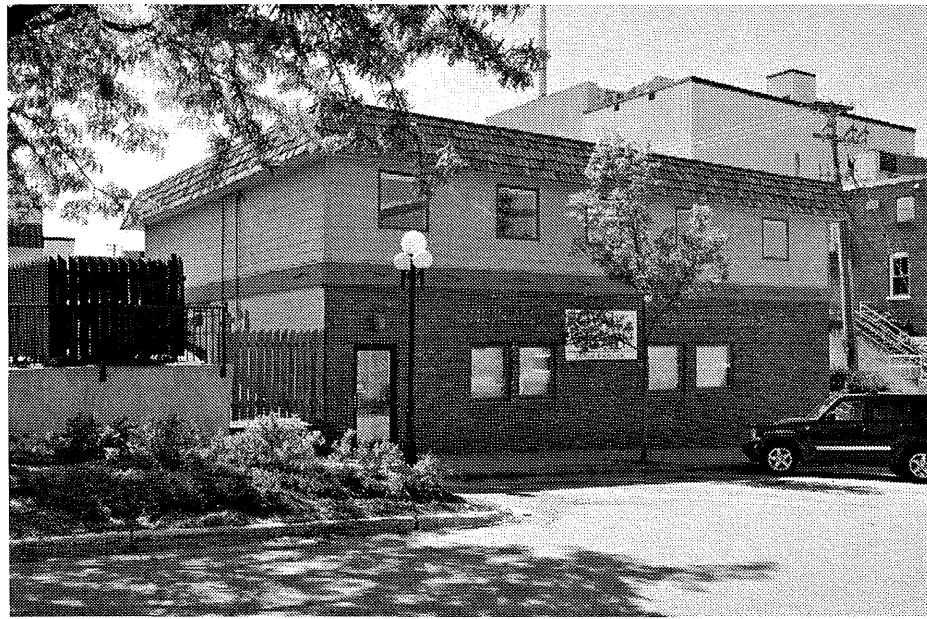
**NR Status:** Noncontributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

Royal Crown Dental Studio is a modern commercial building that appears to have been altered several times. The second floor was evidently added after 1979. The main facade of the lower level is faced with textured brick. The window openings are rectangular with replacement sash.

This property is located within the Red Wing Mall Historic District, which was listed on the National Register in 1980. Because of its modern construction date, the property is Noncontributing to the district. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



**Fig. 218. 116 Broad St. State Employment Office (facing NW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-912 112 Bush St**

**Hist Name:** Riedell Shoes Inc.  
**Other Name:** Art Reach  
**Built:** ca. 1920  
**NR Status:** Noncontributing to CMSTPP RR Corridor Hist Dist, Red Wing Seg  
**HPC Status:** In St. James Historic District

The building that now houses Art Reach is a circa 1920 one-story structure built of hollow clay tile and now covered with stucco. It has significant exterior alterations. After World War II this was the factory for Riedell Shoes, which was established by Paul Riedell, a former employee of Red Wing Shoes, in 1945. The business was first located in the Red Wing Furniture Company building and later moved to this building.

This building was listed on the National Register as part of the St. James Hotel Complex. The complex includes four buildings: the St. James Hotel at 406 Main (GD-RWC-004), the former Medical Block Clinic at 412 Main (GD-RWC-1428), the former Northern States Power at 416 Main (GD-RWC-1429), and the former Riedell Shoes (now Art Reach) at 112 Bush (GD-RWC-912). (See those properties, each inventoried separately.)

For information on the St. James Hotel Complex, see "St. James Hotel Complex (GD-RWC-004)" in Chapter 3. (See Map 2.)

The former Riedell Shoes also stands within the local St. James Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 219. 112 Bush St. Riedell Shoes Inc. (facing W)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-340 202 Bush St**

**Hist Name:** **Lawther Block**

**Other Name:** Uffda Shop (N pt)-Townhouse Condos

**Built:** 1859

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Lawther Block at 202 Bush St. was built in 1859 and is located at the southwestern corner of Bush and Main. It is three bays wide and was built of reddish-brown brick with smooth limestone sills. Coursed ashlar limestone is exposed on the first story of the northern wall. An oriel window has been added to the northern side. The storefront has a canted corner entrance and retains cast iron lintels with rosettes. The storefront bulkheads are wood, and the store has canvas awnings. The exterior of the building retains good historic integrity.

According to the Red Wing HPC's Historic Resources Inventory form (1982), this building, constructed in 1859, is "the oldest virtually unaltered brick commercial block in downtown Red Wing and possibly one of the oldest remaining commercial buildings in Minnesota."

This building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 220. 202 Bush St. Lawther Block (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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**GD-RWC-341 204-208 Bush St**

**Hist Name:** Lawther Block Addition

**Other Name:** Uffda Shop (S pt)-Christian Books

**Built:** 1864

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This building, constructed in 1864, was built as a nine-bay wide addition to the Lawther Block at 202 Bush Street (GD-RWC-340) but was inventoried separately from 202 Bush by the Red Wing HPC's Historic Resources Inventory (1982). It is faced with reddish brown brick and smooth limestone trim. The exterior has good historic integrity. Window openings are segmental-arched with 1/1 sash. The storefronts have recessed entrances, cast iron lintels with rosettes, wooden bulkheads, and a canvas awning.

This is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 221. 204-208 Bush St. Lawther Block Addition (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-342 207-209 Bush St**

**Hist Name:** Lawther Block

**Other Name:** Wise Penny

**Built:** c1856, c1918

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This building evidently predates 1856 but its current facade, which is basically intact, dates from circa 1918. It is faced with reddish-brown brick. There is ornate Commercial- or Chicago-style brickwork around the windows and at the cornice level. The window openings are rectangular with limestone sills and 1/1 sash. The building has a nicely-designed storefront with a recessed entrance and a glass transom light.

This building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 222. 207-209 Bush St. Lawther Block (facing E)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-343 210 Bush St**

**Hist Name:** **Smith Block**

**Other Name:** Subhouse

**Built:** 1866

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Smith Block, built in 1866, is three bays wide and faced with painted brick. Windows are recessed in rounded-arched bays separated by brick pilasters. The window openings are rounded-arched with smooth limestone sills and 1/1 sash. The brick above the windows has been painted to resemble window hoods. The storefront has a brick-faced bulkhead. The building exterior has generally good integrity.

For many decades this was a hardware store known as Nelson and Peterson, then as Peter Nelson Hardware, and then as Peter Nelson and Son.

The Smith Block is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 223. 210 Bush St. Smith Block (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-344 211-213 Bush St**

**Hist Name:** Lawther Block

**Other Name:** Life's Little Oasis

**Built:** 1867

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This two-story building was constructed in 1867. The main facade is faced with reddish-brown brick and the southern side wall is built of exposed limestone rubble. There are larger blocks of rockfaced limestone at the corners of the southern wall. The facade has a brick cornice and segmental-arched window openings with smooth limestone sills and 1/1 sash. The storefronts retain recessed entrances, aluminum framing, and vitrolite panels. The property retains historic integrity.

The building at 211-213 Bush Street is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 224. 211-213 Bush St. Lawther Block (facing E)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-345 212 Bush St**

**Hist Name:** **Wallower Block**

**Other Name:** Great Dragon Buffet

**Built:** 1867

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Wallower Block, built in 1867, has a four-bay, painted brick facade. The rounded-arched window openings are recessed in the bays, which are topped with corbels. The brick above the openings has been painted to resemble window hoods. The storefront has a brick-faced bulkhead and a recessed entrance. The building retains basic historic integrity.

This building originally housed the Wallower meat market and a furniture store. The Wallowers lived upstairs, and the third floor was a Good Templars meeting hall.

This is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register: (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 225. 212 Bush St. Wallower Block (facing W)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-346 215-221 Bush St**

**Hist Name:** **Busch Block**

**Other Name:** Josephsons-Staghead-Bev's Cafe

**Built:** 1883

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Busch Block, built in 1883, is a fairly large Italianate style commercial building. The facade is red-brown brick with a tall brick cornice at the top. Above each of the four storefront bays is a set of four rectangular window openings with smooth limestone hoods that have incised detailing. Josephsons occupies a double storefront in the northern half of the building that has a mid-20th century department store canopy and display windows surrounded by metal panels. The exterior of the building retains basic historic integrity.

Josephsons men's clothing store has been in this building since 1903 after operating in another location downtown since 1875. Josephsons is the oldest continuously operating men's clothing store in Minnesota.

The Busch Block is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 226. 215-221 Bush St. Busch Block (facing E)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1413 216-224 Bush St**

**Hist Name:** Goodhue Co. National Bank Annex

**Other Name:** Associated Bank Annex

**Built:** 1969, c1995

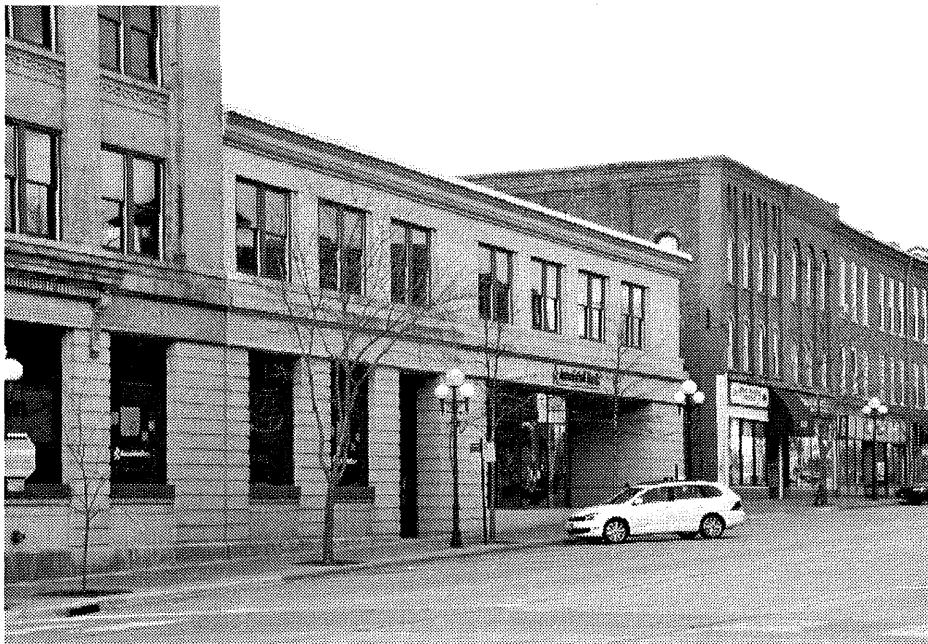
**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This building is a modern two-story annex to the former Goodhue National Bank Building, built in 1904, which is located adjacent to the south (see 226-228 Bush St.; GD-RWC-349). For the purposes of this inventory, the annex is defined as everything located north of the northern wall of the historic bank. The oldest part of the annex is a one-story structure built in 1969 immediately north of the historic bank building. It was designed by Eugene E. Hickey. Around the 1990s a second story was built onto that annex structure and the annex was continued northward to the alley.

The bank annex is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of its modern construction, the bank annex is Noncontributing to the district.

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 227. 216-224 Bush St.** Goodhue Co. National Bank Annex, with the historic four-story bank at left (facing W)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-350 223 Bush St**

**Hist Name:** Hoffman Block

**Other Name:** Claydon's Hallmark Shop (N part)

**Built:** 1873

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Hoffman Block, built in 1873, is faced with reddish-brown brick with smooth limestone trim. At the top is a brick cornice. The facade has three rounded-arched window openings recessed within bays that are topped with corbelling. The double-hung windows have 1/1 sash. The storefront has a recessed entrance, a wooden bulkhead, and a canvas awning. The exterior retains good historic integrity.

The Hoffman Block is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 228. 223 Bush St. Hoffmann Block (facing NE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-351 225-227 Bush St**

**Hist Name:** **Smith-Masonic Block**

**Other Name:** Claydon's Hallmark Shop (S part)

**Built:** 1872

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This two-story building, constructed in 1872, is located at the northeastern corner of Bush and Third Streets. It is faced with reddish-brown brick with smooth limestone trim. The main facade, facing Bush Street, is six bays wide with piers between the bays. The window openings are rounded-arched on the second story and segmental-arched on the third, all with limestone sills and keystones. A name stone at the top of the building originally read "Masonic Hall 1872". The storefronts have recessed entrances, cast iron lintels, wooden bulkheads, and canvas awnings. The building exterior retains historic integrity.

This building housed the Masonic Lodge on the third floor and stores on the first. From 1873-1896 the second floor was the Red Wing City Hall.

This building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 229. 225-227 Bush St. Smith-Masonic Block (facing N)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-349 226-228 Bush St**

**Hist Name:** Goodhue County National Bank

**Other Name:** Associated Bank

**Built:** 1904

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Goodhue County National Bank was designed by Lowell A. Lamoreaux of Minneapolis and built in 1904. It is located at the northwestern corner of Bush and Third in the center of downtown. The principal facades of this handsome four-story building are faced with gray-tan brick with thin mortar joints. The elaborate limestone trim includes keystones, shields, garlands, lions' heads, and the intertwined letters "GCB". The bank's main entrance on Bush Street has been removed, although an entablature remains to mark the spot. The bank is otherwise fairly well preserved. The bank annex to the north was inventoried separately (see 216-224 Bush St.; GD-RWC-1413). It was built in 1969 and enlarged circa 1995.

The Goodhue County National Bank is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 230. 226-228 Bush St.** Goodhue County National Bank, with two-story bank annex at right (facing W)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-352 301-303 Bush St**

**Hist Name:** Lawther Post Office Block

**Other Name:** Howe's Jewelers-Hana No'eau

**Built:** 1874

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Lawther Post Office Block, built in 1874, is located at the southeastern corner of Bush and Third Streets. The Red Wing Post Office was located here from 1874-1899. The building retains sufficient historic integrity to contribute to downtown Red Wing, despite the fact that the storefront level has been altered. The main facade is five bays wide and appears to originally have had two storefronts. There are piers between the bays, which contain tall segmental-arched windows openings with 1/1 sash. The storefront level retains a few original elements including – at the recessed corner entrance – two metal columns, heavy limestone sills, and egg and dart molding over two sidelights that flank the door.

The Lawther Post Office Block is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 231. 301-303 Bush St. Lawther Post Office Block (facing E)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-007 305-313 Bush St**

**Hist Name:** Gladstone Building

**Other Name:** RW Arts-Apropos Home-Clothes Horse

**Built:** 1886

**NR Status:** Listed

Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Gladstone Building, constructed in 1886, is faced with rockfaced random ashlar limestone on the main and southern elevations. At the top of the main facade is an intact metal cornice with modillions and dentils. The third story of the main facade has rounded-arched window openings topped by stone hoods. The openings' double-hung sash has multipaned Queen Anne-style transom lights. At the center of the second story are three large stone corbels whose purpose is not clear. Other than storefront changes, the exterior retains integrity.

The Gladstone Building is one of a few late 19th century buildings in downtown Red Wing built entirely of local limestone. The building was individually listed on the National Register in 1979. It was listed under National Register Criterion C (architecture) in the area of Architecture. The level of significance is Local.

This building is also a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See Map 5.) The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 232. 305-313 Bush St. Gladstone Building (facing N)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-354 310-314 Bush St**

**Hist Name:** **The Casino**

**Other Name:** Thunder Clan Trading Post

**Built:** 1884

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The main facade of this 1884 building is faced with brown brick. It has a simple brick cornice. There are nine rectangular window openings across the second story with transom lights and 1/1 sash. The storefronts have wooden bulkheads, recessed entrances, and canvas awnings. Early occupants included an opera house, roller skating rink, and bowling alley. The exterior retains historic integrity.

This building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 233. 310-314 Bush St. The Casino (facing S)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-355 315-317 Bush St**

**Hist Name:** **McCart Livery Stable**

**Other Name:** Hallstroms

**Built:** 1881

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The McCart Livery Stable, built in 1881, is a two-story building faced with orange-brown brick with a fairly simple brick cornice. The second story has three unevenly-spaced segmental-arched window openings with smooth limestone sills. The storefront has a central entrance, wooden bulkheads, and a wooden panel blocking the storefront transom lights. The building appears to retain basic integrity.

In 1982 the Red Wing HPC's downtown survey documented this building on the same inventory form as the building at 319-321 Bush Street (GD-RWC-1414) because in 1982 the two main facades were covered with a single metal screen obscuring their designs.

This is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 234. 315-317 Bush St. McCart Livery Stable (facing N)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-012 316-318 Bush St**

**Hist Name:** Berglund's Stone Block-AOUW

**Other Name:** Kiki's Simple Abundance-Body Kneads

**Built:** 1878

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

Berglund's Stone Block, built in 1878, is built of coursed ashlar limestone that is visible on the main facade and on the northern side wall. The original owner, Robert Berglund, was a stone dealer and quarry owner. At the top of the main facade is a tall metal cornice that reads "AOUW Hall" for Ancient Order of United Workmen. On the apron of the central recessed entrance are the letters "AOUW". The double storefront retains a cast iron lintel. The bulkheads are wooden.

This is one of a handful of late 19th century buildings in downtown Red Wing built of local limestone. It is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 235. 316-318 Bush St. Berglund's Stone Block-AOUW (facing S)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1414 319-321 Bush St**

**Hist Name:** Becker Grocery

**Other Name:** Aliveo Military Museum

**Built:** ca. 1905

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This building, constructed circa 1905, is a modest commercial structure faced with reddish-brown brick. The metal cornice has blocky modillions. The rockfaced brick surrounding the second-story windows is probably an alteration. Much of the storefront has been faced with vertical wood. The storefront has a recessed entrance and a canvas awning. Despite the changes noted herein, the exterior retains enough historic integrity to contribute to downtown Red Wing.

In 1982 the Red Wing HPC's downtown survey documented this building on the same inventory form as its neighbor to the north (see 315-317 Bush St.; GD-RWC-355) because in 1982 they were covered with a single metal screen.

This building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (Map 5.) The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 236. 319-321 Bush St. Becker Grocery (facing NE)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-356 320 Bush St**

**Hist Name:** **Dunham Beauty Shop**

**Other Name:** Lori's New York Fashions

**Built:** ca. 1920

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This building was constructed circa 1920 and is reasonably intact. The main facade and southern side wall are faced with brown brick with a very simple brick cornice. Window openings are rectangular with 1/1 sash. The storefront has a recessed entrance, brick-faced bulkheads, a band of wood obscuring the storefront transom lights, and a canvas awning. Early occupants included the Dunham Beauty Shop in the 1930s and Harris Clothing Store in the 1940s.

This is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 237. 320 Bush St. Dunham Beauty Shop (facing W)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-357 325 Bush St**

**Hist Name:** Chief Theater

**Other Name:** Blue Duck

**Built:** 1938

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The 500-seat Chief Theater opened in January 1939. It was designed by Minneapolis architect Milton C. W. Sundin (1897-1960) who evidently worked for the Twin Cities firm Liebenberg and Kaplan, noted for its movie theater designs. The main facade has a stepped parapet wall that rises in the center. The facade was originally covered with panels of "carrara" cast stone made by American Artstone of New Ulm. The central section of cast stone is missing and structural brick is now exposed. The facade retains a triangular canopy at the top of the first story. Missing from the center of the main facade is the important and colorful vertical part of the marquee that bore the letters "CHIEF." The storefront has circa 1950s glass doors and display windows.

This building is within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of alterations, the theater is Noncontributing to the potential district. The Noncontributing determination should be revisited if elements of the facade are rehabilitated.

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 238. 325 Bush St. Chief Theater (facing NE)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-359 327 Bush St**

**Hist Name:** **Swanson Short Order Restaurant**

**Other Name:** River City Dental

**Built:** ca. 1960

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

River City Dental is located at the northeastern corner of Bush and Fourth Streets. It is a one-story, circa 1960 former restaurant building with a metal-covered mansard roof, a brick-faced base, and vertical siding. It has a shed-roofed addition on the eastern side.

This building is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of its modern construction date, the property is Noncontributing to the potential district.

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 239. 327 Bush St. Swanson Short Order Restaurant (facing N)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-358 328 Bush St**

**Hist Name:** **Edblom Conoco Station**

**Other Name:** Gernentz Auto Service

**Built:** ca. 1930

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

A former Conoco gas station is located at the northwestern corner of Bush and Fourth. It is a domestic- or cottage-style gas station, built circa 1930, with a standardized Conoco (Continental Oil Company) design. The building has a steeply-pitched intersecting-gabled roof. One service bay was originally incorporated into the massing, and the roof extended and a second (northern) bay later added. The gas station's white glazed brick exterior, also a standard Conoco feature, has trim of green glazed brick and red-brown unglazed brick. The main facade has an intact display window and a pedestrian entrance. The two service bays have modern roll-up replacement garage doors. A canopy over the gas pumps postdates the station building.

This well preserved gas station is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 240. 328 Bush St. Edblom Conoco Station, main facade (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 241. 328 Bush St. Edblom Conoco Station, rear and south walls (facing N)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1415 404 Bush St**

**Hist Name:** Goodhue Co. Nat'l Bank Auto Bank

**Other Name:** Associated Bank Auto Bank

**Built:** 1966, 1972

**NR Status:** Not Eligible

**HPC Status:**

The former Goodhue County National Bank Auto Bank is located at the southwestern corner of Bush and Fourth Streets. It is a one-story ziggurat-inspired bank with a dominant roof form surfaced with white stone aggregate panels. The base of the building is faced with dark brown brick. At the western end are drive-up teller lanes sheltered by a canopy.

Goodhue County National Bank built its "auto bank" in 1966. It was enlarged in 1972. See the headquarters bank at 226-228 Bush (GD-RWC-349).

This bank building was enlarged in 1972. The enlarged structure is not yet 50 years old and therefore is too recent to be considered for the National Register.



Fig. 242. 404 Bush St. Goodhue Co. Nat'l Bank Auto Bank (facing W)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1416 410 Bush St**

**Hist Name:** Supermarket

**Other Name:** Koplin's Village Market

**Built:** ca. 1960

**NR Status:** Not Eligible

**HPC Status:**

Koplin's Village Market is located at the northwestern corner of Bush and Fifth. It is an altered modern supermarket with a large bituminous parking area.

The property is too altered to meet National Register integrity requirements.



**Fig. 243. 410 Bush St. Supermarket (facing W)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1417 419 Bush St**

**Hist Name:** **Medical Block Clinic**  
**Other Name:** Red Wing Community Development Office  
**Built:** 1963  
**NR Status:** Need More Information  
**HPC Status:**

The Medical Block Clinic, designed by James E. Stageberg and built in 1963, is located at the northeastern corner of Bush and Fifth and faces west. It is a one-story former medical clinic faced with dark brown brick. The northern end of the building originally housed a drug store. The design is given strong, low, horizontal emphasis by a copper-covered mansard roof with vertical standing seams. The lower edge of the roof is supported by rows of simple square brick columns along the building's east and west elevations. The roof has about four levels including two taller clerestory sections near the center of the building. They now provide high ceilings and natural lighting to two fairly large interior rooms. There was originally a small third-floor medical library tucked within one of these spaces. The rooms at the perimeter of the first story are lit by small, high, square windows, most of which are arranged in horizontal bands. Most sash appears to have been replaced. A free-standing sign in the western lawn has a copper-covered roof that matches the clinic roof.

***Historical Background***

This building was designed by noted Minneapolis architect James E. Stageberg (1925-2010). The clinic was featured in the August 1965 edition of *Architectural Record* magazine. An obituary called Stageberg "one of Minnesota's most influential architects and design professionals" (*Minneapolis Star Tribune* July 10, 2010). He was a longtime faculty member at the University of Minnesota's School of Architecture and also maintained a private practice.

The Medical Block Clinic was a medical practice founded in 1902. In addition to seeing clinic patients, the doctors also served as the first staff of St. John's Hospital, established in 1903. The clinic was located in a succession of downtown commercial buildings until 1912 when it occupied its own new building at 412 Main Street (GD-RWC-1428) next door to the St. James Hotel. In 1963 the Medical Block Clinic moved from 412 Main Street to this building at 419 Bush St. The clinic closed in December 1968.

After the medical clinic closed, this building served from 1970-1988 as the corporate offices of the Red Wing Shoe Company. It is now the City of Red Wing's community development and planning office.

***Recommendation***

The Medical Block Clinic appears to meet National Register integrity requirements and could be eligible if found to be significantly associated with an important event or broad pattern (Criterion A) or an important person (Criterion B) or found to be architecturally significant (Criterion C). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 244. 419 Bush St.** Medical Block Clinic, designed by James Stageberg; main facade and north side (facing E)

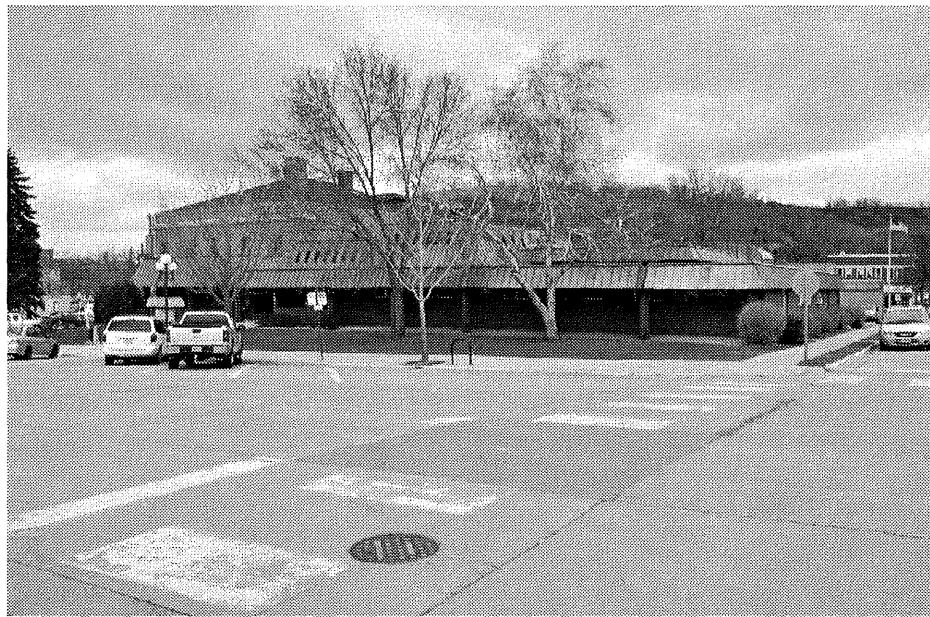


**Fig. 245. 419 Bush St.** Medical Block Clinic, south and east sides (facing W)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 246. 419 Bush St. Medical Block Clinic, main facade and south side (facing NE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1418 503 Bush St**

**Hist Name:** **Marigold Dairies**

**Other Name:** Hair Associates-Midwest Bonding

**Built:** 1930

**NR Status:** Not Eligible

**HPC Status:**

The former Marigold Dairies, built in 1930, is located at the southeastern corner of Bush and Fifth Streets. The oldest part of the building is a one-story former creamery of hollow clay tile construction. It is faced with light brown brick and has a stepped parapet wall and tall chimney. The window and door openings have been altered and vinyl-sided gables added. An altered, L-shaped, brick-faced addition wraps around the building.

The property is too altered to meet National Register integrity requirements.



**Fig. 247. 503 Bush St. Marigold Dairies (facing E)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-798 501 Centennial St**

**Hist Name: Nyquist House**

**Built: ca. 1885**

**NR Status: Not Eligible**

**HPC Status:**

The Nyquist House is located at the southeastern corner of Centennial and Fifth in East Red Wing. It has many alterations including an enclosed porch, window sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 248. 501 Centennial St. Nyquist House (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-799 502 Centennial St**

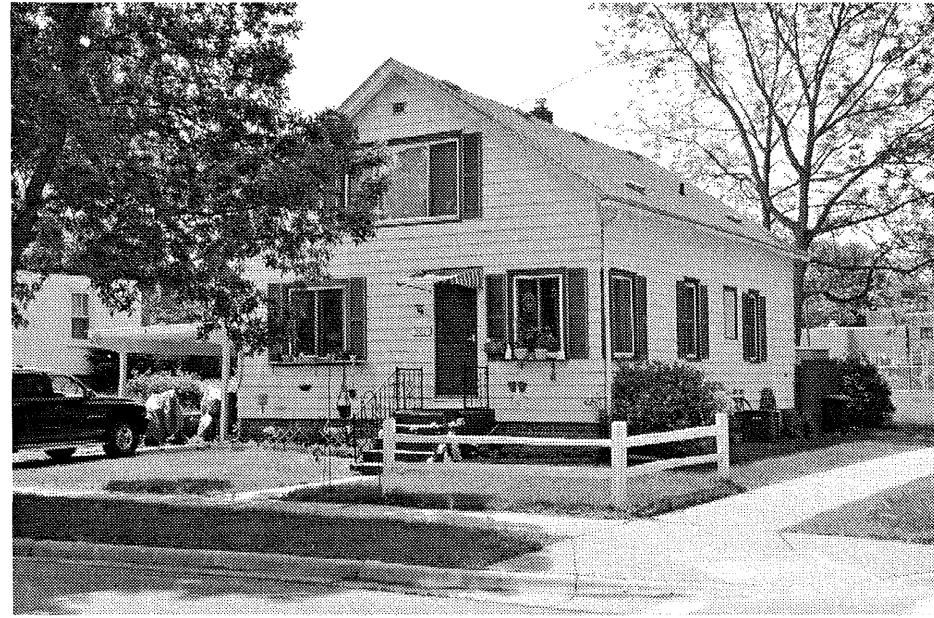
**Hist Name:** **Sell House**

**Built:** ca. 1885

**NR Status:** Not Eligible

**HPC Status:**

The Sell House has many alterations including vinyl or metal siding, removal of the front porch, window opening and sash changes, and mock shutters. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 249. 502 Centennial St. Sell House (facing SW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1419 115 Dakota St**

**Hist Name:** Betcher Lumberyard Office  
**Other Name:** Central Lumber Company Office  
**Built:** ca. 1900  
**NR Status:** Not Eligible  
**HPC Status:**

This small building was built circa 1900. It is located one-half block north of Main Street on the eastern side of Dakota Street. It was built as a lumberyard office; the rest of the lumberyard stretched east and south of the building. The office is faced with dark brown brick and trimmed with rockfaced yellow limestone. It has a truncated hipped roof, a wide frieze, and a chimney with a flared cap. There is a bay window on the main (western) facade. The largest window on the bay retains a transom light, as does the main entrance's single-leaf door. Window and door openings are rectangular with some fixed and some double-hung sash. Attached to the eastern side of the brick structure is an original wooden gable-roofed canopy that would have sheltered a wagon scale. The canopy roof is supported by three original wooden posts with knee braces. The canopy gable ends are sided with original tongue and groove siding. A small woodframe room has been enclosed within the canopy.

This was the office of a retail lumberyard established by the Charles Betcher Lumber Company. The rest of the lumberyard has been demolished; much of the site is now used as a gravel parking area.

While the office is only slightly altered, the rest of the lumberyard has been demolished, and therefore this building has lost important historic integrity. It is recommended the property does not meet National Register integrity guidelines or eligibility criteria.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



Fig. 250. 115 Dakota St. Betcher Lumberyard Office, main (west) facade (facing SE)

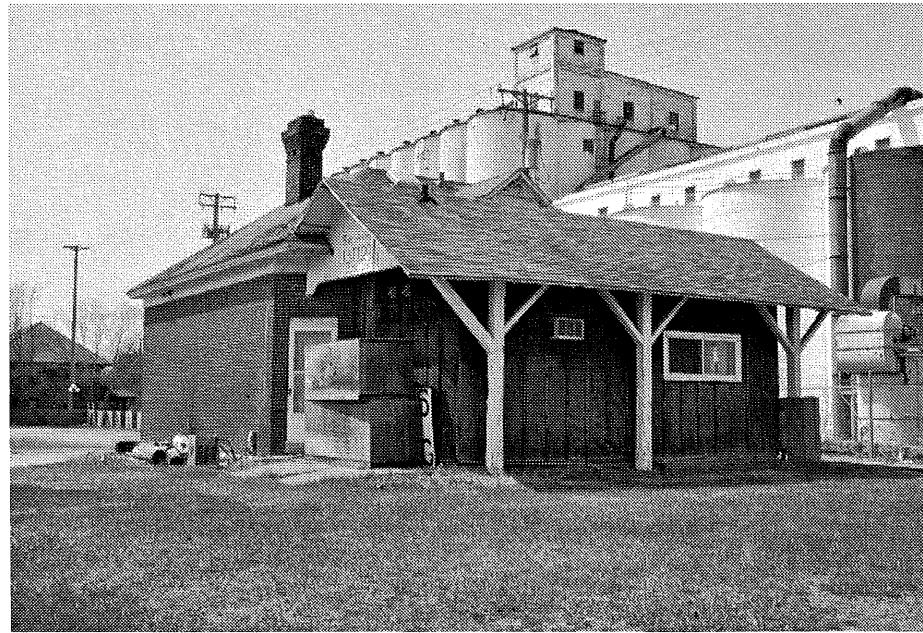


Fig. 251. 115 Dakota St. Betcher Lumberyard Office, canopy over wagon scale on the rear elevation (facing NW)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-026 216 Dakota St**

**Hist Name:** **Hewitt Laboratory**

**Built:** 1866

**NR Status:** Listed

Contributing to Red Wing Residential Historic District

**HPC Status:** In West Residential Historic District

Hewitt Laboratory, built in 1866, is located just west of downtown Red Wing. It is a woodframe building with a symmetrical facade and saltbox roof. Exterior alterations include vinyl siding, new 4/4 sash, a gabled overhang above the central front door, and a rear screened porch. Dr. Charles N. Hewitt lived in Red Wing from 1866-1910 and was an early expert in public health. He lobbied to create the State Board of Health (1872) and for 25 years was its executive. A very early vaccination program for children took place in this building.

Hewitt Laboratory was individually listed on the National Register in 1979 under Criterion B (important person) in the area of Science. The level of significance is State. The period of significance is 1866-1910.

Hewitt Laboratory is also a Contributing property in the Red Wing Residential Historic District, which was listed on the National Register in 1982. For information on the National Register-listed district, see Red Wing Residential Historic District (GD-RWC-022) in Chapter 3. (See Map 2.)

The property is also within the local West Residential Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 252. 216 Dakota St. Hewitt Laboratory (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1420 ca. 215 East Ave**

**Hist Name:** Studebaker Park Parking Ramp  
**Built:** 2001  
**NR Status:** Noncontributing to Red Wing Mall Historic District  
Noncontributing to Potential Red Wing Commercial Historic District  
**HPC Status:** In Historic Mall District  
In Downtown Historic District

This modern concrete parking ramp, built in 2001, is located near the center of a block with entrances on both East Avenue and Main Street. At each entrance is a brick-veneered stairway and elevator structure.

The western part of the parking ramp is within the Red Wing Mall Historic District. Because of its recent date, it is Noncontributing to the district. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The eastern part of the parking ramp is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. The structure is Noncontributing to the potential district.

The parking ramp is also located within the local Historic Mall District, a historic district designated by the City. Finally, the parking ramp is also located within the local Downtown Historic District, another historic district designated by the City. (See Map 3.)



Fig. 253. ca. 215 East Ave. Studebaker Park Parking Ramp (facing E)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-091 225 East Ave**

**Hist Name:** **Red Wing Public Library**

**Built:** 1968

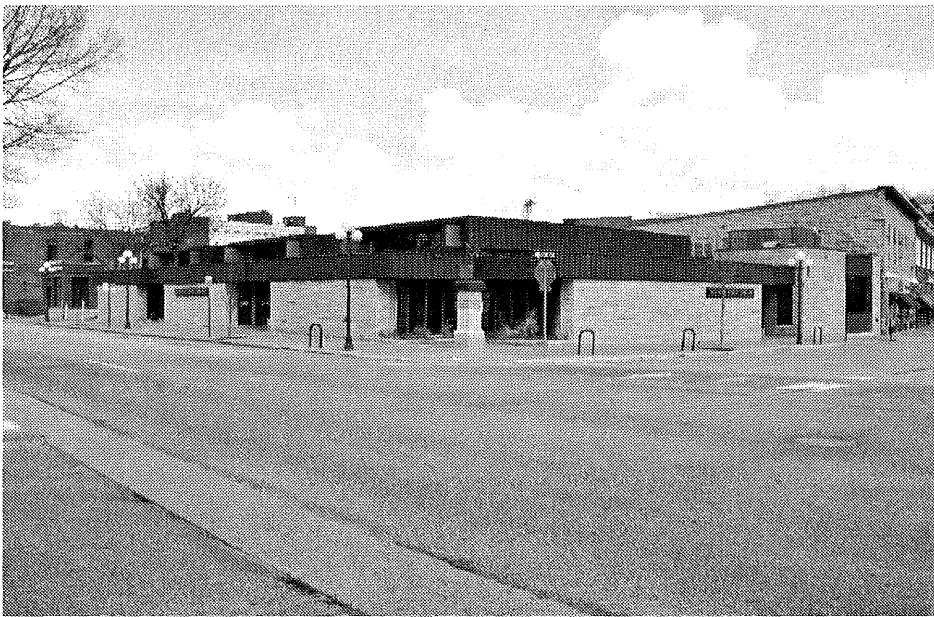
**NR Status:** Noncontributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

The Red Wing Public Library, built in 1968-1969, is located at the northeastern corner of East Avenue and Third Street on the eastern side of Red Wing's wedge-shaped civic Mall. The library was designed by Buetow and Associates of St. Paul and replaced an earlier Carnegie library on the same site. It is a low-lying one-story building faced with random ashlar yellow limestone. A dark metal-covered pent eave gives horizontal emphasis to the design.

The Red Wing Public Library is located within the Red Wing Mall Historic District, which was listed on the National Register in 1980. Because it was built in the modern period, the library is Noncontributing to the district. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



**Fig. 254. 225 East Ave. Red Wing Public Library (facing N)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-093 315 East Ave**

**Hist Name:** **East Avenue Professional Building**

**Other Name:** Bergan Dental

**Built:** 1941

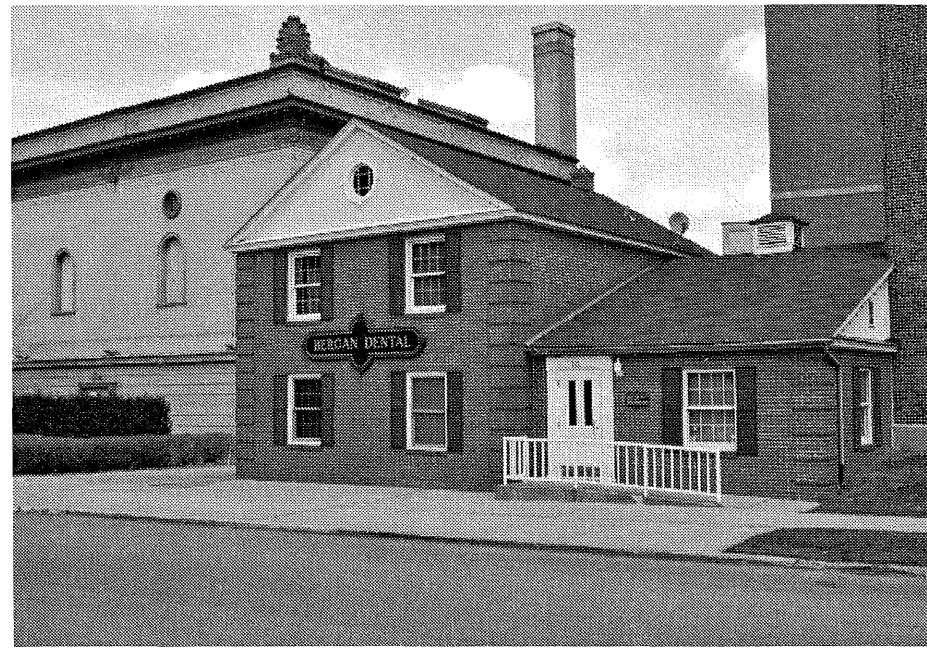
**NR Status:** Noncontributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

This building, constructed in 1941, is located on the eastern side of Red Wing's multi-block civic Mall. Its current appearance dates from a fairly recent remodeling. It is a gable-roofed commercial structure veneered with red brick. The main gable end is faced with stucco and has a round window. The windows have been altered with multipaned sash and mock shutters. On the rear is a one-story, flat-roofed addition with vertical wood siding and a pent eave. On the south side is a one-story, shed-roofed addition faced with red brick; it now contains the main entrance to the dental clinic.

The property is located within the Red Wing Mall Historic District, which was listed on the National Register in 1980. Because of alterations, the property is Noncontributing to the district. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



**Fig. 255. 315 East Ave. East Avenue Professional Building (facing N)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1421 209 Fulton St**

**Hist Name:** **Warehouse**

**Built:** **1954**

**NR Status:** **Not Eligible**

**HPC Status:**

The building at 209 Fulton, built in 1954, is a fairly large gable-roofed building that might have been a warehouse, a vehicle service garage, or the headquarters of a trucking firm. The roof ridge is aligned east-west and the building is covered with galvanized corrugated metal sheets. Fiberglass panels provide light at the window openings. There are two vehicle doors and a pedestrian door on the main facade.

The building is a straightforward, fairly ubiquitous, mid-century warehouse-type structure with no architectural distinction. Historical research revealed no suggestions that the building has significant associations with an important event, broad pattern of history, or an important person. It is recommended the property is ineligible for the National Register.



**Fig. 256. 209 Fulton St. Warehouse (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1454 1917 Grandview Ave**

**Hist Name:** Olson House

**Built:** 1938

**NR Status:** Need More Information

**HPC Status:**

The Olson House is an example of the Cape Cod variation of the Colonial Revival Style. It was likely built by original owner and building contractor Herman L. Olson. The house is located on Grandview Avenue, a two-block-long street with a stunning view of the Mississippi River Valley, Barn Bluff, and Bridge 9040. The house has a symmetrical design, a gabled roof, two gabled dormers on the main facade, and a central entrance. The rectangular window openings have original 6/1 sash and mock shutters. The front door is original and has a 6-light window. Next to the door is a small multipaned window that lights the small entrance foyer. Alterations include vinyl siding, wooden front steps, and a simple shed-roofed porch that shelters the side door and wraps around the rear (southeastern) corner of the house.

***Historical Background***

The Olson House was built in 1938. Five of the seven houses on this block face of Grandview Avenue were built in 1936-1942 according to county tax records. All but the Olson House have been altered considerably.

The 1948 city directory lists the homeowners as Herman L. and Esther I. Olson. Herman and a partner, Monroe Warn, owned a general contracting firm called Warn and Olson Building Company. In 1948 the business was operated from the Olsons' home. In April of 1956 the Olsons, along with Monroe and Laura Warn, platted a 12-lot subdivision called "Herman L. Olson's Subdivision" on a bluff-side site just north of Oakwood Cemetery about two miles southeast of the Olson House.

Herman and Esther Olson were still living in this house in 1962, according to the city directory. The construction firm was then known as H. L. Olson and Sons Construction Company and was headquartered at 1234 W. 4th St.

***Recommendation***

The Olson House, built in 1938, is a restrained example of the Cape Cod style. The house may meet National Register integrity requirements and could be eligible if found to be significantly associated with an important event or broad pattern (Criterion A) or an important person (Criterion B). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 257. 1917 Grandview Ave.** Olson House, main facade and west side (facing SE)



**Fig. 258. 1917 Grandview Ave.** Olson House, main facade and east side (facing SW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-787 407 Green St**

**Hist Name:** House  
**Built:** ca. 1875  
**NR Status:** Not Eligible  
**HPC Status:**

This altered house is located just south of Barn Bluff in Red Wing's East End. Exterior changes include porch ornamentation and balusters removed, a door added to the main facade, vinyl siding, window sash replacement, window casings covered, and a rear addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 259. 407 Green St. House (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-788 410 Green St**

**Hist Name:** House  
**Built:** ca. 1870  
**NR Status:** Not Eligible  
**HPC Status:**

This house is located just south of Barn Bluff. It has many exterior changes including porch enclosure, altered window openings, window sash replacement, and addition(s). Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 260. 410 Green St. House (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-789 413 Green St****Hist Name: Kjellstrom House****Built: ca. 1875****NR Status: Not Eligible****HPC Status:**

The Kjellstrom House, built circa 1875, is located just south of Barn Bluff. There is an open shed-roofed front porch with turned columns, fancy brackets, and fretwork. The house has several exterior alterations including vinyl siding, covered window casings, missing porch balustrades, window sash replacement, and a rear addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 261. 413 Green St. Kjellstrom House (facing NE)**

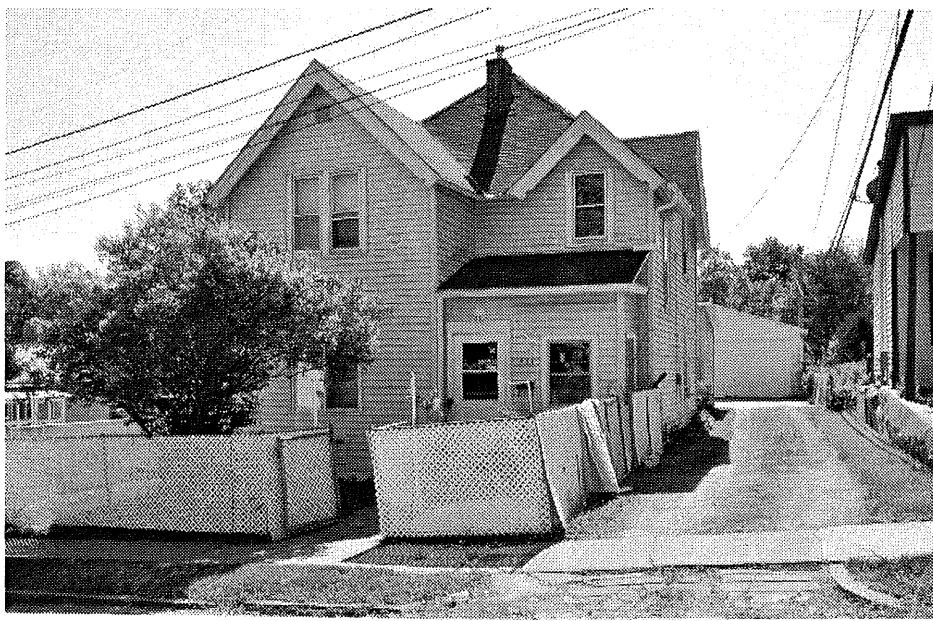
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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-790 414 Green St****Hist Name:** **Anderson House****Built:** ca. 1890**NR Status:** Not Eligible**HPC Status:**

The Anderson House retains a small open rear porch with turned columns, balusters, and fretwork. The house has many exterior changes including vinyl siding, porch enclosure, window sash replacement, and a rear addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 262. 414 Green St. Anderson House (facing W)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-791 417 Green St**

**Hist Name:** House  
**Built:** ca. 1850  
**NR Status:** Not Eligible  
**HPC Status:**

The county assessor estimates this house was built circa 1850. It is located on Green Street south of Barn Bluff in the East Red Wing neighborhood. Its many exterior changes include vinyl siding, porch alteration, window sash replacement, and a rear addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 263. 417 Green St. House (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1448 Highway 61**

**Hist Name:** Highway 61, Red Wing Segment

**Built:** 19th-20th c.

**NR Status:** Need More Information

Contributing to Potential Red Wing Commercial Historic District

Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

In Downtown Historic District

For the purposes of this Phase I cultural resources study, Gemini Research examined an approximately one-mile segment of present-day Highway 61 between Fulton Street and Fifth Street East, as well as a connected one-mile section of Plum Street and East Seventh Street which is a former alignment of Highway 61 that is now city street. (See Map 8.)

The inventoried segment is a subset of a property called Highway 61, Red Wing Segment, which is comprised of present-day Minnesota Highway 61/U.S. Highway 61 extending the entire length of the city of Red Wing, as well as "turned-back" segments of the highway within the city limits.

Present-day Highway 61 within Red Wing is about 11 miles long and extends from west to east city limits. The current alignment consists of a divided highway for most of the 11 miles except for a ten-block segment along Main Street through downtown that is not divided (Fig. 7).

Former alignments of the highway include a segment of Old West Main between Bench and Cedar Streets (about 1 1/3 miles long) and segments of Plum Street and East Seventh Street between the intersection of Plum and Main on the west and the Minnesota State Training School on the east (a total of about 2 miles).

East and south of the Red Wing city limits, Highway 61 continues to closely follow the Mississippi River to a point south of Winona where Minnesota Highway 61 ends and U.S. Highway 61 crosses the Mississippi to LaCrosse, Wisconsin. From there it continues southward to New Orleans.

West of the Red Wing city limits, Highway 61 (both the state and federal highways) strikes west and north to Hastings and then continues northwest to St. Paul. North of St. Paul, the present-day terminus of U.S. Highway 61 is the highway's junction with Interstate 35 at Wyoming, Minnesota. Minnesota Highway 61 continues northeast from Wyoming to Duluth, and then along the North Shore of Lake Superior to the Canadian border.

U.S. Highway 61 in eastern Red Wing – east of about Bluff Street – also carries the designation for U.S. Highway 63. (U.S. Highway 63 is a federal highway that extends from the shore of Lake Superior at Ashland, Wisconsin on the north, to a point in northern Louisiana on the south. In Minnesota, U.S. Highway 63 enters the state at Red Wing (Figs. 2, 8), shares the route with U.S. Highway 61 between Red Wing and Lake City, and then continues on its own alignment through Rochester and into Iowa.)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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### ***Historical Background***

The earliest roads in the Red Wing area were created and traveled by Native Americans, and later used and improved by Euro-Americans when they began to live in the area.

The first publicly-funded and -built road through Red Wing, the 76-mile-long Mendota to Wabasha Military Road, followed the general route of present-day Highway 61. The road was authorized by Congress in 1850 and built within the next few years. It followed the western bank of the Mississippi enroute between Wabasha (located south of Red Wing) and Mendota (located south of St. Paul). The Mendota to Wabasha Road through Red Wing was eventually lengthened and was often called the St. Paul to LaCrosse Road.

In 1905 the Minnesota Legislature created a state highway commission. The highway through Red Wing was designated State Road 3 and became an increasingly important route. It was one of the most scenic highways in the state, especially among the routes within easy reach of Twin Cities residents.

In November 1920 Minnesota voters approved the creation of the state trunk highway system. The highway through Red Wing became Minnesota Highway 3, which was designated to extend from the Wisconsin border at LaCrescent (near LaCrosse), through the Twin Cities, and northwest to the North Dakota border at Breckenridge.

In 1926 the highway through Red Wing was also designated a federal or U.S. highway and was named U.S. Highway 61. U.S. Highway 61 was an important north-south route that stretched through the center of the country from New Orleans to Canada.

In 1933 Minnesota Highway 3 through Red Wing was renumbered Minnesota Highway 61.

In the 1950s Highway 61 was realigned in both western and eastern Red Wing after many years of planning and amidst much controversy (Map 8). West of downtown, the highway was moved in 1951-1953 from Old West Main Street to its current alignment about one block south of Old Main. East of downtown, the highway was moved in the late 1950s and early 1960s from East Seventh Street and Plum Street to a new alignment a few blocks to the north along the base of Barn Bluff. Sizable portions of Barn Bluff were removed and more than 85 houses in the East End were moved or demolished (Angell 1977: 363). In conjunction with the project, the Hiawatha Bridge over the Mississippi River (later named the Eisenhower Bridge) was completed in October 1960 (Fig. 3). (See Bridge 9040 at ca. 10 Highway 63; GD-RWC-909.) Two nearby bridges, Bridge 9103 and Bridge 9449, were also built in 1960 as part of the realignment project (Fig. 8). (See Bridge 9103 at ca. 100 Highway 63; GD-RWC-1387; see Bridge 9449 at ca. 500 Highway 61; GD-RWC-1453.)

### ***Recommendation***

The Red Wing Segment of Highway 61 is part of an important state trunk highway that stretches from the southeastern tip of Minnesota to the Twin Cities, and part of a U.S. highway that follows the Mississippi River, bisecting the country. The highway passes through some of Minnesota's most scenic landscapes. The highway originated as a territorial military road, was part of the state's original trunk highway system, and has been popular recreationally since the early days of auto tourism. While the 11-mile Red Wing Segment of the highway has been realigned in major places, it is a piece of a much longer highway whose National Register

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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eligibility has evidently not been comprehensively assessed. It may be, for example, that the Red Wing Segment is a Noncontributing portion of a National Register-eligible highway that is significant under Criterion A (broad patterns of history). It is recommended that the Red Wing Segment of Highway 61 merits and requires further research and evaluation to determine its National Register eligibility.

The three-block section of Highway 61 between Plum Street and a point just west of West Avenue is also a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The same section of Highway 61 (between Plum Street and a point just west of West Avenue) is also located within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)

A short section of Highway 61 – perhaps 225' long – near the highway's intersections with West and East Avenues is also located within, and probably Contributing to, the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The same short section of Highway 61 near West and East Avenues is also located within the local Historic Mall District, a historic district designated by the City. (See Map 3; note that the boundaries of the National Register and HPC districts vary slightly.)



**Fig. 264. Highway 61.** Highway 61, Red Wing Segment, Main Street alignment, taken from Barn Bluff (facing SW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 265. Highway 61.** Highway 61, Red Wing Segment, former alignment of the highway on East 7th Street (facing W)

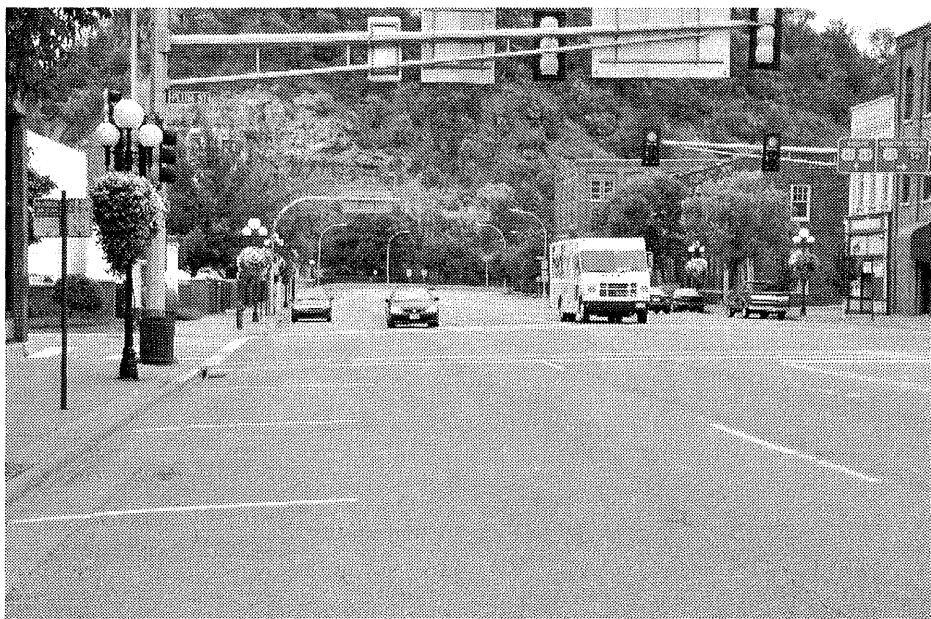


**Fig. 266. Highway 61.** Highway 61, Red Wing Segment, former alignment of the highway on Plum Street (facing NW)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 267. Highway 61.** Highway 61, Red Wing Segment, Main Street alignment showing junction of Main and Plum (facing NE)



**Fig. 268. Highway 61.** Highway 61, Red Wing Segment, Main Street alignment showing junction of Main and Bush in the distance (facing SW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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### GD-RWC-1453 ca. 500 Highway 61

Hist Name: **Bridge 9449**

Built: 1962

NR Status: Need More Information

HPC Status:

Bridge 9449 carries Highway 61 over E. Fifth Street near the eastern end of Barn Bluff. It is a prestressed concrete beam span bridge built using prestressed concrete I-beams. The bridge is 133' long with a main span of 53'. It is skewed 30 degrees. The deck is 63' wide and carries four lanes of traffic.

#### ***Historical Background***

The bridge was built in 1962 when this section of Highway 61 was moved from East Seventh Street to an alignment at the base of Barn Bluff. For more information see Highway 61 (GD-RWC-1448; Map 8), as well as Bridge 9040 (the Eisenhower Bridge) at ca. 10 Highway 63 (GD-RWC-909).

#### ***Recommendation***

Gemini Research evaluated the National Register eligibility of Bridge 9449 using historic context eligibility criteria for Minnesota bridges built in 1956-1970 (Mead and Hunt June 2008). Gemini Research recommends that Bridge 9449 does not meet the context requirements for National Register Criterion A (broad patterns of history) or C (engineering significance), and there is no evidence the bridge is significant under Criterion B (important person). It is recommended that Bridge 9449 is not individually eligible for the National Register.

However, Bridge 9449 is part of the Red Wing Segment of Highway 61, which was inventoried separately (see Highway 61; GD-RWC-1448). Gemini Research recommends that Highway 61 requires further research to assess National Register eligibility under Criterion A. If Highway 61 were found to be historically significant, Bridge 9449 would probably be Noncontributing to that property because it is part of a post-1960 realignment.

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 269. ca. 500 Highway 61. Bridge 9449, north side from East Fifth Street (facing S)**



**Fig. 270. ca. 500 Highway 61. Bridge 9449, west abutment from East Fifth Street (facing W)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

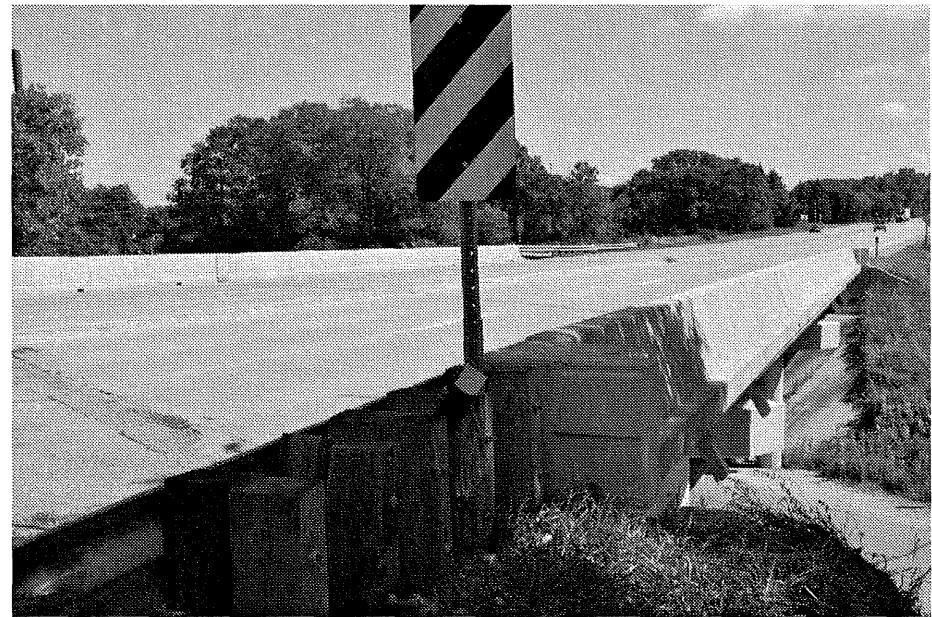


Fig. 271. ca. 500 Highway 61. Bridge 9449, Highway 61 roadway (facing E)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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**GD-RWC-909 ca. 10 Highway 63**

**Hist Name:** **Bridge 9040 (Eisenhower Bridge)**

**Other Name:** Hiawatha Bridge

**Built:** 1960

**NR Status:** Not Eligible

**HPC Status:**

Bridge 9040 crosses the Mississippi River at the western end of Barn Bluff (Fig. 3). It extends from Red Wing on the south to Trenton Island, Pierce County, Wisconsin on the north. The bridge is a continuous steel through-truss structure completed in 1960. Its overall length is 1,631'. The longest of the three spans is about 432'. For more details see Mead and Hunt's 2011 bridge inventory form (Mead and Hunt 2011) and the accompanying Bridge 9040 materials on file at the State Historic Preservation Office in St. Paul.

***Historical Background***

Regular ferry service was first established at this river crossing in 1863 after intermittent earlier service. The first bill authorizing construction of a bridge across the Mississippi at Red Wing was passed by Congress in 1871 but plans were not realized (Dosal and Erickson 2007: 15).

The first bridge over the main channel between Red Wing and Trenton Island was completed in 1895. The bridge was aligned with Bluff Street in Red Wing and had a sharp turn to the west at its northern (Wisconsin) end (Figs. 2, 3, 7). When the bridge opened on May 1, 1895, there was "an immense celebration" attended by residents of both Minnesota and Wisconsin (Angell 1977: 195, photo on 269). It was operated as a toll bridge from 1895-1917.

The road on Trenton Island was improved by the State of Wisconsin in 1924 (Angell 1977: 293). In 1931 responsibility for the 1895 wagon bridge was taken over by the state highway departments of Minnesota and Wisconsin.

Survey work for a replacement bridge began in 1950. The new bridge was to be aligned immediately downriver from the existing bridge, closer to Barn Bluff. According to historian Madeline Angell, "There was much hard feeling when it was learned that the steps and the 'Indian head' on Barn Bluff would be casualties of highway construction. Alternate routes were considered but ultimately rejected. Barn Bluff lost part of its Indian head on May 9, 1959. What was left had to be removed; it was in a precarious condition and was hazardous. The state agreed to pay for the removal. The huge center span of the new bridge was hoisted into place on December 16, 1959. The 362-ton framework was lifted 70' above the river as crowds watched in near silence" (Angell 1977: 365).

The bridge was first named the Hiawatha Bridge, a name chosen through a local contest. President Dwight D. Eisenhower dedicated the bridge on October 18, 1960, before an estimated crowd of 20,000 people. The occasion was so momentous that the *Red Wing Republican Eagle* published a souvenir edition of the newspaper. The following year, "The old bridge was toppled by a cable from a barge on December 9, 1961, to lie at the bottom of the Mississippi" (Angell 1977: 393).

The name of the bridge was later changed from Hiawatha Bridge to Eisenhower Bridge in honor of President Eisenhower.

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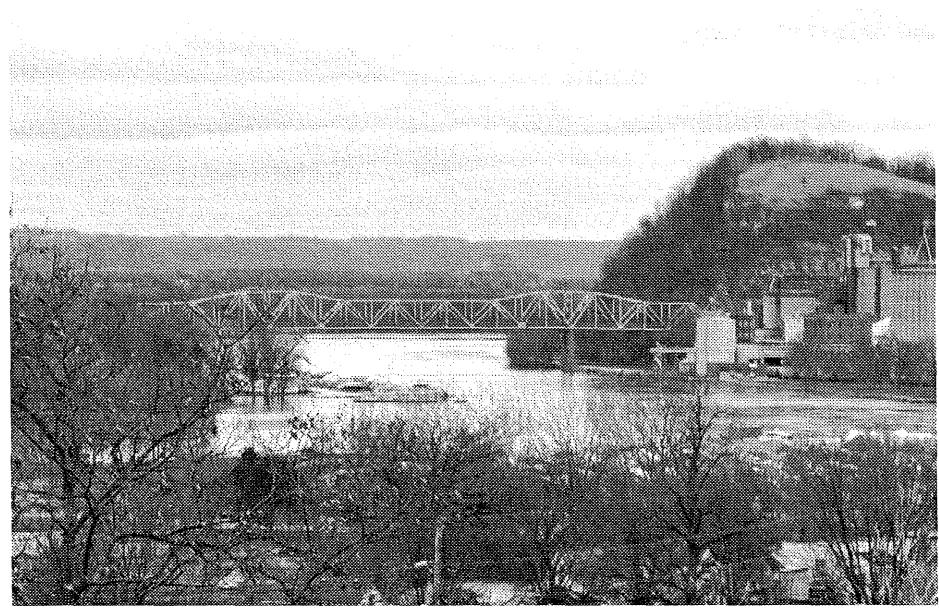
## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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### ***Recommendation***

From the State of Minnesota perspective, Bridge 9040 is not eligible for the National Register. The National Register eligibility was most recently evaluated in 2011 by Mead and Hunt, the firm which conducted a review of 1955-1970 bridges for MnDOT. According to Mead and Hunt's inventory form (2011): "The bridge does not have a direct and significant association with an important historic transportation system, program, or policy identified through contextual research, nor does it illustrate the evolution of a bridge type or represent an important variation in the design, fabrication, and construction of a bridge type. Additionally, it is not a distinguishable representation of a master's work and does not possess high artistic value as identified through contextual research. Therefore, this bridge is recommended not eligible for the National Register under Criterion A and C" (Mead and Hunt 2011). While the bridge provides an important connection between Red Wing and Wisconsin, Bridge 9040 was not the original bridge at the crossing, but is a replacement bridge that maintained the crossing rather than creating it.

From the State of Wisconsin perspective, Bridge 9040 is also ineligible for the National Register. This was most recently reviewed in August 2011 when the Wisconsin State Historic Preservation Office and the Wisconsin Department of Transportation concurred that the bridge does not meet National Register eligibility criteria.

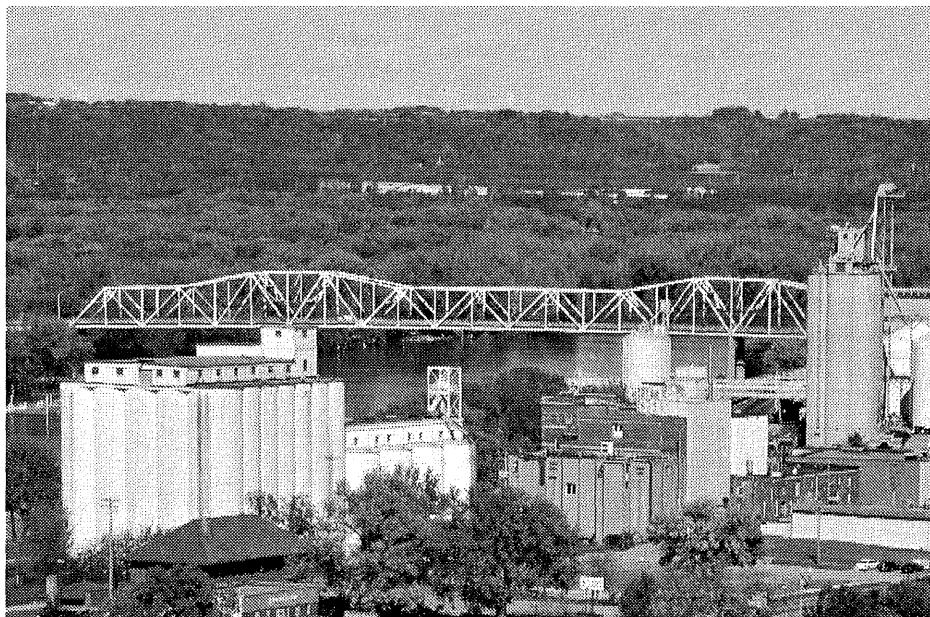


**Fig. 272. ca. 10 Highway 63.** Bridge 9040 (Eisenhower Bridge), with Barn Bluff, taken from College Hill (facing NE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 273. ca. 10 Highway 63.** Bridge 9040 (Eisenhower Bridge), west side, taken from College Hill (facing NE)

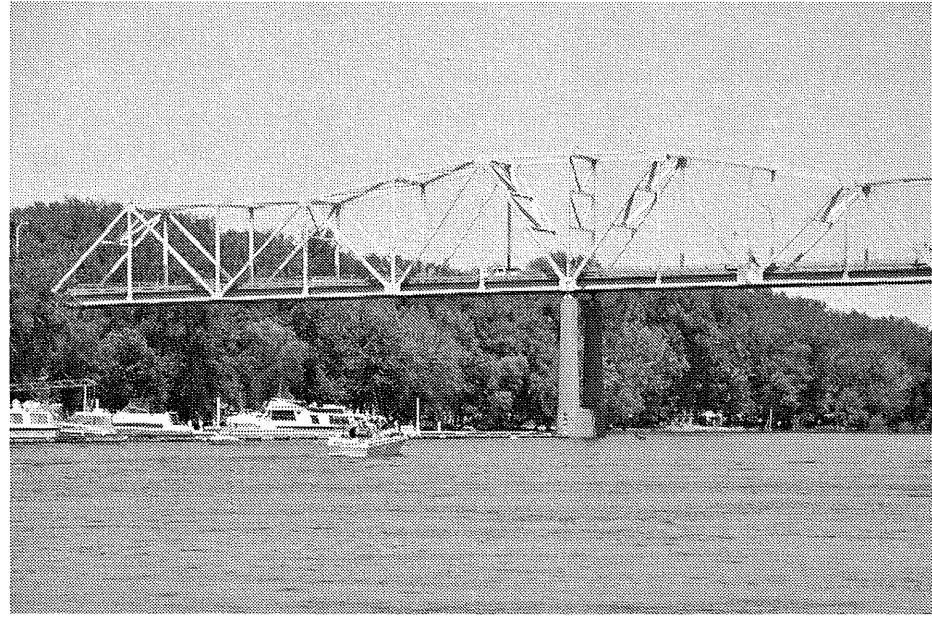


**Fig. 274. ca. 10 Highway 63.** Bridge 9040 (Eisenhower Bridge), extending to Trenton Island on the Wisconsin bank, taken from Barn Bluff (facing NW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 275. ca. 10 Highway 63.** Bridge 9040 (Eisenhower Bridge), west side, extending to Trenton Island on the Wisconsin bank (facing NE)

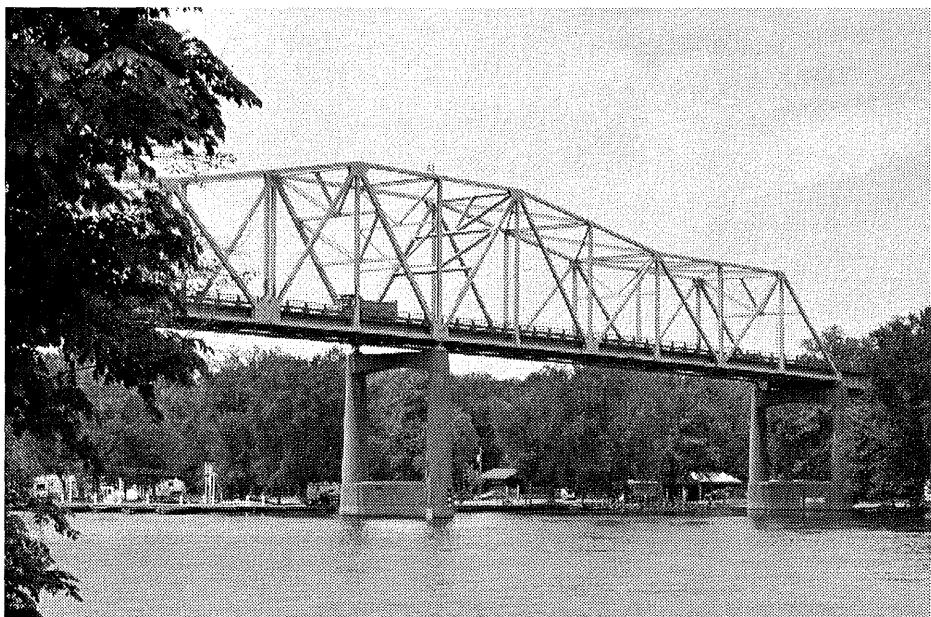


**Fig. 276. ca. 10 Highway 63.** Bridge 9040 (Eisenhower Bridge), east side, from the railroad near the northwest end of Barn Bluff (facing SW)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 277. ca. 10 Highway 63. Bridge 9040 (Eisenhower Bridge), east side, from the railroad near the northwest end of Barn Bluff (facing W)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

### GD-RWC-1387 ca. 100 Highway 63

**Hist Name:** **Bridge 9103**

**Built:** 1960

**NR Status:** Eligible

**HPC Status:**

Bridge 9103, built in 1960, carries Highway 63 over Highway 61 at the southwestern end of Barn Bluff in the northeastern corner of downtown Red Wing (Fig. 8). It is a curving, five-span, continuous concrete slab bridge that is 210' long. It has an intact metal balustrade. See Mead and Hunt's 2010 bridge inventory form for more details (Mead and Hunt 2010).

#### ***Historical Background***

The bridge was built in 1960 as part of the project to move a section of Highway 61 in eastern Red Wing from East Seventh Street to an alignment closer to the base of Barn Bluff. For more information see Highway 61 (GD-RWC-1448; Map 8), as well as Bridge 9040 (the Eisenhower Bridge) at ca. 10 Highway 63 (GD-RWC-909).

#### ***Recommendation***

The National Register eligibility of Bridge 9103 was evaluated in 2010 by Mead and Hunt, the firm which conducted a review of 1955-1970 bridges in Minnesota for MnDOT. According to Mead and Hunt's 2010 inventory form:

Bridge 9103 is significant, demonstrating high artistic value. The presence of artistic elements such as an ornamental rail and curved form illustrate the importance of aesthetics in the design of the bridge. Additionally, site considerations such as the proximity to downtown Red Wing and approach to the Eisenhower Bridge [Bridge 9040] were a factor during the design of the bridge demonstrating the importance of showing harmony with the bridge's surroundings. Bridge 9103 is significant for its design/construction. This continuous concrete slab structure is a horizontally curved bridge with an exceptional structure length of 200'. The horizontal curve of 14 degrees is the greatest degree of curve for any extant bridge in Minnesota from the survey period [1955-1970] and was a design solution used to meet road alignment requirements. Additionally, it is the only curved continuous concrete slab bridge in the state from the subject period. Bridge 9103 is also exceptionally long when compared to other continuous concrete slabs illustrating a solution to a particular site challenge. The combination of these engineering features in Bridge 9103 demonstrates the complex design issues the engineers faced to meet the site challenges and road requirements for a bridge at this location. The bridge does not exhibit physical alterations and it retains its historic integrity of location, design, materials, workmanship, setting, feeling, and association. The bridge is eligible for listing in the National Register of Historic Places under Criterion C in the area of Engineering at the State level of significance. This bridge, located on or associated with TH 61, may be a component of an important transportation route. TH 61 has a complex history that predates and postdates the subject period. Further evaluation of TH 61 including features, termini, and integrity is needed to determine if the route, including the bridge, possesses significance and is eligible for the National Register. The evaluation of its

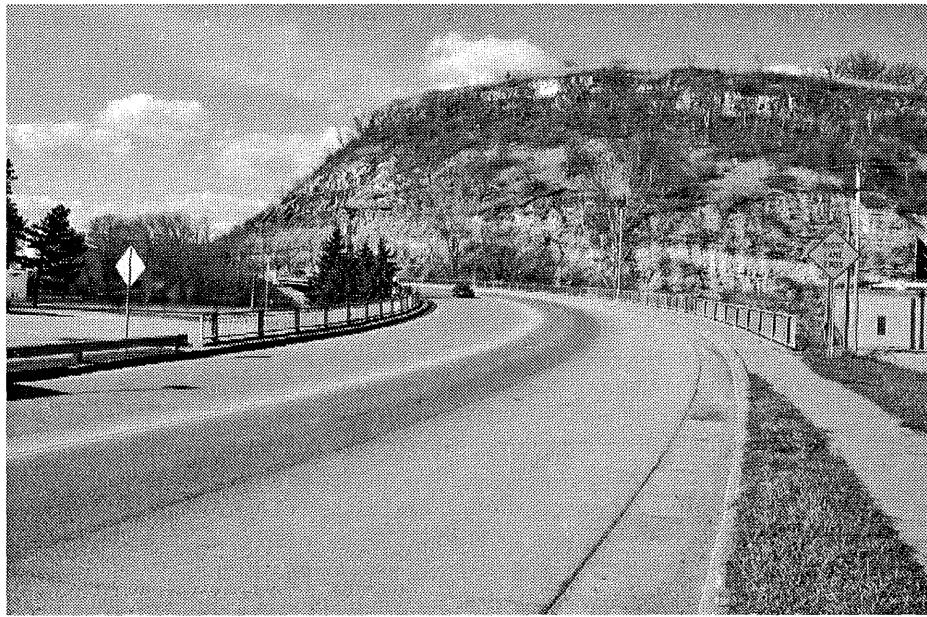
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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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association with a broader potential historic district is beyond the scope of the 1955-1970 Historic Bridge Survey project (Mead and Hunt 2010).

Bridge 9103 is also part of a property defined as the Red Wing Segment of Highway 61 (GD-RWC-1448), which Gemini Research recommends requires further research to assess National Register eligibility under Criterion A. See Highway 61 (GD-RWC-1448) for more information.

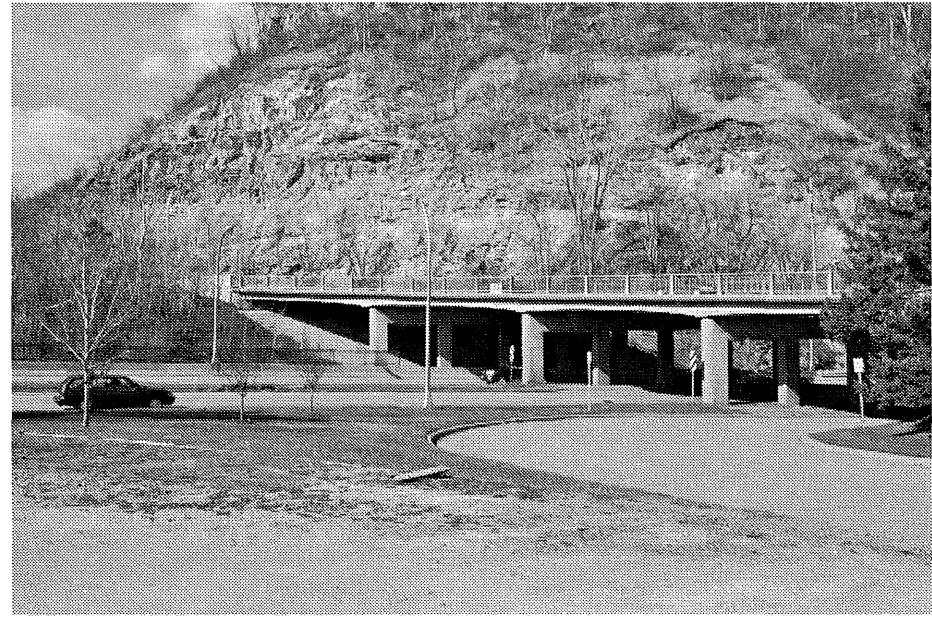


**Fig. 278. ca. 100 Highway 63.** Bridge 9103, curving northwest to the base of Barn Bluff (facing N)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 279. ca. 100 Highway 63. Bridge 9103, carrying Highway 63 over Highway 61 (facing NE)**

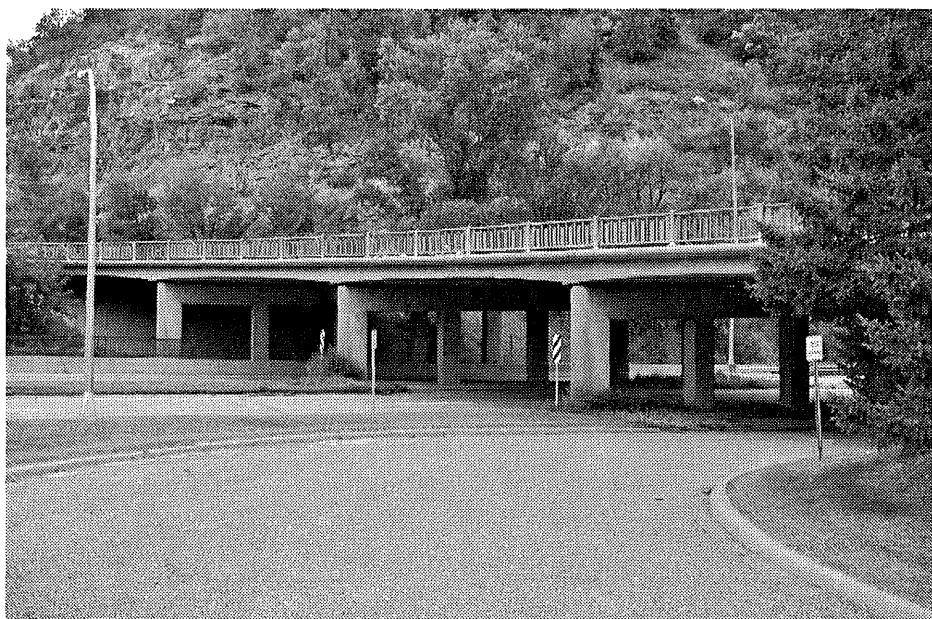


**Fig. 280. ca. 100 Highway 63. Bridge 9103, under deck, piers (facing NW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 281. ca. 100 Highway 63. Bridge 9103, west side of piers and railing (facing NE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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**GD-RWC-1422 521 Hill St**

**Hist Name:** **Miller House**

**Other Name:** Wilson-Ryan House

**Built:** 1953

**NR Status:** Need More Information

**HPC Status:**

The Miller House, built in 1953, is located on the edge of a College Hill bluff at the northern end of Hill Street northwest of the intersection of Hill and Sixth. The property has a spectacular, panoramic view of the Mississippi River and its valley. A long driveway passes through a wooded lot to the house.

The house was designed by Minneapolis architect Carl Graffunder. The plan is basically L-shaped. The house has been sited so that it seems to emerge right from the bluff in the Organic tradition. (The eastern wall is built against the bluff with no windows possible; one can walk onto the roof of the house from this part of the bluff if necessary.) The ground level is faced with smooth, painted concrete blocks and the upper story with vertical wood. The massing and bright exterior colors (blue, orange, and gray) make the design lively and expressive. Extensive banks of windows create walls of glass. The panels of glass and a simple northern deck or porch provide stunning views of the river valley from both inside and outside the house. Windows on the western elevation have pergola-like shade canopies. Both the interior and exterior of the house are intact.

### ***Historical Background***

The Miller House was built eight years after the end of World War II. The original owners and occupants were Winston and Mary Miller. Winston Miller was a physician who joined Red Wing's Interstate Medical Clinic in 1948. (The clinic, which has been razed, was a precursor to Fairview Red Wing Health Services, now the city's largest clinic and hospital provider.)

Mary Cavaness Miller was a longtime Red Wing civic leader. She was coauthor, with Madeline Angell Johnson (writing as Madeline Angell), of a local history entitled *Joseph Woods Hancock: The Life and Times of a Minnesota Pioneer* (1980). She was a founder of the Red Wing hospice program. In 2008, Miller was inducted into the Red Wing Women's Hall of Fame.

Architect Carl Graffunder was born in Illinois in 1919 and studied at the University of Minnesota and at Harvard, graduating from the latter in 1948. He began teaching architecture at the University of Minnesota about 1950 and remained on the faculty until retirement. He also maintained a private practice under various names including Graffunder-Nagle and Associates.

### ***Recommendation***

The Miller House, built in 1953, is an intact example of the work of Minneapolis architect Carl Graffunder. It is also the home of Winston and Mary Miller who are potentially important to the history of Red Wing. The house meets National Register integrity requirements and could be eligible if found to be significantly associated with an important event or broad pattern (Criterion A), or an important person (Criterion B), or found to be architecturally significant (Criterion C). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

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BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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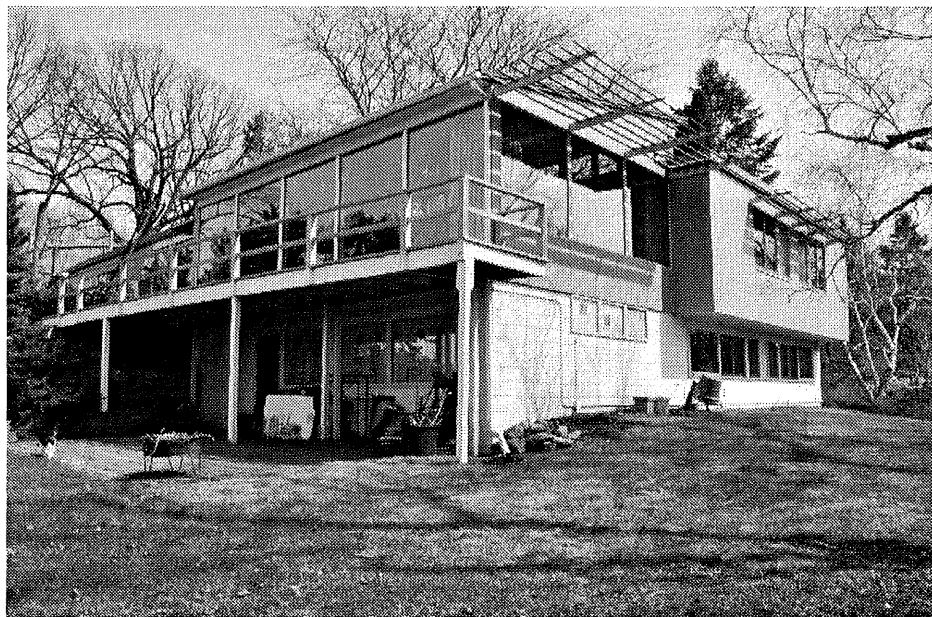


Fig. 282. 521 Hill St. Miller House, designed by Carl Graffunder; north and west elevations; the north elevation faces the river (facing SE)



Fig. 283. 521 Hill St. Miller House, main (south) facade (facing N)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1380 230 Ikata Dr**

**Hist Name:** **Red Wing Sewage Pumping Station**

**Built:** 1960

**NR Status:** Noncontributing to Red Wing Mall Historic District

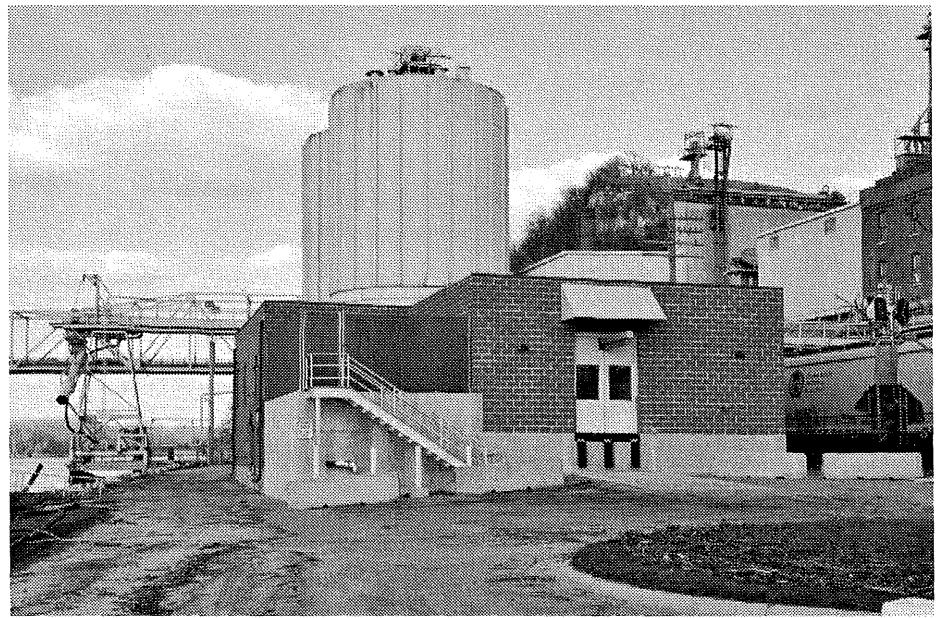
**HPC Status:** In Historic Mall District

This sewage pumping station is located on the Mississippi riverbank at the northern end of Potter Street and the eastern end of Ikata Drive. It is a one-story, flat-roofed building built in 1960 and faced with red-brown brick. It has an addition built sometime after 1971.

According to Van Erem, this pumping station provides a first screening of sanitary and stormwater sewage and then pumps the sewage on to the Municipal Wastewater Treatment Plant located on the northern side of Barn Bluff at 1020 E. 5th Street (Van Erem "Red Wing Main Sewage Pumping Station" 2010).

The boundaries of the National Register-listed Red Wing Mall Historic District appear to go through the middle of this building. (Perhaps the building was outside of the district and was expanded westward into the district.) Because the facility was built in 1960, which is outside of the district's period of significance, it is Noncontributing to the district. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The sewage pumping station stands within the boundaries of the local Historic Mall District, a historic district designated by the City. (See Map 3.)



**Fig. 284. 230 Ikata Dr. Red Wing Sewage Pumping Station (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1383 810 Levee Rd**

**Hist Name:** Burdick Grain Co. Terminal Elevator

**Other Name:** Red Wing Grain Company

**Built:** 1955

**NR Status:** Need More Information

**HPC Status:**

The Burdick Grain Company Terminal Elevator is located on the bank of the Mississippi River near the intersection of Levee Road and Fulton Street. The elevator is located on the northern side of both Levee Road and the former Milwaukee Road railroad tracks (now the Soo Line). East and west of the principal elevator structures are bituminous-paved parking areas.

This site overlaps another inventoried property, the Red Wing Harbor and Levee (Levee Road; GD-RWC-1424; see Map 7). (See that property.) The wharf on the riverbank north of the elevator is considered part of both the Burdick facility and the Red Wing Harbor and Levee for the purposes of this cultural resources inventory.

The former Burdick property contains parts of two railroad track spurs. The spurs were inventoried separately by 106 Group in 2010 and given an inventory number, GD-RWC-1384, that is different from that of the elevator itself. Gemini Research recommends that separating the spurs (which are on Burdick property) from the elevator is confusing and that the -1384 inventory number be retired and the spurs considered a feature within the elevator property, just as any other detached feature such as a scale house or grain bin would be. It is recommended that the part of each spur that is located on railroad right-of-way should be considered part of the railroad.

The Burdick facility was built on a preexisting riverbank projection that was reinforced and enlarged with fill. The grain company property does not extend to the western edge of this projection; the western edge is city-owned land on the eastern side of Vogel Harbor.

North of the elevator structure is a wharf for berthing tugs and filling barges. The eastern side of the wharf area is riprapped with boulders. The northern side is retained with steel sheet piling. Along the edge of the wharf are about 10 steel mooring bollards aligned east and west, parallel with the sheet piling.

The elevator complex's principal structure was built in 1955 of poured concrete. It is largely intact. The workhouse or headhouse (about 14 stories tall) has a rectangular footprint and small, widely-spaced rectangular window openings. Extending east from the workhouse is a set of 12 circular bins or shafts topped by a gallery. Extending west from the workhouse is a set of 6 circular bins (taller than the eastern set), also topped by a gallery. (Note that the inventory form prepared by 106 Group for this property (Van Erem 2010) has east and west mixed up.) At the base of the workhouse is a one-story, flat-roofed concrete block receiving shed with three drive-through bays with large double-leaf wooden doors. Rail spurs originally passed through the bays so boxcars could be loaded and unloaded. A fiberglass extension has been built onto the eastern side of the northern bay. A steel leg extends down to the bays from the southern side of the workhouse. A steel conveyor or marine leg for loading barges extends from the northern side of the workhouse down to the wharf.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

Two massive circular steel grain bins have been added west of the 1955 structure. The eastern bin (closest to the workhouse) was added circa 1960 and is made of smooth welded sheets of steel. The western bin, perhaps built circa 1990, is made of riveted corrugated sheets. Steel conveyors extend from the workhouse to the bins.

A small detached circa 2000 woodframe office building has been built near the western edge of the property. It has a gabled roof and vinyl siding.

### ***Historical Background***

Burdick Grain Company's Red Wing River Terminal was built during the 1955 construction season, with a grand opening on October 1 of that year. The elevator was built by Burdick Grain Company in partnership with Central Soya.

Burdick Grain Company was headquartered in Minneapolis. Burdick's founder, Allan L. Burdick, Sr., along with three partners, purchased Red Wing's Minnesota Malting Company in 1940. (Minnesota Malting was located near the present-day intersection of Old West Main Street and Clay Street, several blocks west of Burdick Grain.) In addition to buying barley for malting, Burdick Grain was buying large amounts of corn and soybeans in southern Minnesota. Soybeans were just emerging as an important Minnesota crop at the time. The company built this facility to ship Minnesota crops to New Orleans for international export (Burdick 2000). Burdick Grain Company was acquired by ConAgra Foods in the late 1970s.

**Soybeans.** Soybeans were uncommon in Minnesota before 1930 and did not become a major crop until after World War II. In 1946 when the University of Minnesota began its first soybean breeding program, there were only 450,000 acres of soybeans planted in the state, compared to 5.8 million acres planted in the mid-1980s. Soybean oil is a valuable commodity worldwide, and soybean meal is an excellent feed crop. Post-World War II soybean production in Minnesota increased along with the state's livestock industry.

The rise of soybeans prompted an historic shift in Minnesota farm practices as growers moved from a three-crop rotation of corn, small grains, and legume hay to a two-crop rotation of corn and soybeans – a shift that also required an unprecedented increase in the use of chemical fertilizers. Nationwide, soybean acreage increased tenfold between 1941 and 1977. In Minnesota, soybean production increased 224 percent between 1958 and 1982 (Granger and Kelly 2005: 9.15-9.16).

**Mississippi River Nine-Foot Channel.** In addition to being associated with the rise of Minnesota soybean production, the Burdick Grain Company Terminal Elevator is associated with completion of the Mississippi River Nine-Foot Navigation Channel and with the subsequent revitalization of Mississippi River freight traffic and its positive effect on Red Wing. (See the Mississippi River Nine-Foot Channel, Red Wing Segment; GD-RWC-1452.)

### ***Recommendation***

The Burdick Grain Company Terminal Elevator, built in 1955, retains sufficient historic physical integrity to meet National Register integrity requirements. The property was inventoried in 2010 by 106 Group, which recommended the facility was ineligible for the National Register because it "was constructed well after the 19th century dominance of the wheat industry in Red Wing and after the city's prime period of industrial growth, which concluded in 1945" (Van Erem

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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"Central Grain Co./Continental Grain Co." 2010). 106 Group researchers did not identify the facility's year of construction, or the original owner, or the facility's association with the emergence of soybeans as a leading Minnesota crop that helped transform state agriculture. 106 Group also did not identify the terminal elevator's association with the completion of the Mississippi River Nine-Foot Channel, the resulting revitalization of river commerce, and Red Wing's postwar economic development. It is possible that the Burdick Elevator is significantly associated with these broad patterns, thereby meeting National Register Criterion A. It is not known whether the elevator represents a significant property type (National Register Criterion C). Minnesota has a statewide grain elevator historic context, prepared by Bob Frame in 1989 for the State Historic Preservation Office, but the historic context discussion ends with 1945 and has not been updated for post-1945 structures. Gemini Research recommends further research and analysis is needed before National Register eligibility can be determined.

It is recommended that the track spurs (GD-RWC-1384) on the Burdick property be considered part of the Burdick site (GD-RWC-1383) and not be evaluated separately. (The part of the spurs on railroad right-of-way should be considered part of the railroad.)

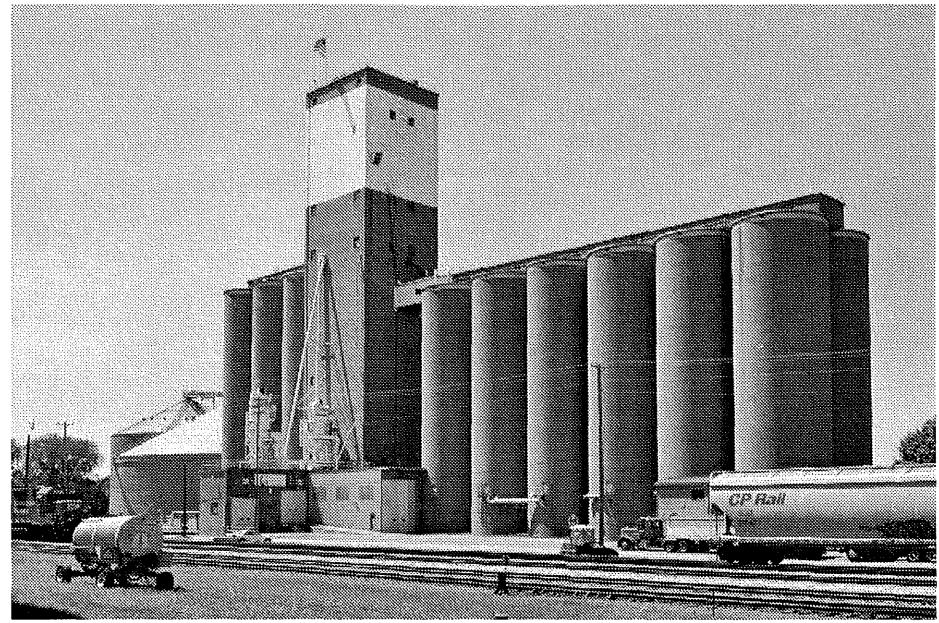


**Fig. 285. 810 Levee Rd.** Burdick Grain Co. Terminal Elevator, taken from College Hill (facing NE)

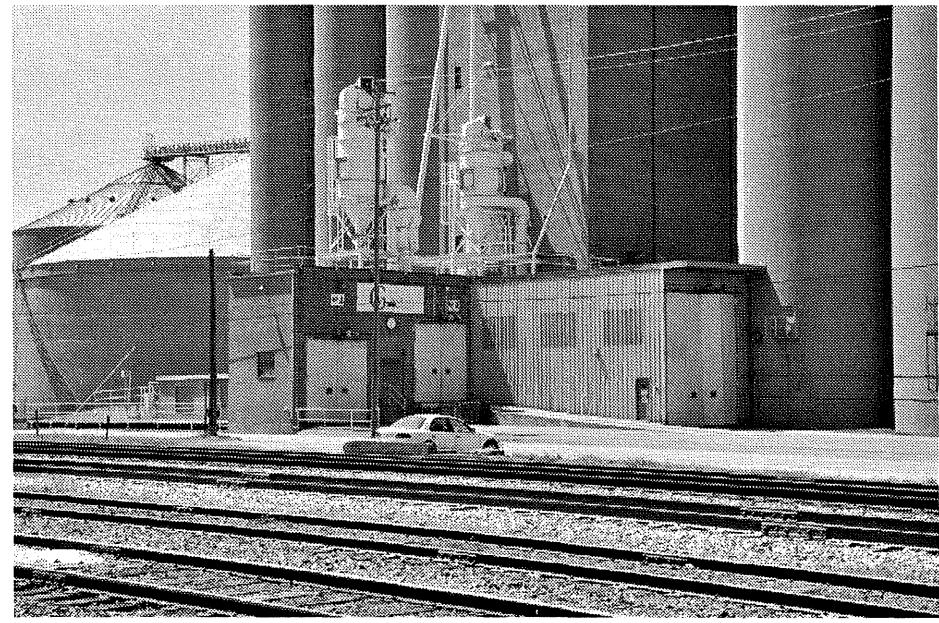
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 286. 810 Levee Rd.** Burdick Grain Co. Terminal Elevator, south elevation (facing NW)



**Fig. 287. 810 Levee Rd.** Burdick Grain Co. Terminal Elevator, receiving shed with drive-through bays (facing NW)

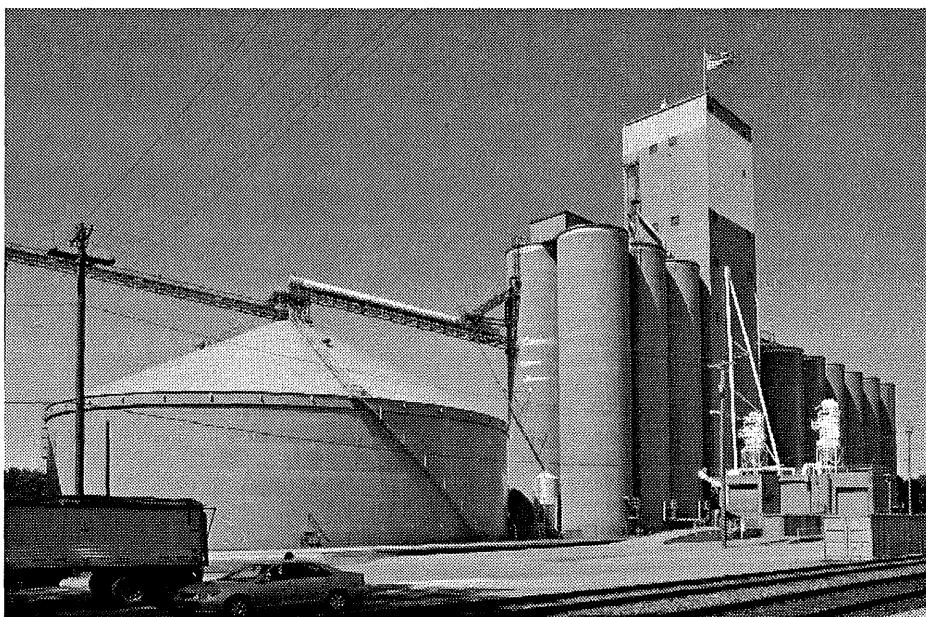
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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 288. 810 Levee Rd.** Burdick Grain Co. Terminal Elevator, east end of the elevator with nearby grain barges (facing SW)



**Fig. 289. 810 Levee Rd.** Burdick Grain Co. Terminal Elevator, easternmost of two circular bins west of the elevator; south side of the elevator (facing NE)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 290. 810 Levee Rd.** Burdick Grain Co. Terminal Elevator, westernmost bin west of the elevator (facing NE)

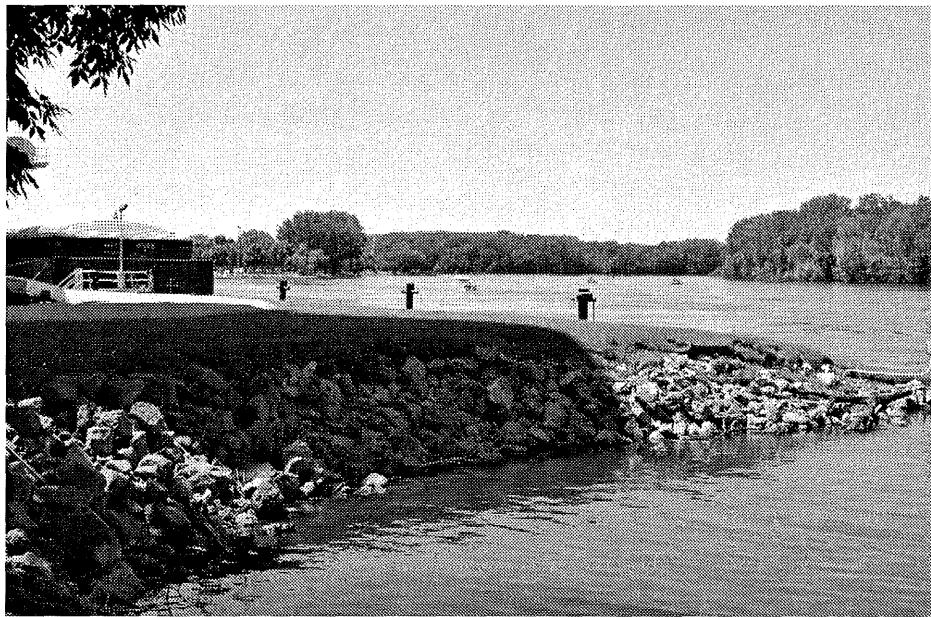


**Fig. 291. 810 Levee Rd.** Burdick Grain Co. Terminal Elevator, track spurs on south edge of the property (facing NE)

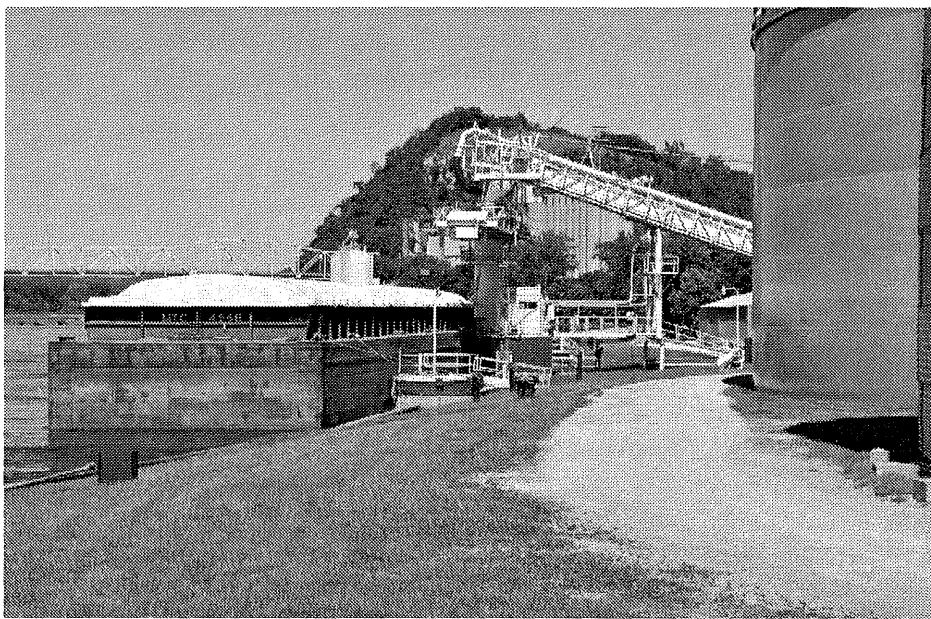
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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 292. 810 Levee Rd.** Burdick Grain Co. Terminal Elevator, wharf north of elevator; note the steel mooring posts mounted on the north edge (facing W)



**Fig. 293. 810 Levee Rd.** Burdick Grain Co. Terminal Elevator, barge at the terminal's wharf north of the elevator (facing NE)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1384 810 Levee Rd**

**Hist Name:** CMSTPP RR Spur at Burdick Grain Co.  
**Other Name:** Railroad Spur at Red Wing Grain  
**Built:** ca. 1955  
**NR Status:** Need More Information  
**HPC Status:**

See Burdick Grain Company Terminal Elevator above (GD-RWC-1383).

**GD-RWC-281 ca. 1300 Levee Rd**

**Hist Name:** Red Wing Yacht Club  
**Built:** 1911  
**NR Status:** Need More Information  
**HPC Status:**

The Red Wing Yacht Club is located in Lower or Vogel Harbor (also called "the Bay") which has been its home since 1911. This site overlaps another inventoried property, the Red Wing Harbor and Levee (Levee Road; GD-RWC-1424; see Map 7); see that property.

Lower or Vogel Harbor occupies an area of about four square blocks. The harbor is bounded on the west by the entrance road to Bay Point Park, on the north by Bay Point Park, and on the east by the former Burdick Grain Company terminal elevator (now Red Wing Grain at 810 Levee Rd., GD-RWC-1383). Much of the harbor is riprapped with dumped rock. Along the southeastern edge is a battered poured concrete retaining wall (ca. 1930s). Along the northern edge is riprap built of dry-laid courses of salvaged concrete.

A bituminous parking curves along the southern and eastern edges of the harbor. Tall deciduous shrubs separate the parking area from the former Burdick Grain Company (now Red Wing Grain Company) office building, wharf, elevators, and bins next door to the east.

The Yacht Club piers and boathouses fill most of the harbor. Two or three piers in the northeastern part of the harbor are those of the Red Wing Marina, a private business.

Extending north from the southern shore of the bay are six closely-spaced steel booms or piers (circa 1990). The six principal booms are lined with about 200 gable-roofed boathouses. Both the booms and boathouses are held in place by steel gin poles (pipes or piles) buried in the mud. Most of the boathouses float on plastic barrels and have corrugated metal roofs and walls. Many of the materials appear to date from the 1960s through circa 2000. Many of the boathouses have modern fiberglass or plastic roll-up garage doors. Some have early sliding doors or bifold doors.

Yacht Club piers were originally in a different configuration, but were extending north from the southern edge of the harbor by 1949. A 1987 description of Yacht Club facilities indicates the booms or piers were originally wooden. The current booms are steel and evidently date from circa 1990 ("Yacht Club Officers" 1987). Floatation barrels were originally wooden, then metal, and after 1980, increasingly plastic. The gin poles were originally ash tree trunks. In the 1980s they began to be replaced by steel well pipe. The 1987 source indicates, "Today's houses are

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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becoming larger and more like home. Some houses are double wide, housing two boats. Many are carpeted, have paneled walls, and are furnished with second-hand furniture. The live boxes for the day's catch have been replaced with refrigerators. Some have gone so far as to put in electric garage door openers. Most of the houses now have electric winches installed to lift their boats out of the water when not in use. . . . Today a newer house can bring 10 to 12 thousand dollars" (Letter to Jim 1987).

### ***Historical Background***

According to local historian Madeline Angell, Red Wing had "a very active boat club" and sculling crew by 1875 (Angell 1977: 146).

The Red Wing Yacht Club was organized in 1903 with 64 members and A. F. Anderson as the first commodore. Club boats were moored near the foot of Broad Street. The club began to occupy present-day Vogel Harbor in 1911, leasing the space from the City of Red Wing. The club incorporated in 1933. Gates were installed on the booms in 1937. "At this same time a wall was built at the edge of the bay and lights were installed" (Angell 1977: 328). The harbor was improved in 1945 (Angell 1977: 346). In 1987 the club had 275 members and 215 boathouses, and was planning to build six new steel booms ("Yacht Club Officers" 1987).

In 1999 the harbor was named for Arnold F. Vogel, a Red Wing attorney and civic leader who was a lifelong boating enthusiast and Yacht Club commodore beginning in the 1930s.

### ***Recommendation***

The Red Wing Yacht Club was inventoried in 2010 by 106 Group, which recommended the facility was eligible for the National Register under Criterion A (broad patterns of history) and Criterion C (architecture). The consultants write that the club "is significant within the areas of entertainment/recreation and architecture for its representation of the design and construction of a unique vernacular building type, the wet boathouse," and that the property "is also significant as one of the few surviving vernacular boathouse facilities in the state of Minnesota." 106 Group gives the property a period of significance of 1911 to circa 1964 (Van Erem "Red Wing Yacht Club" 2010).

In its analysis of the property's historic integrity, 106 Group also writes that the Yacht Club "retains good integrity of location, setting, feeling, and association. Although the arrangement of docks and number of boathouses have changed over time, these changes appear to have occurred during the period of significance [defined by 106 Group as 1911 to circa 1964], therefore the property retains its integrity of design, materials, and workmanship. The late 20th century office building slightly affects the property's integrity of design" (Van Erem "Red Wing Yacht Club" 2010). (Note: the building identified by the 106 Group as the Yacht Club's "late 20th century office building" is the office of the Red Wing Grain Company next door and not part of the Yacht Club.)

Gemini Research questions whether the property has sufficient historic physical integrity to be eligible for the National Register and recommends further analysis. Historical sources such as the 1987 document quoted above describe widespread post-1964 changes including wooden and steel barrels replaced with plastic barrels, wooden gin poles replaced with steel poles, wooden booms or piers replaced with steel piers, and materials used to form the boathouses replaced with more modern materials. The 1987 document also indicates many boathouses were being

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

enlarged or replaced in the 1980s, as well as being carpeted, equipped with furniture, and fitted with refrigerators, electric winches, and electric garage door openers. The post-1964 changes noted herein encompass almost all of the materials that comprise the Yacht Club.

Gemini recommends further research and analysis is needed, particularly to assess historic integrity, before National Register eligibility can be determined.

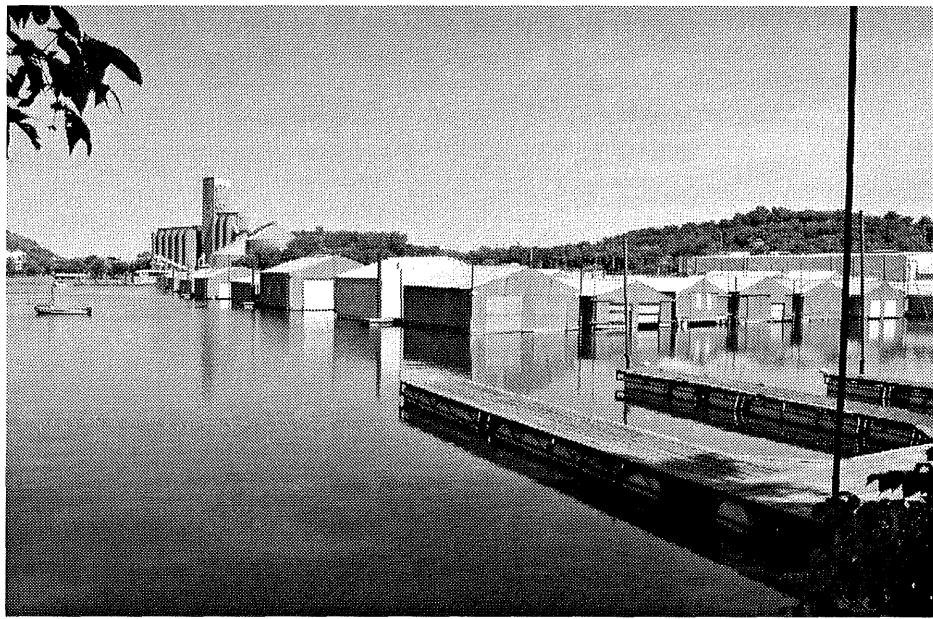


**Fig. 294. ca. 1300 Levee Rd. Red Wing Yacht Club, boathouses in Lower or Vogel Harbor, taken from Barn Bluff (facing W)**

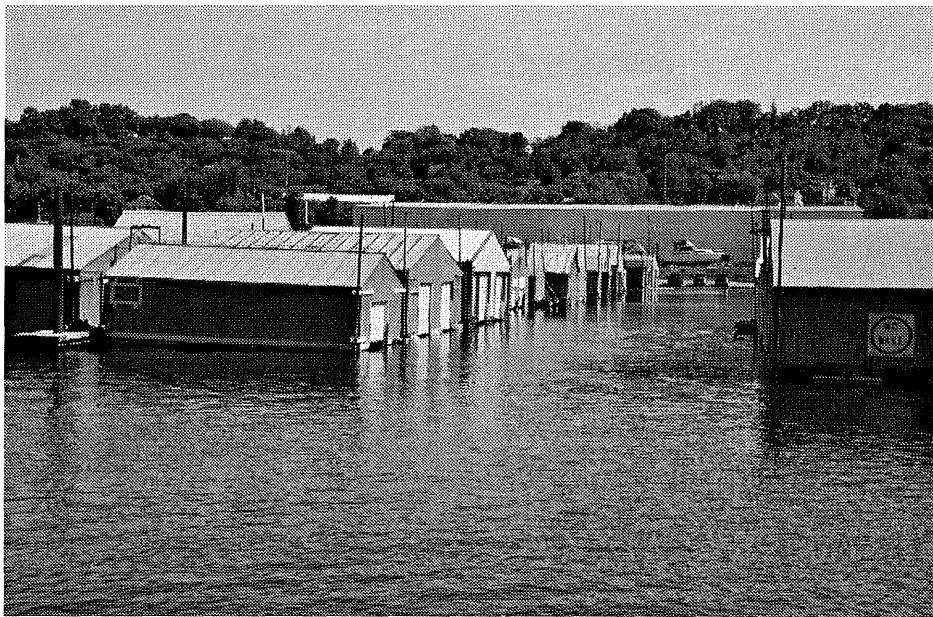
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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 295. ca. 1300 Levee Rd. Red Wing Yacht Club, boathouses from the west side of the harbor (facing E)**

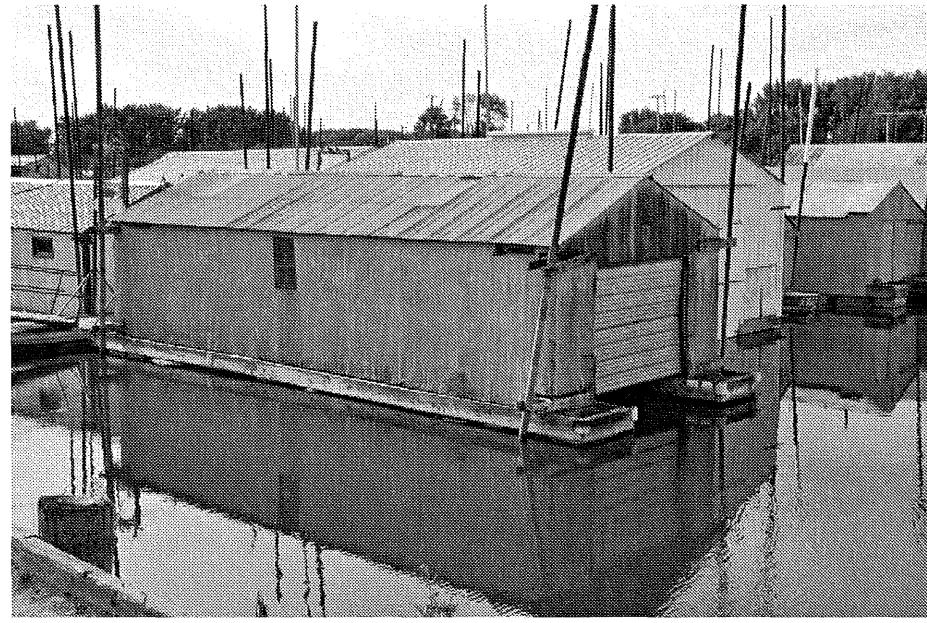


**Fig. 296. ca. 1300 Levee Rd. Red Wing Yacht Club, boathouses (facing SE)**

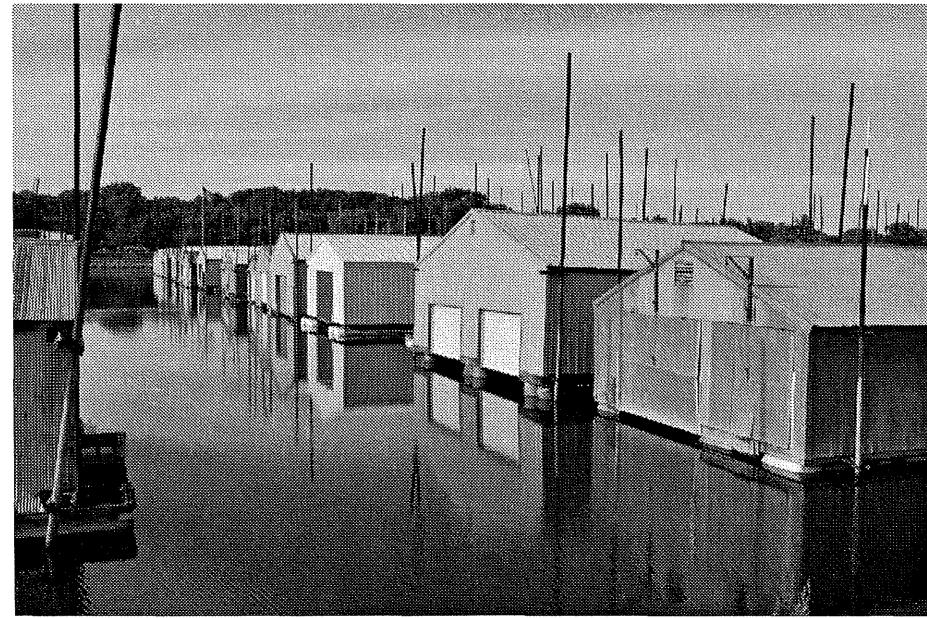
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 297. ca. 1300 Levee Rd.** Red Wing Yacht Club, one of the boathouses with greatest historic integrity (facing NW)



**Fig. 298. ca. 1300 Levee Rd.** Red Wing Yacht Club, a row of boathouses including some that have been expanded, replaced, or otherwise altered (facing NE)

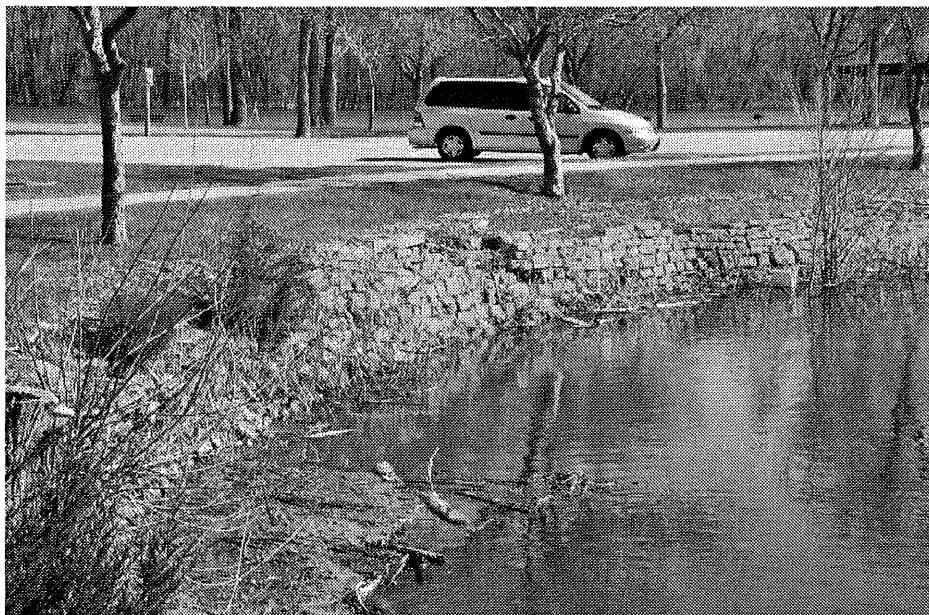
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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 299. ca. 1300 Levee Rd.** Red Wing Yacht Club, poured concrete retaining wall (circa 1930s) on the east edge of Vogel or Lower Harbor (facing NE)



**Fig. 300. ca. 1300 Levee Rd.** Red Wing Yacht Club, retaining wall of dry-laid salvaged concrete on the north edge of Vogel Harbor (facing N)

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## # BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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**GD-RWC-005 401 Levee St**

**Hist Name:** **Red Wing Iron Works**

**Built:** 1874

**NR Status:** Listed

**HPC Status:** In St. James Historic District

Red Wing Iron Works, built in 1874, is located at the southwestern corner of Levee and Bush. (Adjacent to the west is the St. James Hotel's 1978 parking ramp.) This relatively small industrial building faces Levee Street and the Mississippi River to the north. The exterior is faced with red-brown brick and is largely intact. This blacksmith and machinery business was established in 1866 by Benjamin and Daniel Densmore. The building was constructed after the firm's previous building on the same site burned.

Red Wing Iron Works is the city's oldest industrial building. Most surrounding industrial buildings have been razed, leaving the iron works as one of few 19th century industrial structures located near the downtown riverfront. Red Wing Iron Works was individually listed on the National Register in 1979. It was listed under National Register Criterion A (broad patterns of history) in the area of Industry. The level of significance is Local.

The building also stands within the local St. James Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 301. 401 Levee St. Red Wing Iron Works (facing S)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1373 ca. 416 Levee St**

**Hist Name:** Chic, Milw & St Paul Pump House

**Built:** 1905

**NR Status:** Contributing to

Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

This intact railroad pump house is located on the eastern side of Broad Street. It stands on the northern side of the Chicago, Milwaukee, St. Paul, and Pacific (now Soo Line) tracks, while the matching passenger depot stands across the tracks to the south. The pump house is a small hip-roofed building constructed in 1905. It was designed by architect J. M. Nettenstrom. Both pump house and depot are faced with gray-brown brick with quoins at the corners. The railroad and depot are still in use but the pump house is evidently vacant.

The passenger depot at 418-420 Levee St. (GD-RWC-106) and the railroad tracks themselves (GD-RWC-1371) were inventoried separately. See those properties for historical background. The pump house and depot were built while the company was known as the Chicago, Milwaukee, and St. Paul (the railroad's name from 1874-1926).

For National Register eligibility and Red Wing Heritage Preservation Commission status, see the passenger depot at 418-420 Levee St. (GD-RWC-106).



Fig. 302. ca. 416 Levee St. Chic, Milw & St Paul Pump House (facing S)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-106 418-420 Levee St**

**Hist Name:** Chic, Milw & St Paul Passenger Depot

**Other Name:** Amtrak Depot-Visitors Bureau

**Built:** 1905

**NR Status:** Contributing to

Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

The Chicago, Milwaukee, and St. Paul Railroad Passenger Depot, built in 1905, is located at the northeastern corner of Levee Street and Broad Street. The tracks, which are still in use, are north of the depot. The passenger depot is an intact, ornate one-story building faced with two contrasting shades of brown-gray brick on a smooth limestone base. It has an intersecting gabled roof with decorated parapet walls, metal cornices, and deep eaves supported by heavy timber braces. There is a gable-roofed waiting-canopy on the track side and a hip-roofed baggage wing on the western end. Window and door openings are segmental-arched. A brick platform (that appears to be historic) surrounds the building. South of the building is a bituminous parking area.

The nearby pump house (ca. 416 Levee St.; GD-RWC-1373) and the railroad tracks themselves (now the Soo Line; GD-RWC-1371) were inventoried separately. (See those properties.)

***Historical Background***

This passenger depot was designed by architect J. M. Nettenstrom and built in 1905 while the railroad was owned by the Chicago, Milwaukee, and St. Paul (which owned the line from 1874-1926). In 1926 the line became the Chicago, Milwaukee, St. Paul, and Pacific (CMSTPP), nicknamed the Milwaukee Road.

The depot was rehabilitated in 1991 in a collaboration between the City and the Red Wing Area Fund. The project was one of several pivotal adaptive reuse projects in Red Wing's successful historic preservation movement. The depot is still used for Amtrak passenger service and also houses the Red Wing Arts Association and the Red Wing Visitors Bureau.

For more historical background, see the railroad itself (now the Soo Line; GD-RWC-1371).

***Recommendation***

The Minnesota State Historic Preservation Office (MnSHPO) has already determined that this railroad line between the Twin Cities and the point south of Winona where it crosses the Mississippi River is eligible for the National Register.

The railroad line meets the National Register eligibility requirements established in a statewide historic context document prepared in 2007 by MnDOT consultants in cooperation with the MnSHPO (Schmidt et al. MPDF 2007). In particular, the line meets the historic context's Requirement 3 under National Register Criterion A (broad patterns of history), which states that a railroad line is eligible if it "was an influential component of the state's railroad network, or it made important early connections within the network or with other modes of transportation. . . [An] example of a significant railroad corridor historic district would be an early railroad

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## **BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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corridor connection between the Twin Cities and Duluth or Chicago" (Schmidt et al. MPDF 2007: F.195).

Following the guidance of the historic context document, Gemini Research recommends that the CMSTPP Railroad in Red Wing be treated as a railroad corridor historic district, defined by the context study as a "substantive concentration of railroad-related buildings and structures that were built and operated within a railroad right-of-way in Minnesota between the years 1862 and 1956" (Schmidt et al. MPDF 2007: F.194). This would include resources such as railroad right-of-way land, main-line tracks, track sidings, equipment for switching and signalling, the passenger depot, the pump house, and bridges.

The proposed CMSTPP Railroad Corridor Historic District in Red Wing retains sufficient historic physical integrity to be eligible for the National Register. The proposed historic district meets National Register Criterion A in the area of Transportation. The recommended period of significance is 1870-1956. The level of significance is State. It is recommended that the boundaries of the proposed district encompass the historic railroad right-of-way within the city of Red Wing, including tracks, sidings, bridges, and the former passenger depot and pump house. (See Map 9). Areas or structures that have lost physical integrity should be considered Noncontributing to the historic district or, if appropriately situated, should be excluded from the historic district boundaries. Segments of rail spurs on private property should probably be excluded from the historic district, but further research and analysis is needed.

The segment of the CMSTPP Railroad between about Dakota and Bush Streets is also a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

A longer segment of the railroad – between about Dakota and Bluff Streets – is also located within the local Historic Mall District, a historic district designated by the City. (See Map 3.)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

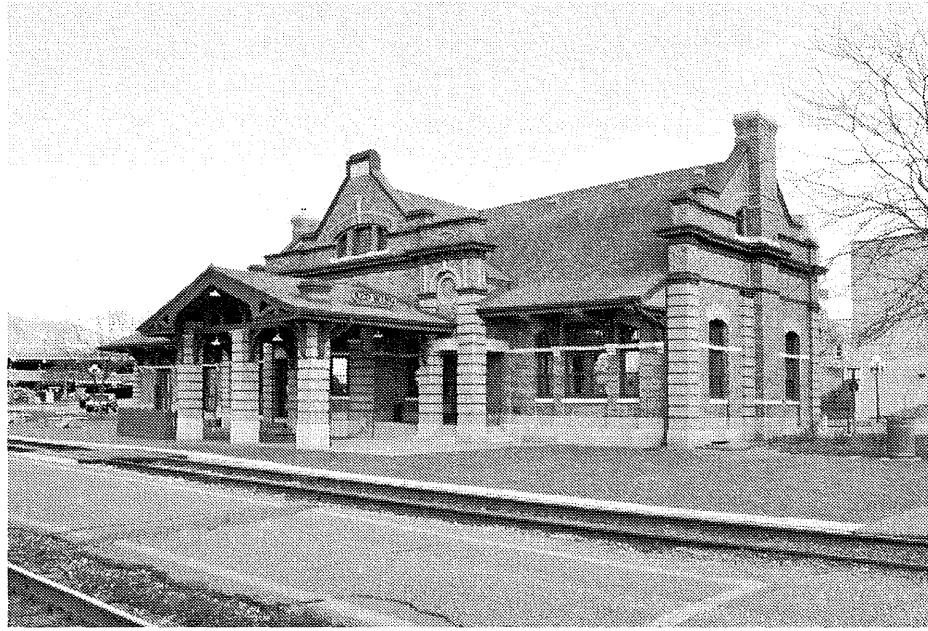


Fig. 303. 418-420 Levee St. Chic, Milw & St Paul Passenger Depot (facing W)



Fig. 304. 418-420 Levee St. Chic, Milw & St Paul Passenger Depot (facing S)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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### GD-RWC-111 432 Levee St

**Hist Name:** Levee Park

**Built:** 1904-1906

**NR Status:** Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

Levee Park is located along the downtown riverfront between Levee Street and the water's edge. It is approximately three blocks long, extending from Broad Street east to Potter Street.

Levee Park overlaps another inventoried property, the Red Wing Harbor and Levee (Levee Road; GD-RWC-1424; see Map 7). The levee wall or wharf on the riverbank is considered part of both Levee Park and the Red Wing Harbor and Levee for the purposes of this cultural resources inventory.

Levee Park is a long rectangular parcel with an informal design. A fairly recent wrought iron fence supported by brick-veneered piers separates the park from the railroad tracks to the south. Down the spine of the park is a fairly wide bituminous path. Most of the park's curving footpaths are paved with stamped concrete. Vegetation consists of mowed turf, scattered deciduous trees (e.g., maples, green ash, and cottonwood), and spirea and juniper shrubs. All standing structures appear to have been built after the 1980s. They include several fixed wooden benches, a 1990 marker commemorating the sinking of the Sea Wing steamship, a circa 1995 plastic or fiberglass park sign with a curved top, a circa 2000 painted steel kiosk, a sculpture entitled "The Jester" by Kimber Fiebiger which was installed in 2000, and a marker entitled "Grand Excursion 2004."

#### ***Historical Background***

Levee Park was one of the early pivotal projects of the Red Wing Civic League, which was established in 1903. The adjacent Chicago, Milwaukee, and St. Paul Passenger Depot was built at the same time, and the two projects, combined with the League's clean-up of the riverfront, helped create an attractive, welcoming "front door" to the city. Levee Park is one of about 10 important properties in Red Wing that were built and acquired from 1900-1910 as part of a significant community improvement effort associated with the nationwide "City Beautiful" movement.

The park and the adjacent wharf or levee wall were built in 1904-1906 (Fig. 6). The depot opened in April 1905 and the depot grounds were landscaped with turf and flower beds. In the spring of 1906 Levee Park was planted with trees, flowering shrubs, flowers, turf, and a hedge separating the park from the railroad tracks.

#### ***Recommendation***

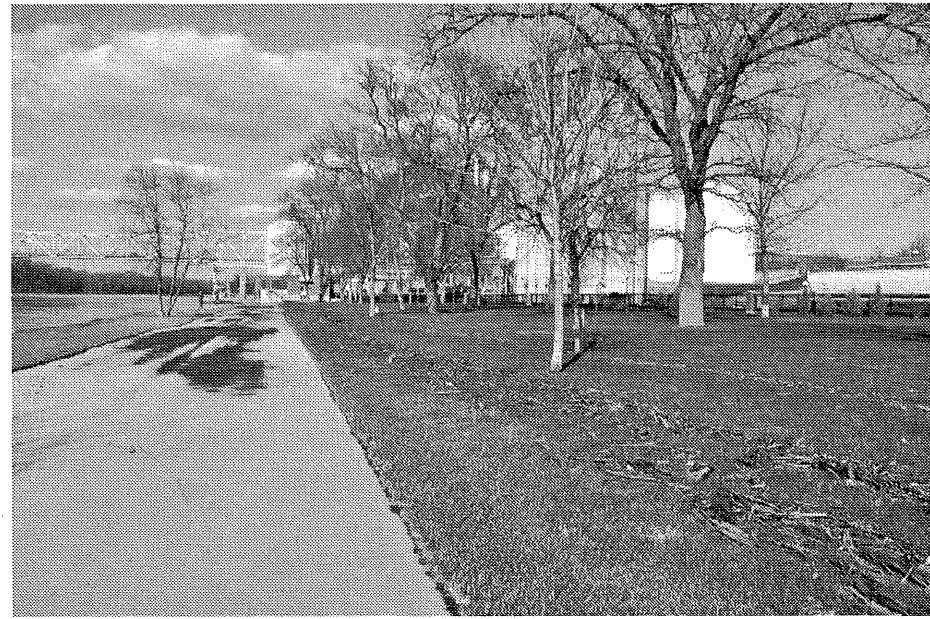
Levee Park is a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

Levee Park is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 305. 432 Levee St.** Levee Park, with Bridge 9040 in the distance (facing NE)



**Fig. 306. 432 Levee St.** Levee Park (facing SW)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 307. 432 Levee St.** Levee Park, with recent fence separating the park from the railroad (facing NW)

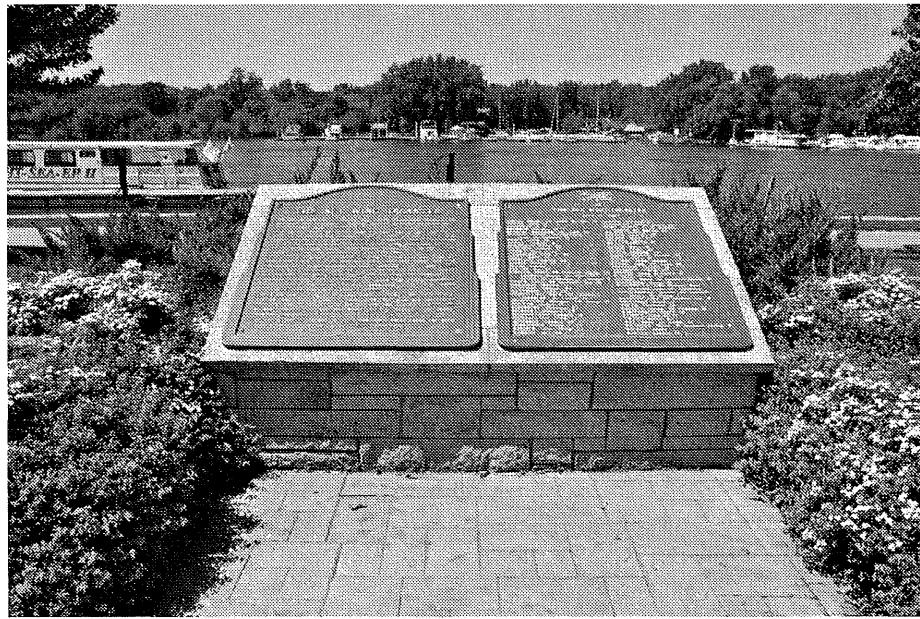


**Fig. 308. 432 Levee St.** Levee Park, painted steel kiosk (circa 2000) (facing N)

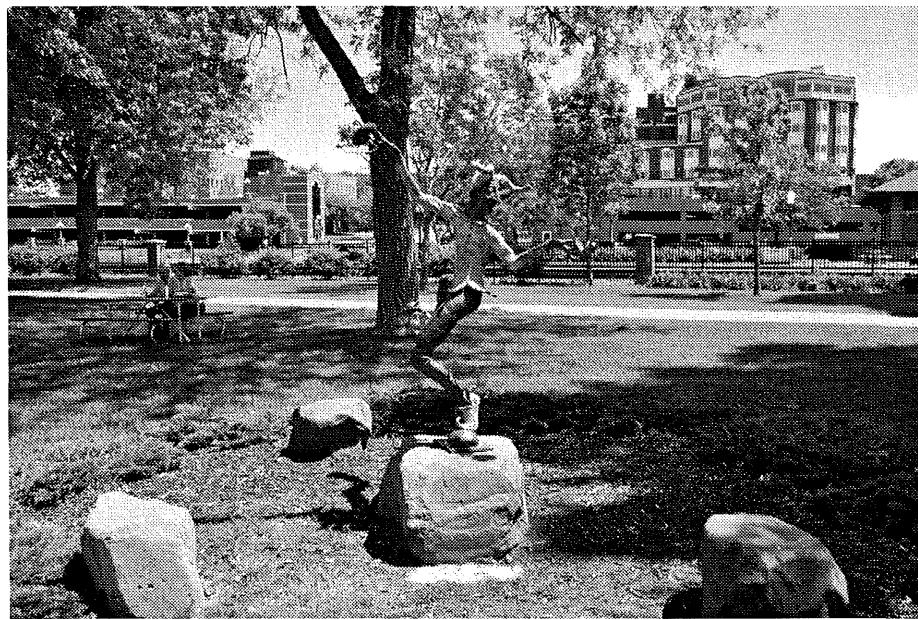
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 309. 432 Levee St.** Levee Park, 1990 marker interpreting the Sea Wing disaster (facing N)



**Fig. 310. 432 Levee St.** Levee Park, "The Jester" by Kimber Fiebiger (installed 2000) (facing S)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-019 129 Main St. W****Hist Name: Red Wing Shoe Company****Built: 1905-1954****NR Status: Need More Information****HPC Status:**

The Red Wing Shoe Company was built beginning in 1905 to serve as the company's factory and office. It is located at the southeastern corner of Main and Potter Streets. Historic photos suggest that all exterior portions of the plant are basically intact. Major plant components include:

*Plant and Office* (built 1905-1908). The oldest portion of the complex is a three-story building, about 60' x 150', faced with reddish-brown brick with a rockfaced limestone basement level. The first story was built in 1905 and the second and third stories added in 1908. There is a mid-20th-century horizontal sign reading "Red Wing Shoe Co." above the arched entrance.

*Raw Materials Warehouse* (built ca. 1923). The next part of the complex to be built is a one-story brick warehouse constructed circa 1923 to house leather and other raw materials. It is located across the alley to the south of the main plant. It measures about 50' x 110'.

*Warehouse and Shipping* (built 1928). In 1928 the company added a 120' x 150' warehouse and shipping facility to the eastern side of the main building. The warehouse is reportedly an early example of a steel-framed prefabricated building. The warehouse has a pre-1943 rear addition made of hollow clay tile.

*Factory Expansion* (built 1954). The final portion of the complex is a one-story L-shaped factory expansion built in 1954 south and east of the other structures. It is faced with hollow clay tile with poured concrete trim. It has long horizontal bands of windows on the western and southern facades.

***Historical Background***

Red Wing Shoe Company was founded in 1905 by Charles H. Beckman and other local investors. The factory was built in 1905 on this site at Main and Potter. The second and third stories were added in 1908.

In 1914, after the company was led by several earlier managers, J. R. Sweasy became assistant superintendent. He then became superintendent, and in 1918, general manager. Sweasy ran the company "almost single-handedly" from 1918 to his death in 1949 (Marvin and Vrooman 1986).

Red Wing Shoes became well known for making high-quality shoes for farmers, tradesmen, laborers, and U.S. soldiers. It was one of the largest employers in Red Wing.

William D. Sweasy ("Bill Sr."), who began working at the factory at age 15, replaced his father as president in 1949. In 1972 Sweasy moved to board chair and Arlo "Ole" Jensen, who had been with the company since 1955, became president. In 1985 a third-generation member of the Sweasy family, William J. Sweasy ("Bill Jr."), became president.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

The company built a second plant in Red Wing's Industrial Park in 1959-1969. (That facility has been subsequently expanded.) In 1970 the company moved its headquarters office from the 1905-1908 plant building to the former Medical Block Clinic at 419 Bush Street (see GD-RWC-1417). In 1988 the company moved its headquarters office from 419 Bush to a set of Main Street commercial buildings which it rehabilitated and named Riverfront Centre (see buildings at 302-322 Main St.). In 2009 the company built a retail store and museum across the street from Riverfront Centre at 315 W. Main (GD-RWC-1426). Red Wing Shoes vacated the original plant at Main and Potter fairly recently.

### ***Recommendation***

This facility is the original plant and headquarters of the Red Wing Shoe Company, established in 1905. The plant served the company until it was recently vacated and is particularly associated with company development and growth through the 1960s. The Red Wing Shoe Company has historically been one of Red Wing's largest employers. The property appears to meet National Register integrity requirements and may be eligible under Criterion A (broad patterns of history) or Criterion B (important person). Gemini Research recommends that the property merits and requires further research and evaluation to determine its National Register eligibility.

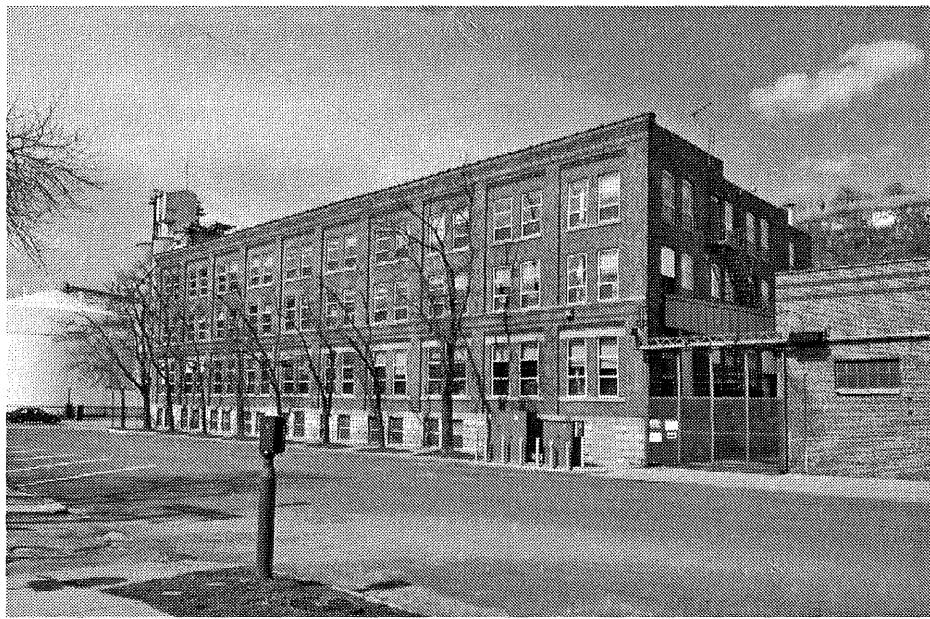


**Fig. 311. 129 Main St. W. Red Wing Shoe Company, original plant and office (facing S)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 312. 129 Main St. W.** Red Wing Shoe Company, Potter Street side of original plant and office (facing N)



**Fig. 313. 129 Main St. W.** Red Wing Shoe Company, original plant and office (facing S)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 314. 129 Main St. W.** Red Wing Shoe Company, 1923 raw materials warehouse (facing NE)



**Fig. 315. 129 Main St. W.** Red Wing Shoe Company, 1928 warehouse and shipping department (facing S)

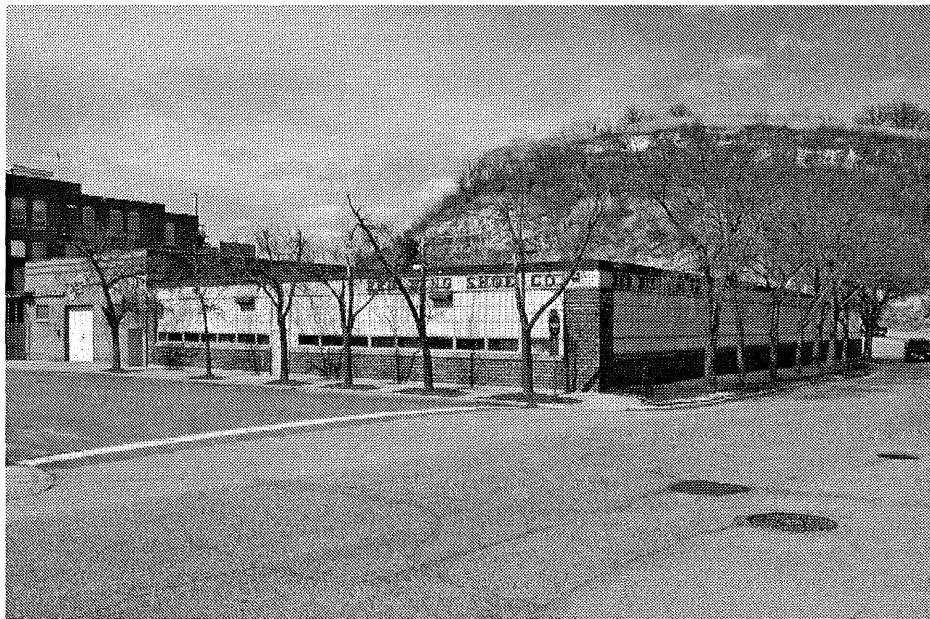
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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 316. 129 Main St. W.** Red Wing Shoe Company, 1928 warehouse and shipping department (facing S)



**Fig. 317. 129 Main St. W.** Red Wing Shoe Company, 1954 factory expansion (facing N)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1425 ca. 205 Main St. W**

**Hist Name:** Behren's Supply Co. Annex

**Built:** ca. 1994

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This building was constructed circa 1995 by Behren's Auto Supply to serve as an annex to their business next door to the west at 207-217 W. Main St. (see GD-RWC-299, the former Red Wing Creamery). The main facade is faced with red-brown brick with cast concrete or cast stone trim. The eastern elevation is faced with tinted, textured concrete block.

The building is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of its recent construction date, this building is Noncontributing to the potential district.

The building is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 318. ca. 205 Main St. W. Behren's Supply Co. Annex (facing S)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-299 207-217 Main St. W**

**Hist Name:** Red Wing Creamery

**Other Name:** Behren's Supply Company

**Built:** 1927

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Red Wing Creamery, built in 1927, is a two-story building whose main facade is faced with textured dark brown brick. The facade is punctuated with numerous windows and doors and is divided by shallow buttresses. The dark brick is trimmed with smooth Kasota limestone forming coping, continuous window sills, and buttress caps. The exterior retains essential historic integrity. Behren's Auto Supply recently built an annex on the eastern side of the building at circa 205 W. Main St. (GD-RWC-1425).

The former Red Wing Creamery is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 319. 207-217 Main St. W. Red Wing Creamery, now Behren's Supply (facing E)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-300 223 Main St. W**

**Hist Name:** Kempe Block

**Other Name:** Barrel House

**Built:** 1886

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The main facade of the Kempe Block, built in 1886, is faced with smooth cream-colored brick painted white. At the top is a corbelled brick cornice. The window openings are segmental-arched with limestone window hoods, bracketed sills, and 1/1 sash. The sills have incised carving. The eastern elevation is faced with smooth concrete block toward the front and brown brick near the rear. The altered storefront level has been faced with wood. The property retains essential historic integrity.

The Kempe Block is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 320. 223 Main St. W. Kempe Block (facing S)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-301 301 Main St. W**

**Hist Name:** **Sterling's Brick Block**  
**Other Name:** Ferrin's Furniture (NE part)  
**Built:** 1861  
**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District  
**HPC Status:** In Downtown Historic District

This altered building is located at the southwestern corner of Main and Plum. According to the Red Wing HPC's 1982 downtown survey, the eastern three bays of the portion of Ferrin's that faces Main Street is the historic Sterling's Brick Block. This building has many alterations including stucco covering the exterior, window openings blocked, and storefront-level alterations.

Ferrin's Furniture, established in 1899 as the Ferrin-Carlson Company, is currently owned and operated by fourth-generation members of the Ferrin family.

This building is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of alterations, the building is Noncontributing to the potential district. (Its rehabilitation should be encouraged.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 321. 301 Main St. W.** Sterling's Brick Block, which historically comprised the three bays at the corner (left of the white car) (facing S)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-302 302-306 Main St. W**

**Hist Name:** **Buchholz-Hadler-Moeller Block**

**Other Name:** Riverfront Center-Red Wing Shoe Co. HQ

**Built:** 1884

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Buchholz-Hadler-Moeller Building, built in 1884, is a two-story building faced with red-brown brick. The exterior retains historic integrity. The rectangular window openings have smooth limestone window hoods with incised carving, as well as 1/1 sash. There are similar window openings on the eastern side wall. The three rehabilitated storefronts have a metal storefront cornice, recessed central entrances, cast iron lintels, and wooden bulkheads.

The Red Wing Shoe Company completed renovation of this block in 1988 and moved its corporate offices into the buildings, which were renamed Riverfront Centre.

This building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 322. 302-306 Main St. W. Buchholz-Hadler-Moeller Block (facing W)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-303 303 Main St. W**

**Hist Name:** Sparrell's Block

**Other Name:** Ferrin's Furniture (N part)

**Built:** 1868-1869

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

According to the Red Wing HPC's 1982 downtown survey, this altered building – which consists of the central three bays of the portion of Ferrin's that faces Main Street – is the historic Sparrell's Block. The building has many alterations including stucco covering the exterior, window openings blocked, and storefront-level alterations. It now houses part of Ferrin's Furniture, which dates back to 1899.

This building is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of alterations, the building is Noncontributing to the potential district. (Its rehabilitation should be encouraged.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 323. 303 Main St. W.** Sparrell's Block, which consists of the central three bays of this altered building (facing SE)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-304 305 Main St. W**

**Hist Name:** **Sterling and Co. (W part)**

**Other Name:** Ferrin's Furniture (NW part)

**Built:** 1884

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This altered building, comprised of the western three bays of the portion of Ferrin's that faces Main Street, is the western part of the historic Sterling and Company building. The building has many alterations including stucco covering the exterior, window openings blocked, and storefront-level alterations.

This building is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of alterations, the building is Noncontributing to the potential district. (Its rehabilitation should be encouraged.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 324. 305 Main St. W.** Sterling and Co. (W part), the western (right-hand) three bays of present-day Ferrin's Furniture (facing SE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-305 307-311 Main St. W**

**Hist Name:** J. C. Penney Company

**Other Name:** Sarah's Restaurant

**Built:** 1949

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The J.C. Penney store in Red Wing opened in 1917. The company built this building in 1949. It is a two-story commercial building whose Main Street elevation is faced with tan or cream-colored brick laid in a stacked pattern. The brick is a color typical of that used in mid-century commercial design. The facade was designed to appear somewhat monolithic and to mask the fact that the building has two stories, another typical mid-century design device. The storefront has been remodeled with a mixture of modern materials and a fixed canvas awning.

The property is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because the building dates from outside the potential district's period of significance – defined as 1858-1945 – it is Noncontributing to the district. (See the potential district in Chapter 3; see Map 5.) Despite its Noncontributing status, the former J. C. Penney building is visually and historically an asset to downtown Red Wing.

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 325. 307-311 Main St. W. J. C. Penney Company (facing E)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-306 308 Main St. W**

**Hist Name:** **Day Block**

**Other Name:** Riverfront Center-Red Wing Shoe Co. HQ

**Built:** 1858, 1920

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The John Day Block was built in 1858 and has a largely intact facade that dates from 1920. The storefront level is faced with glazed terra cotta that simulates stone. Tudor Revival detailing includes label molding above the windows and door, leaded glass windows, and a heavy wooden door leaf. The second story has a band of small multipaned double-hung sash, and the third story has 6/1 sash with keystones. There is a metal cornice with dentils at the top of the facade.

Red Wing Shoe Company completed renovation of this block in 1988 and moved its corporate offices into the buildings, now called Riverfront Centre.

The building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 326. 308 Main St. W. Day Block (facing N)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-307 310 Main St. W**

**Hist Name:** **Betcher Block**

**Other Name:** Riverfront Center-Red Wing Shoe Co. HQ

**Built:** 1868

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Betcher Block at 310 Main Street was designed by Red Wing architect Charles V. Booth and built by contractor Robert C. Todd. This three-bay-wide commercial building, built in 1868, is faced with red-brown brick. The building closely resembles its neighbor to the west (GD-RWC-308), but was originally made visually more distinct by a stepped and curved parapet wall that projected above the metal cornice (removed). The building's third-story rounded-arched windows have ornate metal hoods, while the second story's segmental-arched openings have flat stone arches at the top. Beneath a storefront cornice is a storefront area with metal corinthian columns and rounded-arched entrance and display bays.

The Red Wing Shoe Company completed renovation of this block in 1988 and moved its corporate offices into the buildings.

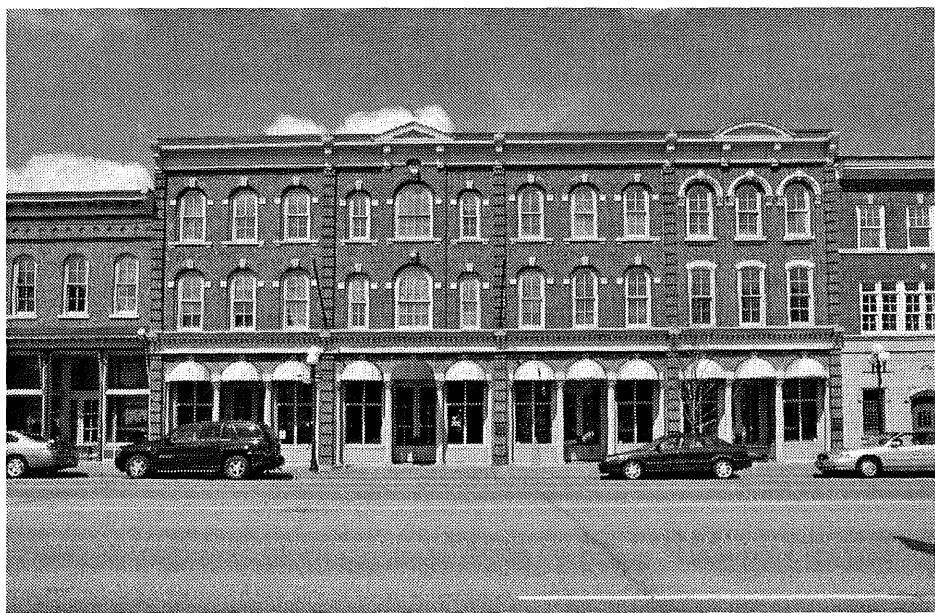
The Betcher Block is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)

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BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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**Fig. 327. 310 Main St. W.** Betcher Block, which consists of the three window bays at right topped by the cornice with curved pediment (facing NW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-308 312-316 Main St. W**

**Hist Name:** **Wilson-Baker Block**

**Other Name:** Riverfront Center-Red Wing Shoe Co. HQ

**Built:** 1868

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Wilson-Baker Block, built in 1868, is nine bays wide and three stories tall. In design it closely resembles its three-bay neighbor to the east (GD-RWC-307). Both are faced with red-brown brick, with quoins at the edges of the facade's principal sections. This building has a metal cornice with a triangular pediment at the center. Originally both buildings had stepped and curved parapets projecting above their metal cornices (removed). The storefront level has a storefront cornice, metal corinthian columns, rounded-arched entrance and display bays, and canvas awnings.

This building was designed by Red Wing architect Charles V. Booth. In 1988 this block of Main Street buildings became the headquarters office of the Red Wing Shoe Company.

The building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 328. 312-316 Main St. W.** Wilson-Baker Block, which is the building in the center of the photo with nine window bays (facing N)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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**GD-RWC-1426 315 Main St. W**

**Hist Name:** Red Wing Shoe Co. Store-Museum

**Built:** 2009

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This recent two-story building is faced with red brick. It has poured concrete or cast stone trim. It was built in 2009 by Red Wing Shoe Company to serve as a retail store and museum.

The building is located within a potential Red Wing Commercial Historic District that is eligible for the National Register (Map 5). Because of its recent date, the building is Noncontributing to the potential district.

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 329. 315 Main St. W. Red Wing Shoe Co. Store-Museum (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-310 318-322 Main St. W**

**Hist Name:** **Simmons-Swanson Block**

**Other Name:** Riverfront Center-Red Wing Shoe Co. HQ

**Built:** 1871

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Simmons-Swanson Block, built in 1871, is a two-story, nine-bay wide commercial building faced with red-brown brick. It has a metal cornice with modillions above a decorative brick cornice. Window openings are rounded-arched with 4/4 sash and smooth limestone sills. The building retains a storefront cornice above three storefronts that have cast iron framing members and recessed entrances.

Red Wing Shoe Company completed renovation of this block in 1988 and moved its corporate offices into the buildings, which were renamed Riverfront Centre.

This is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 330. 318-322 Main St. W. Simmons-Swanson Block (facing N)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-311 319-321 Main St. W**

**Hist Name:** **Smith-McDonald Block**

**Other Name:** Inspired Home & Flower-Excell Financial

**Built:** 1868

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This building, constructed in 1868, is two stories tall and faced with red-brown brick. The nine rounded-arched second-story windows are slightly recessed, each in its own bay. Window openings have smooth limestone sills and 1/1 sash. A cornice made of metal and/or brick appears to be missing. The building has two storefronts with central recessed entrances, cast iron lintels, and wooden bulkheads. The western storefront retains rare prismatic glass transom lights over the display windows. The building retains essential historic integrity.

The Smith-McDonald Block is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 331. 319-321 Main St. W. Smith-McDonald Block (facing S)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-312 323 Main St. W**

**Hist Name:** **Towne Block**

**Other Name:** Red Wing Confectionery

**Built:** 1866

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Towne Block, built in 1866, is a two-story building faced with red-brown brick. The exterior retains historic integrity although a metal and/or brick cornice is missing from the top of the main facade. Three second-story bays, topped with brick corbels, contain rounded-arched window openings with smooth limestone sills and 1/1 sash. The storefront has a cast iron lintel and recessed entrances.

The building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 332. 323 Main St. W. Towne Block (facing SE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-314 325-327 Main St. W**

**Hist Name:** Lawther Block

**Other Name:** Confluence Marketing-Indigo Salon

**Built:** 1866

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This two-story brick building, constructed in 1866, is six bays wide and faced with red-brown brick. In design it is similar to the three-bay corner building immediately to the west. The building has rounded-arched windows that are recessed within bays that are topped with brick corbelling. The window sash is 1/1. The storefront level has a cast iron lintel, wooden bulkheads, and a shared recessed entrance for two stores. On the roof is a low structure, probably housing mechanical equipment. The exterior retains historic integrity.

The building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 333. 325-327 Main St. W. Lawther Block (facing E)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1427 328 Main St. W**

**Hist Name:** LaGrange Park & Parking Ramp

**Built:** ca. 1987

**NR Status:** Not Eligible

**HPC Status:** In Downtown Historic District

LaGrange Park and Parking Ramp, built in 1988, is a combined park and parking ramp located at the northeastern corner of Main and Bush. The parking ramp extends across the northern half of the block (along Levee between Bush and Plum). The park portion, adjacent to Main and Bush, has little turf grass and is dominated by concrete seating walls and other structures. The structures are organized at several levels and are faced with red brick and topped with poured concrete caps. The focal point is a fairly large circular fountain.

This structure is not yet 50 years old and therefore is too recent to be considered individually eligible for the National Register. It is not located within the boundaries of a historic district that is either listed on, or potentially eligible for, the National Register.

LaGrange Park and Parking Ramp is, however, within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 334. 328 Main St. W. LaGrange Park & Parking Ramp (facing N)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-315 329 Main St. W**

**Hist Name:** **Clark and Hawley Block**

**Other Name:** Moments on Main

**Built:** 1866

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Clark and Hawley Block, built in 1866, is located at the southeastern corner of Main and Bush. It is a red-brown brick building with few exterior alterations. Three bays face Main Street. There are piers between the recessed bays, which are topped with brick corbelling. Window openings are rounded-arched with limestone sills and 1/1 sash. There is a rear storefront on the Bush Street side. The Bush Street elevation has a metal third-story balcony.

This building housed a drug store for decades. Among the professionals in upper-story offices was Red Wing's first and longtime physician, Dr. W. W. Sweeney.

The building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 335. 329 Main St. W. Clark and Hawley Block (facing E)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-004 406 Main St. W**

**Hist Name:** St. James Hotel Complex

**Built:** 1875

**NR Status:** Listed

**HPC Status:** In St. James Historic District

The St. James Hotel, built in 1875, is located at the northwestern corner of Main and Bush. This four-story Italianate-style brick building has an ornate metal cornice with central pediments, modillions, dentils, and corner brackets. There are metal hoods above segmental-arched window openings. An important entrance on Bush Street (closest to the former steamboat landing) is topped by a balcony. On the Main Street facade is a one-story addition on the western side of the hotel, and on the northern end are a large rear addition and a parking ramp, both built in 1978.

The hotel was designed by St. Paul architect Edward P. Bassford and built by Red Wing contractor G. A. Carlson and others. The business was financed by 11 local businessmen. The hotel opened in the fall of 1875 and "was long considered the most elaborate of the large river town hotels along the Mississippi" (*Footsteps* 2009: 16). In 1905 the owner-operator became Charles Lillyblad, and the Lillyblad family owned the hotel for the next 72 years. Red Wing Shoe Company bought the hotel in 1977, renovated it (with new additions), and reopened it in 1979. The rehabilitation of the St. James was the first of several pivotal historic preservation projects in Red Wing in the late 1970s through the early 1990s.

The St. James Hotel Complex was listed on the National Register in 1982. The complex includes four buildings: the St. James Hotel at 406 Main (GD-RWC-004), the former Medical Block Clinic at 412 Main (GD-RWC-1428), the former Northern States Power at 416 Main (GD-RWC-1429), and former Riedell Shoes (now Art Reach) at 112 Bush (GD-RWC-912). (See those properties, each inventoried separately.)

For more information on the St. James Hotel Complex, see "St. James Hotel Complex (GD-RWC-004)" in Chapter 3. (See Map 2.)

The St. James Hotel Complex also stands within the local St. James Historic District, a historic district designated by the City. (See Map 3.)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 336. 406 Main St. W.** St. James Hotel Complex, main facade of the hotel (facing W)



**Fig. 337. 406 Main St. W.** St. James Hotel Complex, Bush Street elevation of the hotel (facing SW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-006 409 Main St. W**

**Hist Name:** Keystone Building

**Other Name:** DeLeon Jewelers

**Built:** 1867

**NR Status:** Listed

Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Keystone Building, from 1867, was designed and built by Red Wing architect-contractor Daniel C. Hill. The two-story building has a design unique in downtown Red Wing with a symmetrical facade, brick quoins, thick cornices with modillions, and rounded-arched window and door openings. The exterior is painted brick and the second story has rectangular double-hung sash. The storefronts have brick bulkheads, replacement display windows, and flush rather than recessed entrances. Despite these changes, the exterior retains historic integrity.

The Keystone Building was individually listed on the National Register in 1979. It was listed under National Register Criteria A (broad patterns of history) and C (architecture) in the areas of Architecture and Commerce. The level of significance is Local.

The building is also a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 338. 409 Main St. W. Keystone Building (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1428 412 Main St. W**

**Hist Name:** Medical Block Clinic  
**Other Name:** St. James Hotel Shops  
**Built:** 1912  
**NR Status:** Contributing to CMSTPP RR Corridor Hist Dist, Red Wing Seg  
**HPC Status:** In St. James Historic District

The Medical Block Clinic is a two-story building faced with reddish-brown brick. At the top is a simple brick cornice. The building has rectangular window openings topped by decorative rounded arches. The openings are filled with 8/1 replacement sash. The storefront level has been altered with vertical wood and other recent materials.

This clinic building was constructed in 1912 for a group of doctors who had been practicing together since 1902. Clinic doctors comprised the first medical staff of St. John's Hospital, established in 1903. The clinic was first located on the upper floor of a building on Main Street, then in one at 318 Bush Street (GD-RWC-012), and then in one at 305-313 Bush (GD-RWC-007). In 1912 the Medical Block Clinic moved into new quarters (built for the practice) — this building at 412 Main Street. The group enlarged their building in 1918. In 1963 the Medical Block Clinic moved to a new building which it constructed at 419 Bush St. (GD-RWC-1417). The clinic closed in December 1968 (Angell 1977).

The Medical Block Clinic was listed on the National Register as part of the St. James Hotel Complex. The complex includes four buildings: the St. James Hotel at 406 Main (GD-RWC-004), the former Medical Block Clinic at 412 Main (GD-RWC-1428), the former Northern States Power at 416 Main (GD-RWC-1429), and the former Riedell Shoes (now Art Reach) at 112 Bush (GD-RWC-912). (See those properties, each inventoried separately.)

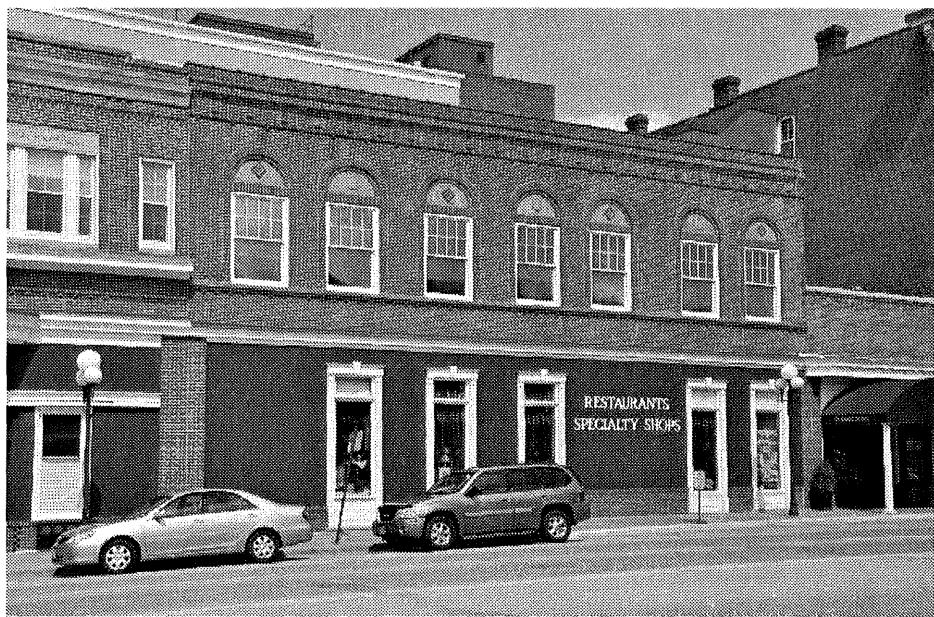
For information on the St. James Hotel Complex, see "St. James Hotel Complex (GD-RWC-004)" in Chapter 3. (See Map 2.)

The Medical Block Clinic also stands within the local St. James Historic District, a historic district designated by the City. (See Map 3.)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 339. 412 Main St. W. Medical Block Clinic (facing N)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-317 413-423 Main St. W**

**Hist Name:** **Boxrud Brothers Block**

**Other Name:** Riverbend Market-Bella Casa Interiors

**Built:** 1886-1898

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Boxrud Brothers Block, completed in 1898, is a large two-story commercial building with a well preserved turn of the century design. The main facade is faced with brown brick. Contrasting light colored limestone (or cast stone?) trim creates continuous window sills, storefront framing, and capitals and bases for pilasters that separate the eight second-story bays. At the top of the facade is a metal and wood cornice with modillions. Above the cornice is a parapet wall with inset tiles. Wide second-story window openings have groups of 1/1 sash beneath multipaned transom lights. The ground level has a storefront cornice, long transom window, round cast iron columns, brick bulkheads, recessed entrances, and a canvas awning.

The Boxrud Brothers Block is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 340. 413-423 Main St. W. Boxrud Brothers Block (facing S)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1429 416 Main St. W**

**Hist Name:** **Northern States Power**

**Other Name:** St. James Hotel Shops

**Built:** 1923

**NR Status:** Contributing to CMSTPP RR Corridor Hist Dist, Red Wing Seg

**HPC Status:** In St. James Historic District

Northern States Power, built in 1923, has a main facade faced with brown brick. At the top is a stepped and curved parapet wall and a simple metal cornice. The second story has modified Chicago-style windows with terra cotta decoration at the transom level and limestone sills. The storefront has been altered with vertical wood and other materials.

Northern States Power was listed on the National Register as part of the St. James Hotel Complex. The complex includes four buildings: the St. James Hotel at 406 Main (GD-RWC-004), the former Medical Block Clinic at 412 Main (GD-RWC-1428), the former Northern States Power at 416 Main (GD-RWC-1429), and the former Riedell Shoes (now Art Reach) at 112 Bush (GD-RWC-912). (See those properties, each inventoried separately.)

For information on the St. James Hotel Complex, see "St. James Hotel Complex (GD-RWC-004)" in Chapter 3. (See Map 2.)

Northern States Power also stands within the local St. James Historic District, a historic district designated by the City. (See Map 3.)



Fig. 341. 416 Main St. W. Northern States Power (facing N)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-318 420-426 Main St. W**

**Hist Name:** **Pioneer Garage**

**Other Name:** Johnson Tire Service

**Built:** ca. 1912

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

Johnson Tire Service, built circa 1912, is a one-story building with a painted brick facade and a stepped parapet wall. The design is typical of that of an early 20th century automotive storage, sales, and service garage. The garage had a storage capacity of 125 cars. The storefront level retains a prismatic glass transom window that has been painted. There have been some changes to window and door openings. Nevertheless, the exterior retains basic historic integrity.

Johnson Tire Service is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 342. 420-426 Main St. W. Pioneer Garage (facing N)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-320 433-435 Main St. W**

**Hist Name:** **Phelps Block**

**Other Name:** Brickhouse Pub and Grill

**Built:** 1866

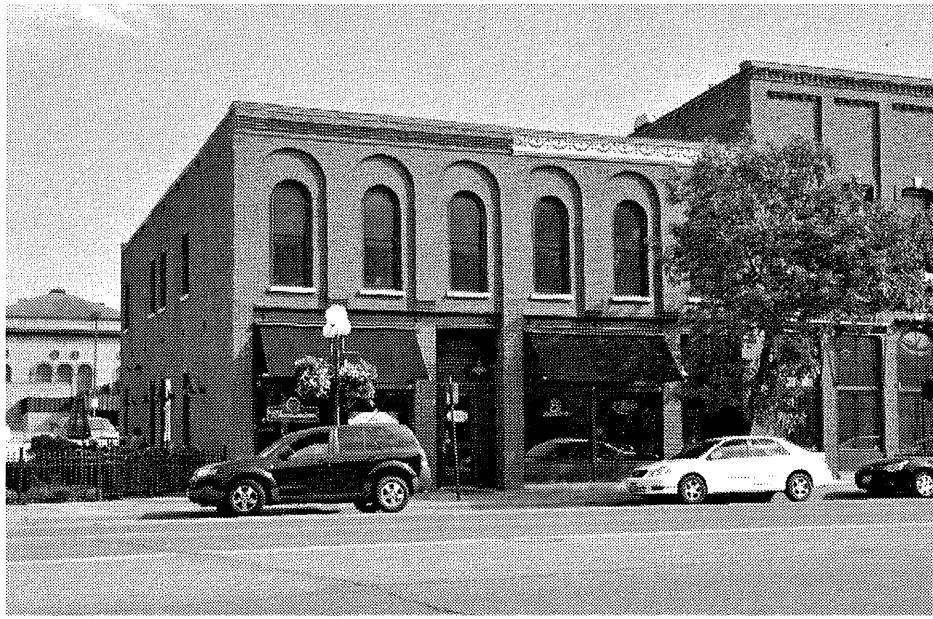
**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Phelps Block, built in 1866, is a two-story building faced with red-brown brick with limestone trim. The eastern half has a simple brick cornice. The western half appears to have a remnant of a metal cornice or other detailing at the cornice level. The second story of the main facade has rounded-arched windows set within recessed rounded-arched bays. Window sash is 1/1. The storefronts have replacement brickwork, cast iron lintels, wooden bulkheads, recessed entrances, and canvas awnings. Despite some changes, the exterior retains basic historic integrity.

The building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 343. 433-435 Main St. W. Phelps Block (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1430 434 Main St. W**

**Hist Name:** Young Men's Christian Association

**Built:** 1971-2001

**NR Status:** Noncontributing to Red Wing Mall Historic District

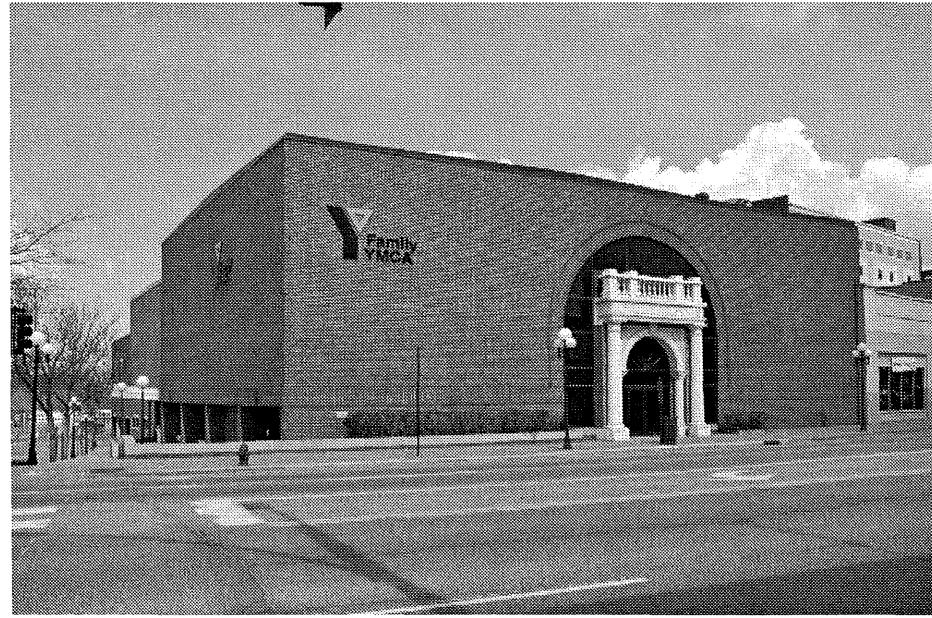
**HPC Status:** In Historic Mall District

The YMCA is a large modern building located at the northeastern corner of Main and Broad. The building extends north all the way to Levee Street. The main entrance, facing Main Street, incorporates part of the stone entrance salvaged from the previous YMCA building on this site. The stone frieze above the arch reads "19 YMCA 09."

The YMCA was built in three phases between 1971 and 2001.

The building stands within the Red Wing Mall Historic District. It was constructed outside of the district's period of significance and is therefore Noncontributing to the district. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



**Fig. 344. 434 Main St. W. Young Men's Christian Association (facing N)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-321 437-439 Main St. W**

**Hist Name:** **Cogel-Betcher Block**

**Other Name:** Red Wing Chamber of Commerce

**Built:** 1874

**NR Status:** Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

The Cogel-Betcher Block, built in 1874, is located at the southeastern corner of Main Street and East Avenue on the eastern side of Red Wing's civic Mall. This is a two-story red-brown brick building whose third story was removed in 1883 after a fire. The building's segmental-arched window openings are arranged in bays recessed between simple brick piers. The window openings have brick window hoods and limestone keystones and sills. Window sash is 2/2. The storefronts are framed by pilasters with limestone capitals and bases. The storefronts have recessed entrances, metal lintels, and wooden bulkheads. There is a secondary storefront on the East Avenue elevation. The building was rehabilitated in 2004.

The building stands within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



**Fig. 345. 437-439 Main St. W. Cogel-Betcher Block (facing E)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-107 604 Main St. W**

**Hist Name:** Preston's Auto Sales

**Other Name:** Taco Johns

**Built:** 1937, 1968

**NR Status:** Noncontributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

Taco Johns is located at the northwestern corner of Main and Broad. It is a fast food restaurant that evidently has at its core part of a gas station built in 1937 and expanded in 1968. In the 1970s it was Preston's Auto Sales.

This property is located within the Red Wing Mall Historic District, which was listed on the National Register in 1980. Because of alterations, the property is Noncontributing to the district. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)

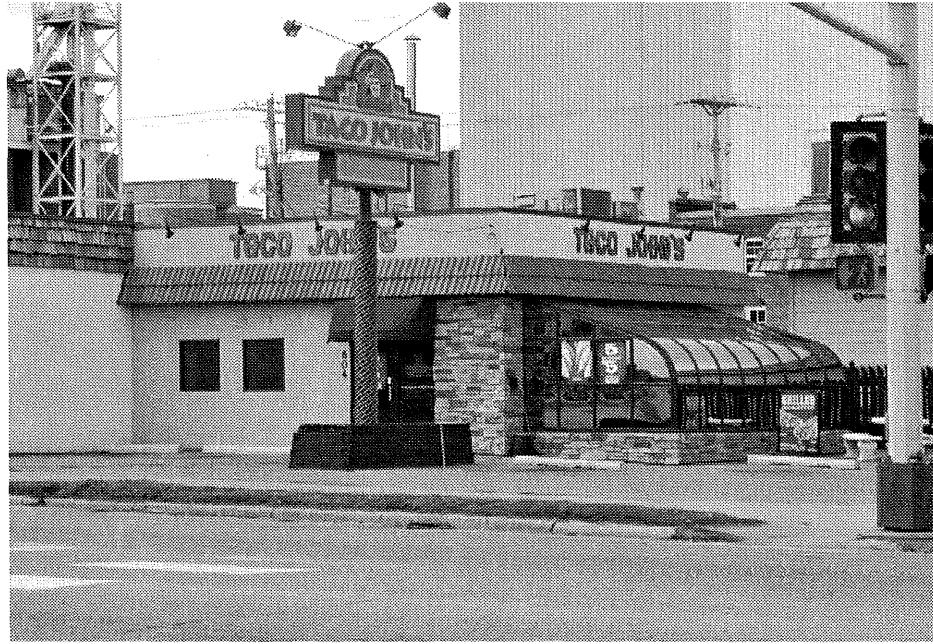


Fig. 346. 604 Main St. W. Preston's Auto Sales (facing NW)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1431 610 Main St. W**

**Hist Name:** Lawrence Realty & Construction

**Built:** 1967

**NR Status:** Not Eligible

**HPC Status:**

This one-story commercial structure was built in 1967. It has a mansard roof and an integrated polygonal sign panel, designed to catch the eye of passing motorists. The building has been altered with a stucco exterior and window and door changes including two oriel windows added to the main facade. The business shares a bituminous parking area with the property next door to the west at 620 W. Main St.

The property is too altered to meet National Register integrity requirements.



**Fig. 347. 610 Main St. W. Lawrence Realty & Construction (facing NE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1432 620 Main St. W**

**Hist Name:** Lawrence-Bohmbach Insurance

**Built:** 1970

**NR Status:** Not Eligible

**HPC Status:**

Lawrence-Bohmbach Insurance, built circa 1975, is a two-story building that evidently has several alterations including changes to exterior materials and window and door alterations. Architectural detailing has been covered and/or removed. The building shares a bituminous parking area with the building next door to the east at 610 W. Main St.

This building is not yet 50 years old and therefore is too recent to be considered for the National Register.



Fig. 348. 620 Main St. W. Lawrence-Bohmbach Insurance (facing NW)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1433 621 Main St. W**

**Hist Name:** Econo Foods

**Built:** 1981

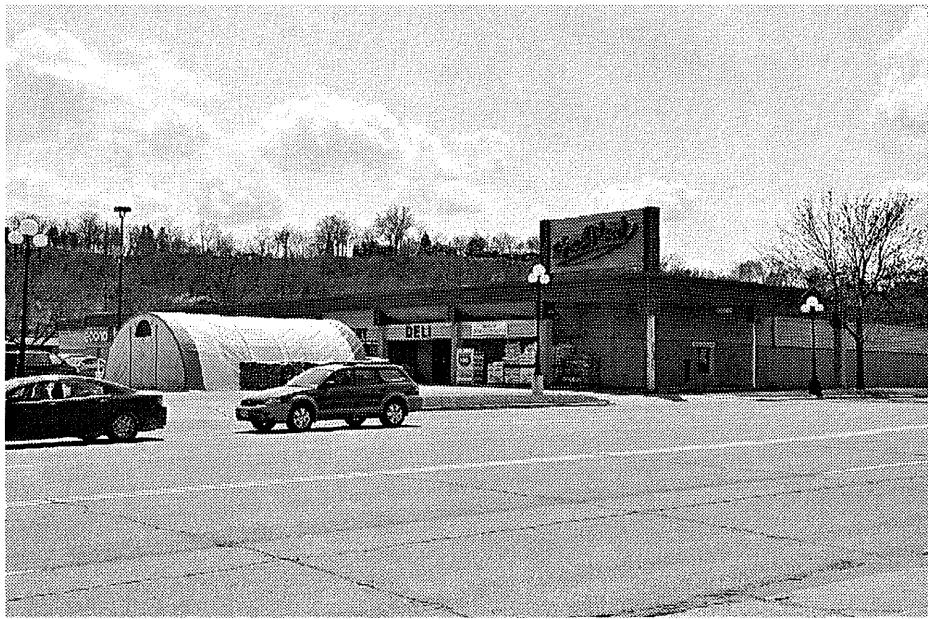
**NR Status:** Noncontributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

Econofoods, a supermarket built in 1981, is located at the southwestern corner of Main and West on the western side of Red Wing's multi-block civic Mall.

This modern supermarket is too recent to be considered for the National Register. However, the eastern 50' of the supermarket's bituminous parking area, adjacent to West Avenue, is located within the Red Wing Mall Historic District, which was listed on the National Register in 1980. It is Noncontributing to the district. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The eastern 100' of the Econofoods parking lot, adjacent to West Avenue, is also located within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



**Fig. 349. 621 Main St. W. Econo Foods, with Main Street in the foreground (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 350. 621 Main St. W.** Econo Foods, with the parking area and West Avenue in the foreground (facing W)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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**GD-RWC-015 726 Main St. W**

**Hist Name:** Chicago Great Western Depot

**Other Name:** Caribou Coffee

**Built:** 1906

**NR Status:** Listed

**HPC Status:**

The Chicago Great Western Depot, built in 1906, is located at the northeastern corner of Main and Fulton. The railroad tracks were originally north of the building, aligned east-west. This is a two-story brick passenger depot faced with red-brown brick. Hipped roofs – on the depot, on the front entrance porch, on the northern porte cochere, on the detached baggage room, and on a northern pent eave that extends to a walkway linking the depot and the baggage room – are all covered with red ceramic tiles. Most eaves are supported by large knee braces that rest on brick corbels. The building has slightly-segmental-arched window openings with smooth sandstone sills and fixed sash. There is a porte cochere on the northern elevation that was originally near the tracks. This elevation also has a two-story rectangular bay window.

A small, detached baggage building west of the depot (near the former tracks) matches the depot in design. It has an early double-leaf wooden door in a segmental-arched opening. Sanborn insurance maps show there was once a similar baggage or freight structure near the northeastern corner of the depot; it has been removed.

The depot is surrounded by a brick-paved platform. A bituminous parking lot in front (to the south) is probably a post-1950 modification of an earlier drop-off drive and front lawn that is depicted on Sanborn maps and on a 1949 aerial photo. The current parking lot and a narrow drive around the depot building retain square concrete curbs, perhaps dating from circa 1955.

The property retains historic integrity.

***Historical Background***

In 1882 the Minnesota Central Railroad built tracks from Red Wing to Waterville. A small roundhouse was located at Red Wing. The line was operated by the Minneapolis and St. Louis Railway, and in 1899 came under control of the Chicago Great Western. In 1889, another company, the Duluth, Red Wing, and Southern, built tracks from Red Wing to Zumbrota. In 1901 this line was also purchased by the Chicago Great Western. In 1906 the Chicago Great Western built this two-story brick depot (GD-RWC-015) to serve their divisional headquarters. See Bloomberg 1980.

Chicago Great Western trains served Red Wing until 1982. The depot became a Hardees restaurant that year in another of Red Wing's successful historic preservation adaptive reuse projects. In 2006 Caribou Coffee opened in the depot.

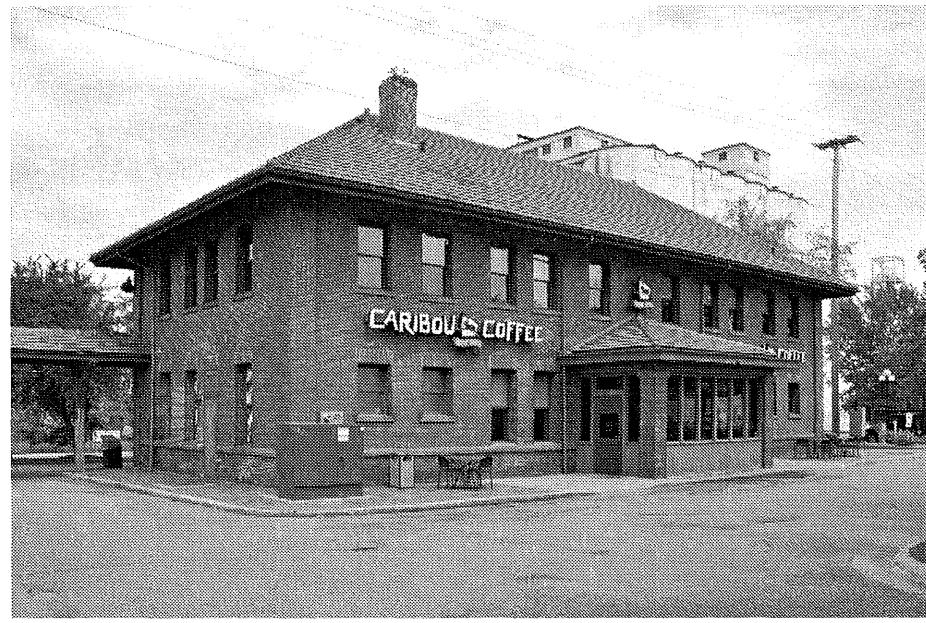
***Recommendation***

The Chicago Great Western Depot is one of two remaining passenger depots in Red Wing. It was individually listed on the National Register in 1980. It was listed under National Register Criterion A (broad patterns of history) in the area of Transportation. The level of significance is Local. The recommended period of significance is 1906-1950.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 351.** 726 Main St. W. Chicago Great Western Depot, main (south) facade (facing NE)

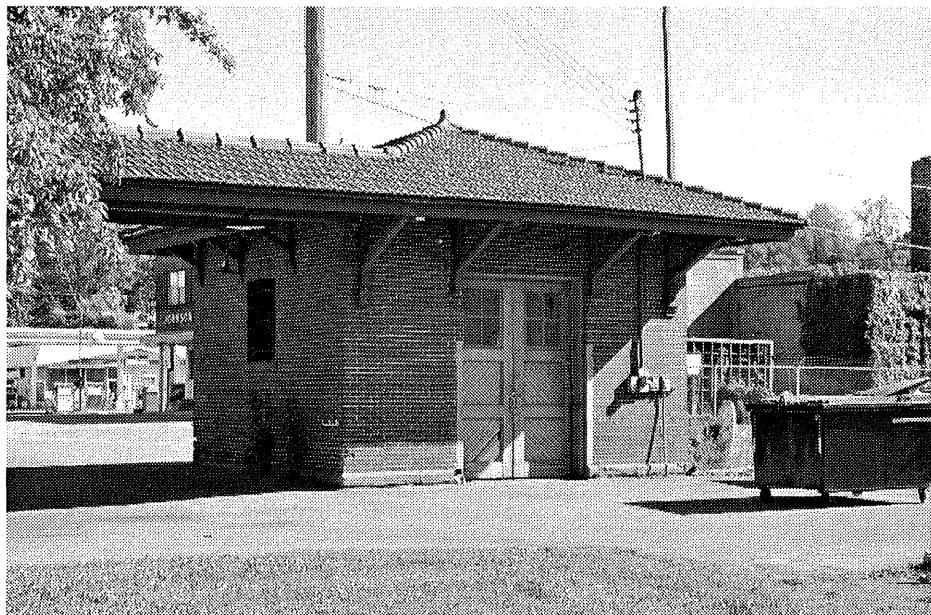


**Fig. 352.** 726 Main St. W. Chicago Great Western Depot, north side (the tracks would have been at the right) (facing W)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 353. 726 Main St. W.** Chicago Great Western Depot, track side of baggage room northwest of main depot building (facing SW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1436 526 Minnesota St**

**Hist Name:** Mossberg House  
**Built:** 1938  
**NR Status:** Need More Information  
**HPC Status:**

The Mossberg House, built in 1938, is located at the northwestern corner of Minnesota Street and West Sixth Street. It is perched on the edge of a bluff overlooking the Mississippi River Valley and the city below. The land falls off sharply to the north and west. The design of this 1 1/2-story woodframe house is an example of the Cape Cod variation of the Colonial Revival style. It has a steeply-pitched gabled roof with little overhang at the eaves, two gabled dormers on the main facade, and a classically-inspired door surround. The rectangular window openings have 6/6 sash and mock shutters. The foundation is rockfaced concrete block that is faced with brick in some places. On the southern end, closest to Sixth Street, is an offset gable-roofed section with a smooth concrete block foundation (perhaps a repair). This part of the house incorporates a lower-level garage. On the northern end of the house, facing the river, is a circa 1960 three-season porch that probably replaces an earlier porch in this position.

***Historical Background***

The Mossberg House was built during the Great Depression. It was the home of William A. and Lydia Mossberg and their children. William Mossberg, Sr., was proprietor of W. A. Mossberg Printing at 202 Main Street in downtown Red Wing. Telephone books from at least 1956-1970 list Kenneth E. Mossberg as residing here. Kenneth Mossberg was a dentist working in the Gladstone Building.

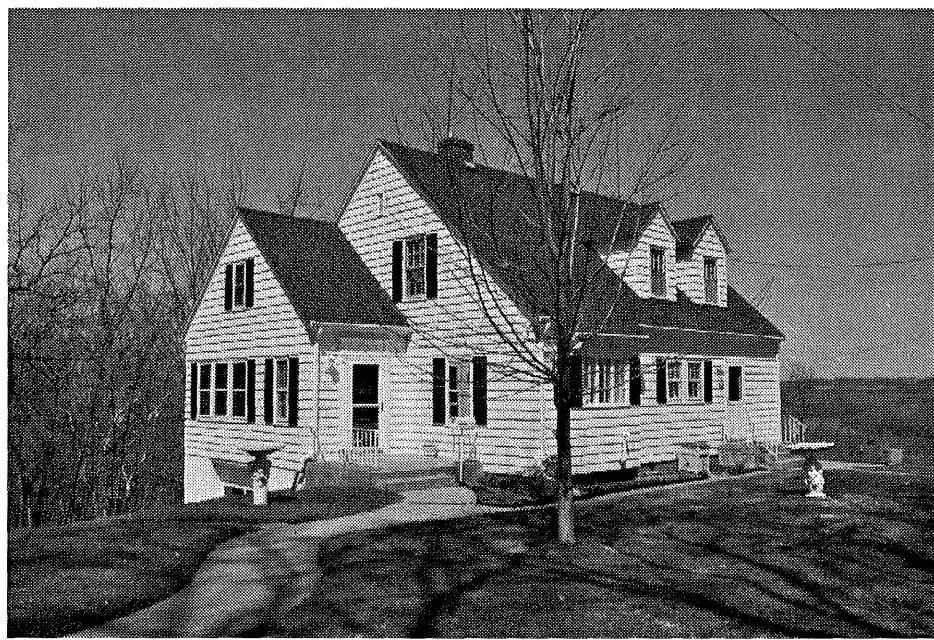
***Recommendation***

The Mossberg House, built in 1938, is a restrained, Depression-era example of the Cape Cod style. The house may meet National Register integrity requirements and could be eligible if found to be significantly associated with an important event or broad pattern (Criterion A) or an important person (Criterion B). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 354. 526 Minnesota St. Mossberg House, main facade and south side (facing NW)**

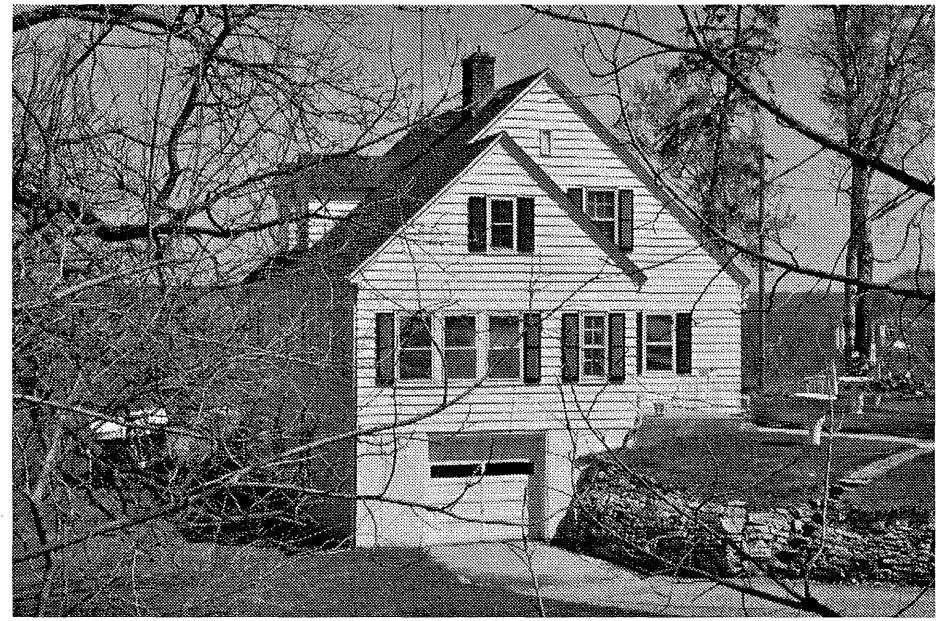


**Fig. 355. 526 Minnesota St. Mossberg House, main facade (facing W)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 356. 526 Minnesota St. Mossberg House, south end (facing NE)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1438 1166 Oak St**

**Hist Name:** RW City Hospital & Home  
**Other Name:** Goodhue County Historical Society  
**Built:** 1910-1924  
**NR Status:** Need More Information  
**HPC Status:**

The former Red Wing City Hospital and Old People's Home is located on the edge of the College Hill bluff with an outstanding view of the Mississippi River Valley, Barn Bluff, Bridge 9040, and the center of the city (Fig. 1). Northeast of the buildings is the top of a long poured concrete public stairway (described below) that descends through the wooded northeastern part of the property to Fourth Street.

The property has four principal built features:

*Friedrich Memorial Building* (built 1924). The Friedrich Memorial Building is the northern building in the complex. It was built in 1924 as an eastern addition to the main hospital (which was the Pierce Building, built in 1906, which has been razed). The Friedrich Building is two stories and faced with medium-brown brick with a restrained Classically-inspired design. The main facade is seven bays wide with a central entrance within a brick and limestone surround with the word "Memorial" incised above a bracketed architrave. The building has regularly-spaced rectangular window openings with 6/6 sash and concrete or limestone sills that are continuous at the second story. On the northern elevation is a one-story entrance addition and a fiberglass basement entrance enclosure.

*Red Wing Old People's Home* (now Goodhue County Historical Society; built 1914; probably designed by Augustus F. Gauger). The Red Wing Old People's Home, now the Goodhue County Historical Society, is a two-story brick building located southeast of the Friedrich Building, closer to Oak Street. It was built in 1914 by contractor J. C. Johnson of Red Wing who bid \$9,688. Influenced by the Craftsman style, the building is faced with medium-brown brick resting on a rockfaced coursed ashlar limestone foundation with brick detailing at the watertable level. On the southern end is a two-story sun-porch; both porch levels have been enclosed. At the roofline is a parapet wall with terra cotta and concrete coping and a metal cornice with large corner brackets. Window openings are rectangular with smooth concrete sills and double-hung sash. On the northern end of the building, at an angle, is a large, two-story, brick-faced addition built by the historical society in 1992.

*Boiler House and Laundry* (built 1910). The smallest and oldest building in the complex is a one-story, hip-roofed, brick building constructed in 1910 as a heating plant and laundry. The main entrance is on the western side. It has a tall brick chimney and a poured concrete below-grade coal bin on the northern side. The building's basement level is exposed on the eastern side because of the grade of the slope. The 1992 historical society addition to the Old People's Home is also physically attached to the boiler house.

*Hospital Stairway* (built 1918; designed by William Geisheker; built by Nels Nordholm). A long poured concrete stairway built in 1918 traverses the very steep wooded bluff in the northeastern corner of the hospital property. The staircase was built to provide a pedestrian link for employees and visitors between the hospital and the city below. It would have been especially

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

important before cars were widely owned. It was built to replace an earlier wooden hospital stairway that was built circa 1899.

The staircase, which was cast in place, is about 4' wide and has about 185 steps separated by about 6 poured concrete landings. The landings incorporate three concrete benches. Three of the longest runs of steps curve in opposite directions. There are various sections of simple pipe handrails, some original (or early) and some in-kind replacements. The stairway has a few cast iron lamp standards on polygonal poured concrete plinths.

At about the stairway's midpoint is the largest landing, with a long Classical Revival-style poured concrete bench that provides a view of Barn Bluff. An inscription in the floor of the landing reads: "City Hospital; J. H. Webster pres; W. Geisheker engineer; Nels Nordholm builder; 1918."

The steps, landings, benches, lamp plinths, and handrails are basically intact. The four concrete lamp plinths are tilting. Three cast iron lamp standards are missing and the sole survivor is in poor condition.

### ***Historical Background***

Red Wing City Hospital traces its roots to Red Wing's first hospital, which was established by Goodhue County in 1884 in a house near downtown at Dakota and Levee Streets. In 1891 the Ladies Hospital Society took over the operation. In 1896 the Ladies Hospital Society reorganized into a hospital board of trustees (with members of both genders). In 1898 the trustees moved the Red Wing City Hospital to the former Samuel Jennison home (razed), a woodframe structure on this site on College Hill. It may have been soon thereafter that the first staircase (which was made of wood) was built in the northeastern corner of the property to provide a pedestrian link up the steep bluff.

In 1906 the Pierce Memorial Building (razed) was built onto one end of the expanded Jennison home. The Jennison house was subsequently used to house nurses. In 1910 the Boiler House and Laundry was built. In 1914 a nursing home known as the Red Wing Old People's Home was built. In 1918 the wooden stairway to Fourth Street was replaced with the current concrete stairway. In 1924 the hospital was expanded when the Friedrich Memorial Building was built onto the eastern side of the Pierce Memorial Building.

In 1926 the hospital was taken over by the City. In 1937 laborers hired under the Works Progress Administration (WPA) constructed a tunnel at the hospital, repaired the Pierce building, and worked on landscaping (Irvine 1941: 182). In 1939 the Red Wing Old People's Home became Northwest Baptist Old People's Home.

In the late 1960s the Red Wing City Hospital closed and the city's other hospital, St. John's, expanded. City Hospital's Pierce Building was demolished in 1969. The same year, the Goodhue County Historical Society moved into the Old People's Home. In 1970 the Friedrich Building became a community center called Friedrich City Center. Among its first tenants was the Red Wing Environmental Learning Center, established in 1970, which was an early organization of its kind in the state. In 1989-1992 the Goodhue County Historical Society remodeled the Old People's Home and constructed its large north addition.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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### ***Recommendation***

Red Wing City Hospital operated on this site from 1898-1967. The facility was Red Wing's principal public hospital and included a nursing home. The hospital has lost some buildings. Existing resources include the Boiler House and Laundry (1910, somewhat altered), the Old People's Home (1914, altered), the City Hospital Stairway (1918, intact), and the Friedrich Memorial Building (1924, intact). The stairway is an unusual structure that provided an important pre-automobile link between the densely-populated neighborhoods below and the City Hospital on top of the bluff. Part of the hospital facility may meet National Register integrity requirements and may be eligible under Criterion A (broad patterns of history) or Criterion B (important person). It is recommended that the Red Wing City Hospital merits and requires further research and evaluation to determine its National Register eligibility.



**Fig. 357. 1166 Oak St. RW City Hospital & Home, Friedrich Memorial Building, main facade and east wall (facing NW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 358. 1166 Oak St.** RW City Hospital & Home, Old People's Home with enclosed sun porches on the main facade, which faces Oak Street (facing NE)



**Fig. 359. 1166 Oak St.** RW City Hospital & Home, Goodhue County Historical Society's 1992 addition to the north end of the Old People's Home (facing NE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 360. 1166 Oak St. RW City Hospital & Home, Boiler House and Laundry (1910) with 1992 historical society addition at right (facing SE)**



**Fig. 361. 1166 Oak St. RW City Hospital & Home, north side of Boiler House and Laundry (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 362.** 1166 Oak St. RW City Hospital & Home, grounds at the bluff edge north of the Friedrich Building (facing NE)



**Fig. 363.** 1166 Oak St. RW City Hospital & Home, public stairway (near the lower end); note the concrete lamp plinth on the right side of the steps and the original (or early) pipe railing (facing W)

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BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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**Fig. 364. 1166 Oak St.** RW City Hospital & Home, public stairway, cast iron lamp standard on concrete plinth and original (or early) railing (facing W)



**Fig. 365. 1166 Oak St.** RW City Hospital & Home, public stairway, the largest landing; the bench faces Barn Bluff and there is an inscription on the floor of the landing (facing N)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-360 201-207 Plum St**

**Hist Name:** Lawther-Park Block

**Other Name:** Travel Leaders-Sonus Hearing Care

**Built:** 1868-69, c1875

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Lawther-Park Block is located at the southeastern corner of Plum and Main. This red-brown brick structure was built in three phases. The three-story section on the corner was built in 1868. It has rounded-arched windows with two bays facing Plum and seven bays on Main Street. The two-story section adjacent to the south was built in 1869. It has five second-story rounded-arched windows that face Plum. The southernmost section was built circa 1875. It has three bays and segmental-arched windows. The storefronts have recessed entrances, wooden bulkheads, and modern canvas awnings.

The Lawther-Park Block is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 366. 201-207 Plum St. Lawther-Park Block (facing E)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-361 210 Plum St**

**Hist Name:** **Globe Electric Light Company**

**Other Name:** Ferrin's Furniture (S part)

**Built:** 1887, 1940s

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The former Globe Electric Light Company at 210 Plum Street is now part of Ferrin's Furniture. Built in 1887, it is an altered, two-story brick building with a triangular parapet at the top. The facade is covered with stucco and the window openings have been blocked.

This property is located within a potential Red Wing Commercial Historic District that is eligible for the National Register (Map 5). Because of alterations, the property is Noncontributing to the potential district. (Its rehabilitation should be encouraged.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 367. 210 Plum St.** Globe Electric Light Company, comprised of the triangular structure at center (facing SW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-362 212 Plum St****Hist Name:** **Sterling Block****Other Name:** Ferrin's Furniture (S part)**Built:** 1881**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District**HPC Status:** In Downtown Historic District

The Sterling Block at 212 Plum Street is a three-story brick building constructed in 1881. It is now part of Ferrin's Furniture and has been covered with stucco.

The property is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of alterations, the building is Noncontributing to the potential district. (Its rehabilitation should be encouraged.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 368. 212 Plum St. Sterling Block, behind the tree in this photo (facing W)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-363 213 Plum St**

**Hist Name:** Little Green Front Restaurant

**Other Name:** 5 de Mayo

**Built:** ca. 1915

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This is a small, altered, one-story structure built circa 1915 as a two-story building. The second story was removed circa 1949. Painted common brick is visible on the northern side, concrete block is visible on the south and rear elevations, and the main facade is largely covered with stucco. The storefront has been altered.

This property is located within a potential Red Wing Commercial Historic District that is eligible for the National Register (Map 5). Because of alterations, the building is Noncontributing to the potential district.

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 369. 213 Plum St. Little Green Front Restaurant (facing N)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-364 214 Plum St**

**Hist Name:** Linne Building

**Other Name:** Ferrin's Furniture (S part)

**Built:** 1880

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Linne Building at 214 Plum Street was built in 1880. It is an altered two-story brick building. The window openings have been blocked and the facade is covered with stucco.

This property is located within a potential Red Wing Commercial Historic District that is eligible for the National Register (Map 5). Because of alterations, the building is Noncontributing to the potential district. (Its rehabilitation should be encouraged.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 370. 214 Plum St.** Linne Building, comprised of the left-hand three bays in this photo (facing NW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-365 217-221 Plum St**

**Hist Name:** National Guard Armory-Masonic Hall

**Other Name:** Armory Mall

**Built:** 1901

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This combined National Guard Armory and Masonic Hall was built in 1901. It has a rectangular footprint and a symmetrical design with Richardsonian Romanesque detailing. The third story was removed after a catastrophic fire in 1925. The main and northern facades are brown brick, and the southern facade is now covered with stucco. At the bottom of the walls is a tall rockfaced coursed ashlar limestone foundation, and at the top is a brick crenelated parapet. First-story window and door openings are topped by heavy arches of rockfaced brownstone with foliated carved-stone springing blocks. The Masons left the building in 1925 and the National Guard moved out in 1971. The exterior retains essential historic integrity although there have been some exterior alterations.

The Armory-Masonic Hall is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)

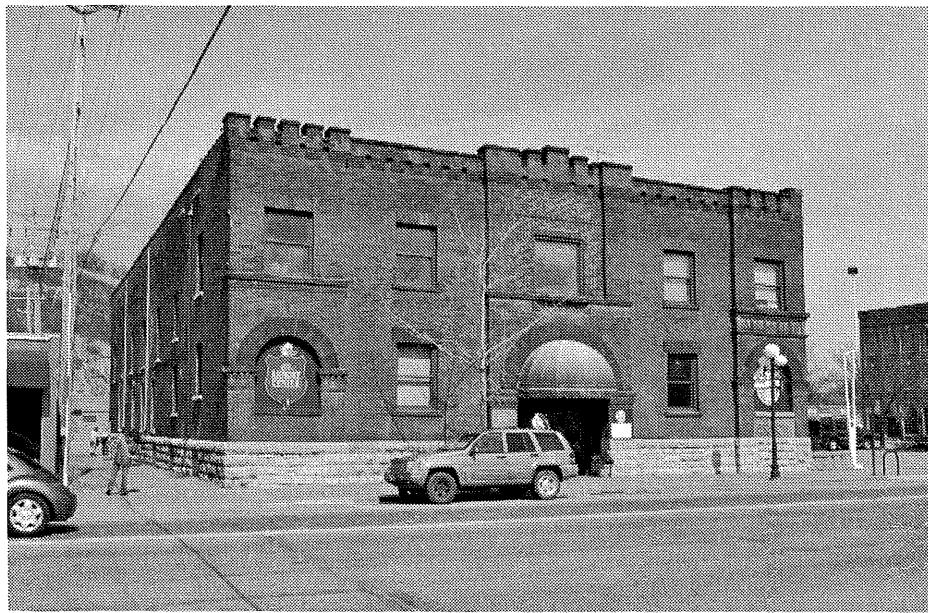


Fig. 371. 217-221 Plum St. National Guard Armory-Masonic Hall (facing E)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

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**GD-RWC-366 302 Plum St**

**Hist Name:** **Greenwood Block**

**Other Name:** Liberty's Restaurant (N part)

**Built:** 1872

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Greenwood Block, built in 1872, is located at the southwestern corner of Plum and Third near the center of downtown. It was designed by Red Wing architect-contractor Daniel C. Hill, built by local contractor Charles R. Brink, and now houses the northern part of Liberty's Restaurant. It is an ornate three-story brick building with a canted northeastern corner. Window openings have limestone keystones and sills, brick window hoods, and 4/4 sash. The third-story openings are segmental-arched with bracketed sills. The second-story openings are segmental-arched. The storefront has wooden bulkheads and canvas awnings. The overall historic integrity is good.

The Greenwood Block is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 372. 302 Plum St. Greenwood Block (facing S)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-368 303 Plum St**

**Hist Name:** **Lyons Brick Block**

**Built:** 1869

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Lyons Brick Block, built in 1869, is faced with brown brick on the main facade. The northern elevation is covered with stucco. The rounded-arched window openings are aligned in three recessed rounded-arched bays. Window openings have smooth limestone sills, springing blocks, and 4/1 sash. Despite changes to the storefront, the exterior retains sufficient overall historic integrity to contribute to historic downtown Red Wing.

This is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 373. 303 Plum St. Lyons Brick Block (facing E)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-367 304 Plum St**

**Hist Name:** **Lindberg Block**

**Other Name:** Liberty's Restaurant (middle part)

**Built:** 1883

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The second-story brickwork on the facade of this 1883 building looks recent, perhaps dating from rehabilitation or repair work. The facade is faced with red-brown brick with smooth limestone trim and has a brick cornice. Window openings are rectangular with bracketed sills, ornate hoods with incised carving, and 1/1 sash. The storefront has wooden bulkheads and a canvas awning. The exterior retains basic historic integrity.

The Lindberg Block is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 374. 304 Plum St. Lindberg Block, now part of Liberty's Restaurant (facing S)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-369 306-308 Plum St**

**Hist Name:** **Boston Block**

**Other Name:** Liberty's Restaurant (S part)

**Built:** 1879

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The former Boston Block, built in 1879, is faced with reddish-brown brick with smooth limestone trim and a corbelled brick cornice. The facade has five second-story windows. Window openings are segmental-arched with 2/2 sash, brick hoods, limestone keystones, and limestone sills. The storefront has a cast iron lintel, wooden bulkheads, and canvas awnings. The exterior retains general historic integrity.

This building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 375. 306-308 Plum St.** Boston Block, five bays wide; now the southern part of Liberty's Restaurant (facing S)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-370 307 Plum St**

**Hist Name:** Red Wing Creamery  
**Other Name:** Red Men Club of Red Wing  
**Built:** ca. 1916  
**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District  
**HPC Status:** In Downtown Historic District

The former Red Wing Creamery, built circa 1916, is a two-story brick building whose main facade is completely obscured with plasticized panels. See the other part of this L-shaped building, which was inventoried separately at 223 W. 3rd St. (GD-RWC-1390).

The Red Wing Creamery was located in this building until it moved into new quarters at 207-217 W. Main St. (GD-RWC-299) in 1927. The Red Men Club bought the building in 1952 and is still located here.

This building is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of alterations, the building is Noncontributing to the potential district. (Despite being Noncontributing, the building is more valuable to the district's historic integrity than a modern replacement would be, and its rehabilitation should be encouraged.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 376. 307 Plum St. Red Wing Creamery (facing N)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-371 309-313 Plum St**

**Hist Name:** **Clum Block**

**Other Name:** Metro Apartments

**Built:** 1874

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Clum Block, built in 1874, was designed and constructed by architect-contractor Ambrose L. Clum. Most of the main facade is covered with stucco, but the brick walls are exposed on two other elevations and part of the fourth. Window openings are segmental-arched and in original locations; most have 1/1 sash. The central storefront retains two fluted cast iron columns that support a lintel. Storefronts have recessed entrances. The building is located at the southeastern corner of downtown's concentration of historic buildings and, because of the expanse of brick on its largely-intact side and rear walls, helps to strengthen the integrity of this part of the historic downtown, despite the facade changes.

The Clum Block is located within a potential Red Wing Commercial Historic District that is eligible for the National Register (Map 5). It is recommended that the building is Contributing to the potential district, but one more alteration would probably make it Noncontributing. Facade rehabilitation should be strongly encouraged.

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 377. 309-313 Plum St. Clum Block (facing N)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



Fig. 378. 309-313 Plum St. Clum Block (facing E)



Fig. 379. 309-313 Plum St. Clum Block (facing SW)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-372 310 Plum St**

**Hist Name:** **Smith Harness Shop**

**Other Name:** Roxx Bar and Grill

**Built:** 1875

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The former Smith Harness Shop, built in 1875, may have been constructed by Red Wing contractor Charles R. Brink. It is faced with brown brick, with brick pilasters framing the main facade. The first-story brickwork is painted. Window openings are segmental-arched with 1/1 sash and smooth limestone or poured concrete sills. The rehabilitated storefront has a recessed entrance and wooden bulkhead. The exterior of the building generally retains historic integrity.

This is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 380. 310 Plum St. Smith Harness Shop (facing W)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-373 312-314 Plum St**

**Hist Name:** **White Front Clothing Store**

**Other Name:** B.S. Bar

**Built:** ca. 1905

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The main facade of this circa 1905 Classical Revival-style building is faced with white glazed brick, making it unique in the downtown. The exterior retains integrity. At the top of the facade is a metal cornice with modillions. The rest of the entablature is made of glazed terra cotta, a material also used for ornate capitals on pilasters at the storefront. (The facade treatment wraps around the corner; one of the pilasters is on the southern side wall.) Above the storefront, which has wooden bulkheads and a recessed entrance, is a brick or terra cotta cornice with dentils. Most of the southern wall is faced with gray common brick.

The building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 381. 312-314 Plum St. White Front Clothing Store (facing W)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-375 316 Plum St**

**Hist Name:** **Winters Building**

**Built:** 1874

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Winters Building was evidently constructed in 1874 by contractors A. Danielson and Charles R. Brink. Today its store appears to be in use as a private studio or office or residence, rather than a retail store. The two-story building is faced with brown brick with a brick cornice. Window openings are segmental-arched, with smooth limestone sills and 1/1 sash. The storefront has a wood and metal cornice, wooden bulkheads, and a recessed entrance. The building exterior retains integrity.

This building is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 382. 316 Plum St. Winters Building (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-376 318 Plum St**

**Hist Name:** Peterson Meat Market

**Other Name:** Sorenson Financial

**Built:** ca. 1905

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

This two-story building, constructed circa 1905, is faced with reddish brick. At the top of the facade is a tall metal cornice with modillions and other detailing. The facade's rectangular window openings have rockfaced limestone sills and 1/1 sash. The storefront has metal framing, wooden bulkheads, a recessed entrance, and a canvas awning. The exterior of the building retains basic historic integrity.

Peterson Meat Market (now Sorenson Financial) is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 383. 318 Plum St. Peterson Meat Market (facing SW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-378 320-324 Plum St**

**Hist Name:** **Salvation Army**

**Other Name:** Elks Lodge 845 (N part)

**Built:** ca. 1925

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The building at 320-324 Plum St. is a one-story structure faced with painted brick. It was once three stories tall. The storefront level, which comprises most of the main facade, is altered with brick infill. A previous building on this site housed a Salvation Army hall. The 1927 Sanborn insurance map shows the current building when it was three stories. It housed three stores, the northern being a "rest room" on the map. On a later Sanborn map, the north store is labeled a mission (presumably Salvation Army). In 1936, Behrens Auto and Industrial Supply was founded in this building.

This building is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of alterations, the building is Noncontributing to the potential district. (Despite being Noncontributing, the building is more valuable to the district's historic integrity than a modern replacement would be and its rehabilitation should be encouraged.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



**Fig. 384. 320-324 Plum St. Salvation Army (facing W)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-010 325-327 Plum St**

**Hist Name:** Hotel de Batlo

**Other Name:** Eagle House Apts-New Life Church

**Built:** 1874

**NR Status:** Contributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

The Hotel Batlo, built in 1874, is located at the northeastern corner of Plum and Fourth. It provides a strong southeastern anchor to the core of historic downtown Red Wing. The hotel was designed by Red Wing architect-contractor Ambrose L. Clum and built by Danielson and Williams. It is a three-story building faced with reddish-brown brick. Window openings are rounded- and segmental-arched with smooth limestone sills and 2/2 and 4/4 sash. The storefront is framed with tan brick and the lobby display windows are recessed. The exterior is largely intact on all elevations.

The Hotel Batlo is a Contributing property within a potential Red Wing Commercial Historic District that is eligible for the National Register. (See the potential district in Chapter 3; see Map 5.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 385. 325-327 Plum St. Hotel de Batlo (facing N)

**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 386. 325-327 Plum St. Hotel de Batlo (facing W)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-379 326-330 Plum St**

**Hist Name:** Becker Grocery

**Other Name:** Elks Lodge 845 (S part)

**Built:** ca. 1915

**NR Status:** Noncontributing to Potential Red Wing Commercial Historic District

**HPC Status:** In Downtown Historic District

Becker Grocery, built circa 1915 and originally owned by August Becker, is an altered commercial building located at the northwestern corner of Plum and Fourth. The principal facades are faced with painted brick. The second story is fairly intact, with a metal cornice with modillions, pilasters with ornate capitals between window bays, and rectangular window openings with Chicago-style sash and double-hung 1/1 sash. The storefront level is altered with brick infill that obscures the original design. The main entrance has been removed from the Plum Street facade and is now under a flat metal canopy at the rear of the Fourth Street elevation.

The former Becker Grocery is located within a potential Red Wing Commercial Historic District that is eligible for the National Register. Because of alterations, the building is Noncontributing to the potential district. (Despite being Noncontributing, the building is more valuable to the district's historic integrity than a modern replacement would be and its rehabilitation should be encouraged.)

The property is also within the local Downtown Historic District, a historic district designated by the City. (See Map 3.)



Fig. 387. 326-330 Plum St. Becker Grocery (facing W)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1439 401 Plum St**

**Hist Name:** First National Bank of Red Wing

**Other Name:** Wells Fargo Bank

**Built:** 1967

**NR Status:** Need More Information

**HPC Status:**

The former First National Bank, now Wells Fargo, is located at the southeastern corner of Plum and Fourth. It was built in 1967. The building is two stories tall with a dramatic, sculptural, blocky form. The exterior has a smooth surface of dark brown brick with few windows and little, if any, ornamentation. The structure seems self-contained, with little visual reference to surrounding buildings or landscapes. The design contrasts strongly with the downtown historic buildings.

The second story projects over the first and is separated from the first story by a band of white that contrasts with the dark brick. On the three principal facades (north, west, and south), the second-story window openings serve as voids in the massing. The windows on the first story are flush with the exterior walls. Most windows have aluminum frames.

The main entrance is on the northern facade. This entrance and the western entrance on Plum Street were designed for pedestrians, while the southern entrance is accessed by a fairly large bituminous parking area. Extending from the eastern side is a five-lane drive-through banking canopy, also faced with dark brown brick. The three eastern bays may have been added to expand capacity. This appears to be the bank's only substantial exterior alteration. There is a flagpole on an at-grade base a few feet from the northwestern corner of the building.

***Historical Background***

The First National Bank of Red Wing was organized in 1865. The first president was T. B. Sheldon. According to local historian Madeline Angell, the bank moved into new quarters at the corner of Fourth and Plum Streets in April of 1967 (Angell 1977: 403).

The First National Bank changed its name to First Northwestern National Bank of Red Wing in 1974 and to Norwest Bank of Red Wing in 1983. Norwest Bank was acquired by Wells Fargo in July 2000.

First National Bank chose a Modernist design for its 1967 headquarters. This was common for banks nationwide during the period, according to historians Carol Dyson and Anthony Rubano who explain that "suddenly in the mid-twentieth century, an industry steeped in tradition rapidly transformed its architectural iconography from classicist to Modernist. Indeed, banks embraced new nontraditional vocabularies more easily than did some less conservative building types. New materials, technology, and design were used to symbolize the seemingly divergent expressions of stability and progressivism. Banks were modernized on Main Street or built in new suburbs to make dramatic contemporary statements" (Dyson and Rubano 2000: 2.43).

Dyson and Rubano describe a banking industry viewpoint that contemporary design "symbolized up-to-date thinking and modern methods." The authors explain that many new banks incorporated new technologies such as efficient drive-up windows, an element whose equipment was perfected in the 1950s. Modern bank interiors were designed with an "open, hence modern,

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

feel" to accommodate increasing numbers of customers in a growing postwar economy. Bank officers were given desks "separated from the banking floor only by a railing" rather than being hidden away in closed offices (Dyson and Rubano 2000: 2.45-2.46).

### ***Recommendation***

The former First National Bank, now Wells Fargo, appears to meet National Register integrity requirements and could be eligible if found to be significantly associated with an important event or broad pattern (Criterion A) or an important person (Criterion B) or found to be architecturally significant (Criterion C). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.



**Fig. 388. 401 Plum St.** First National Bank of Red Wing, main (north) facade and west elevation (facing E)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 389. 401 Plum St.** First National Bank of Red Wing, west and south elevations (facing N)

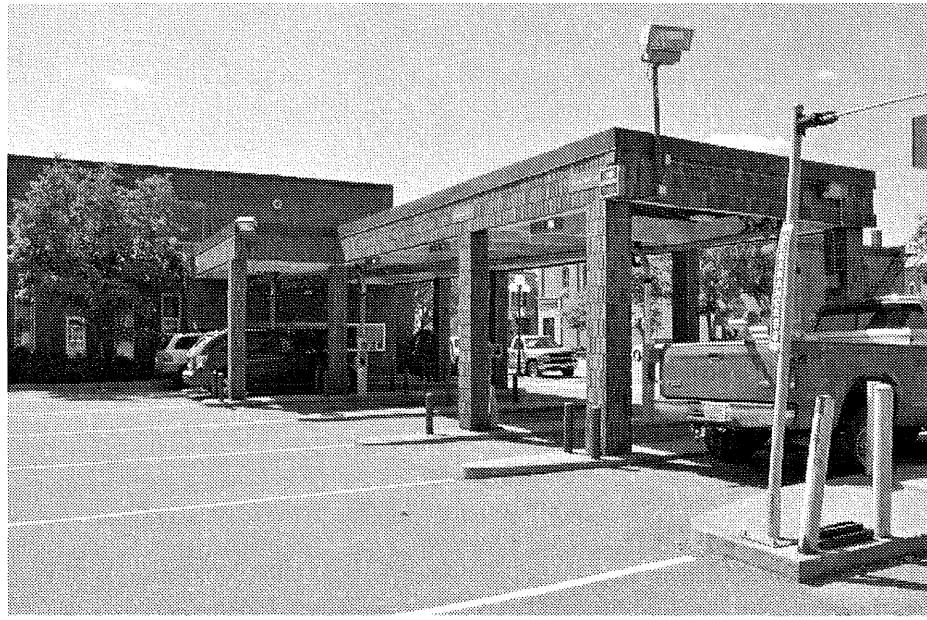


**Fig. 390. 401 Plum St.** First National Bank of Red Wing, south elevation and parking lot (facing NW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 391. 401 Plum St.** First National Bank of Red Wing, drive-through banking canopy extending from the bank's east wall (facing W)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1440 425 Plum St**

**Hist Name:** **Kohn Grocery**

**Other Name:** Red Wing Laundry & Cleaners

**Built:** ca. 1905

**NR Status:** Need More Information

**HPC Status:**

Kohn Grocery, built circa 1905, is a two-story commercial building that stands at the northeastern corner of Plum and Fifth. It is faced with orangish-brown brick with smooth limestone trim. The principal facades (west and south) have rectangular window openings with 1/1 sash and continuous limestone sills and lintels. The rear has segmental-arched window openings with 1/1 sash. There is a tall door opening with a transom light at the rear of the southern facade. The storefront was remodeled circa 1955 with a brick bulkhead and large aluminum-framed display windows. Plywood now covers the transom light over the display windows, and the storefront has a modern awning. The building has a one-story circa 1955 brick-faced addition on the northern elevation. The addition has a cut-out corner entrance supported by one simple steel pole, a typical 1950s design element. A woodframe enclosed porch was added to the roof of the brick addition. (The porch is set back from the main facade and is therefore less visible than it might be if it were flush.) There is also a small woodframe addition on the rear of the brick addition.

***Historical Background***

This building stands in a small commercial area that was known as "Dutch Town" for its many families of German descent. The building was evidently constructed for Henry C. and Emma Kohn who operated a grocery here and lived above the store. Henry C. Kohn was born in Germany. In 1891 he married Emma Seebach of Red Wing, who was the daughter of German-born merchant Fred Seebach and his wife Lydia. In 1910 the Kohns lived above the store with their four children. Henry C. Kohn was elected a city alderman in 1907 or 1908. In 1920 the couple's son Clyde Kohn was also working at the store.

***Recommendation***

Kohn Grocery, built circa 1905, appears to meet National Register integrity requirements and could be eligible if found to be significantly associated with an important event or broad pattern (Criterion A) or an important person (Criterion B). It is recommended that the property merits and requires further research and evaluation to determine its National Register eligibility.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



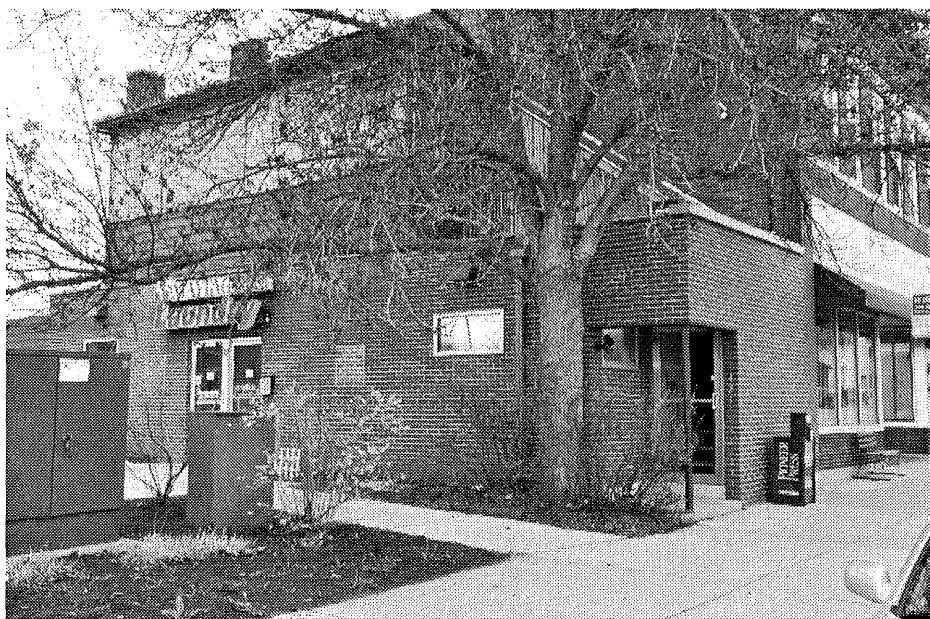
Fig. 392. 425 Plum St. Kohn Grocery, main facade (facing N)



Fig. 393. 425 Plum St. Kohn Grocery, main facade and south side (facing N)

**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 394. 425 Plum St. Kohn Grocery, addition on north side (facing E)**



**Fig. 395. 425 Plum St. Kohn Grocery, intact rear elevation and north addition (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

### GD-RWC-1441 501 Plum St

**Hist Name:** Usem Furniture  
**Other Name:** Salvation Army (N part)  
**Built:** ca. 1958  
**NR Status:** Not Eligible  
**HPC Status:**

Usem Furniture, built circa 1958, is located at the southeastern corner of Plum and Fifth. It is a one-story, smooth concrete block building. The main facade is faced with medium-brown brick which wraps around the northwestern corner. The building has rectangular window openings filled with glass block. The intact storefront has large aluminum-faced display windows. It now has a fixed awning. The building has at least two additions: a circa 1965 concrete block addition that consists of a one-story, brick-faced portion immediately to the south (facing Plum St.), and a later (ca. 1970s?) two-story addition adjacent to the alley. The two additions form an L-shape that wraps around the small building at 511 Plum St. (see GD-RWC-1442), which was also eventually part of the Usem Furniture store.

#### ***Historical Background***

This building stands in a small commercial area that was known as "Dutch Town" for its many families of German descent.

The previous building on this site was a woodframe store and attached dwelling that faced Fifth Street. For at least 20 years in the early 20th century it was the store and home of Russian (Russian-Jewish) immigrants Max and Clara Proman and their children Jessie and Sam. The Promans' store (at some point called the People's Store) sold second-hand items, stoves, hides, furs, horses, wagons, and furniture. (Second-hand, rag, or junk businesses were a niche particularly filled by Jewish immigrants to early 20th century Minnesota.) By 1930 the Promans still operated the store but were living in a house at 717 Third Street. The household in 1930 also included Jessie's husband Louis Usem and Jessie and Louis's infant son Arnold. In 1935 the People's Store was purchased by Louis and Jessie Usem from Jessie's parents and became known as Usem Furniture. The 1948 city directory lists Louis and Jessie Usem as living at 1417 S. Park. In 1957 or 1958 the Usems replaced the woodframe store with the current concrete block, brick-faced store. The Usems expanded the store to the east circa 1965 and then to the northeast, perhaps in the 1970s.

#### ***Recommendation***

Usem Furniture, built circa 1958, has two post-1960 additions. It is recommended that the property does not meet National Register integrity requirements and is ineligible for the National Register.

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 396. 501 Plum St. Usem Furniture, main facade (facing E)**



**Fig. 397. 501 Plum St. Usem Furniture, main facade and south addition (with a single window) (facing N)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 398. 501 Plum St.** Usem Furniture, two-story addition at left; rear of original building at right (facing SE)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1442 511 Plum St**

**Hist Name:** **Bernie's Tire Shop**  
**Other Name:** Salvation Army (S part)  
**Built:** ca. 1920  
**NR Status:** Not Eligible  
**HPC Status:**

The former Bernie's Tire Shop, built circa 1920, is located on the eastern side of Plum Street, on the northern side of an alley. It is a small false-fronted commercial building faced with painted brown brick. It has a gabled roof and a stepped or crenelated parapet wall with terra cotta coping. There are three panels of decorative brickwork below the parapet and a simple rectangular outline of brick (to frame a sign) above the storefront. The southern side wall has rectangular window openings with brick sills and poured concrete lintels. At the eastern end of this wall is a vehicle entrance with a cast iron lintel. The original wooden hinged door has been replaced by a fiberglass roll-up garage door.

In the mid-20th century, when the building was evidently owned by Usem Furniture next door to the north, this storefront was remodeled with aluminum-framed windows and door. Around 1965 Usem Furniture expanded their building, constructing a one-story addition on the northern side of the former Bernie's Tire Shop, and a two-story addition on the rear (eastern) side of the former Bernie's. These additions completely obscure the northern and eastern sides of Bernie's. (Usem Furniture was inventoried separately: see 501 Plum St.; GD-RWC-1441.)

***Historical Background***

This building stands in a small commercial area that was known as "Dutch Town" for its many families of German descent. The 1932 city directory lists Bernie's Tire Shop in this building. Bernie's was owned by Bernard Holmquist who lived at 1325 W. 5th Street in 1932. The business was also known as Dunlop Tire Shop since it sold the Dunlop brand of tires.

The 1902 Sanborn insurance map shows a previous hip-roofed building on this site. The 1910 and 1917 Sanborn maps show a 1 1/2-story woodframe building. It is labeled "warehouse" on the 1910 map and "stove warehouse" on the 1917 map. The 1927 Sanborn map shows a brick-veneered building of the same footprint, which may indicate that the earlier building was remodeled with a brick exterior. On the 1927 map the building is labeled a store; attached to the rear (eastern) side is a two-section woodframe furniture warehouse. The 1927-updated-to-1943 Sanborn shows the same information as the 1927 map.

***Recommendation***

The building at 511 Plum Street was built circa 1920 and in the 1930s was Bernie's Tire Shop. While much of the exterior brickwork remains intact, two of the exterior facades of what was originally a detached structure have been obscured by later construction. In addition, the storefront, which comprises a significant part of the main facade because the building is small, has been modernized. Because of these changes, it is recommended that the property does not retain sufficient historic integrity to meet National Register requirements.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 399. 511 Plum St.** Bernie's Tire Shop, main facade (facing N)



**Fig. 400. 511 Plum St.** Bernie's Tire Shop, south side (facing N)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1443 512 Plum St**

**Hist Name:** Kruger Garage

**Other Name:** Al's Antique Mall (N part)

**Built:** ca. 1920

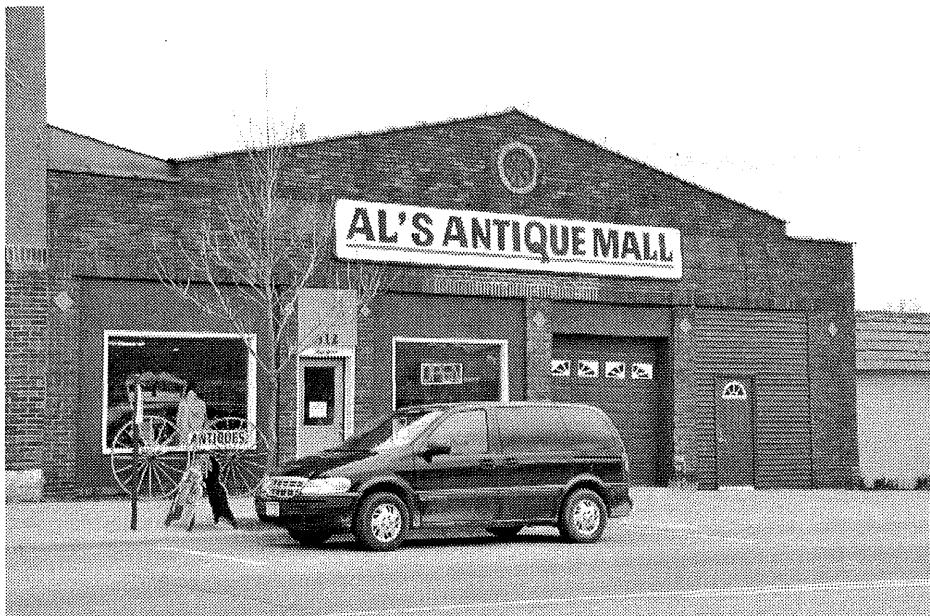
**NR Status:** Not Eligible

**HPC Status:**

This circa 1920 building was constructed as an auto repair, storage, sales business called Kruger Garage. It stands in a small commercial area that was known as "Dutch Town" for its many families of German descent. Plum Street has historically been a highway street, most recently numbered Minnesota Highway 58.

The building's main facade is faced with dark brown textured brick. At the top of the facade is a stepped and triangular parapet wall decorated with the inset design of a wheel, made of bricks. The storefront openings have brick soldier course lintels. The storefront level has been altered with stucco, a panel of vinyl siding, a fiberglass roll-up door, and two modern display windows. The rear facade is largely intact with a hollow clay tile wall and large rectangular window openings (probably once industrial sash) to provide good lighting for the service area.

The property is too altered to meet National Register integrity requirements.



**Fig. 401. 512 Plum St. Kruger Garage, now the north part of Al's Antique Mall (facing W)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1444 514 Plum St****Hist Name:****Livery****Other Name:**

Al's Antique Mall (S part)

**Built:**

ca. 1880

**NR Status:**

Not Eligible

**HPC Status:**

This building is located on the western side of Plum Street adjacent to an alley. It is faced with a brown brick, possibly over a circa 1880 woodframe building. Much of the brick is painted. Large limestone foundation blocks are visible at the base of the main facade. The building has a brick false front topped by a metal cornice. There is a mix of rectangular and segmental-arched window and door openings. Some openings facing the alley have timber lintels; most have concrete sills. Most are now blocked with wood. On the rear is a circa 1950, concrete block, single-stall garage addition. The storefront has been altered with brick, stucco, and modern display windows.

This building stands in a small commercial area that was known as "Dutch Town" for its families of German descent. The building on this site is labeled "livery" on the 1910 Sanborn insurance map and "feed" on the 1917 map. By the time of the 1927 map this building was an annex to Kruger Garage next door at 512 Plum (GD-RWC-1443). The detached livery building at the rear was evidently associated with 514 Plum. (It was inventoried separately: see 315 W. 5th St.; GD-RWC-1406).

The property is too altered to meet National Register integrity requirements.



Fig. 402. 514 Plum St. Livery, now the south part of Al's Antique Mall (facing W)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-018 113 Potter St**

**Hist Name:** **Simmons Milling-Red Wing Milling**  
**Other Name:** Archer Daniels Midland (ADM)  
**Built:** 1901  
**NR Status:** Not Eligible  
**HPC Status:** In Historic Mall District

This large, altered Archer Daniels Midland (ADM) plant is located northeast of the intersection of Main and Plum Streets in the northeastern corner of downtown Red Wing, on the southern bank of the Mississippi River.

The present-day ADM plant overlaps with another inventoried property, the Red Wing Harbor and Levee (Levee Road; GD-RWC-1424). (See that property.) The riverbank wharf is considered part of both the ADM facility and the Red Wing Harbor and Levee for the purposes of this cultural resources inventory.

The former Milwaukee Road (now Soo Line) railroad tracks run east-west through the northern part of the ADM complex.

At the northeastern corner of Main and Plum Streets is a large bituminous employee parking lot that is screened on the west and south sides by a recent wrought-iron fence supported by brick-veneered concrete block piers. A plaque along Main Street commemorates Music Hall which once stood on the site.

At the core of the ADM plant are parts of two historic plants: Simmons Milling, later Red Wing Milling, at 113 Potter (on the eastern side of Potter Street at the railroad tracks); and Red Wing Linseed Mills at 116 Potter (its historical address on Sanborn maps; see GD-RWC-1450).

Gemini Research did not conduct detailed fieldwork, but observed the ADM plant from its edges. Some remaining Red Wing Milling structures are described below. For three remaining Red Wing Linseed Mills structures, see a separate inventory of 116 Potter St. (GD-RWC-1450).

*Simmons Milling Flour Mill* (1901). On the eastern side of Potter Street is the historic Simmons Milling main building, a five-story mill. The first story is built of coursed ashlar limestone and the upper floors are faced with red-brown brick.

*Simmons Milling Warehouse* (1901; enlarged and altered). East of the flour mill just described is a five-story building. The first story is coursed ashlar limestone that matches that of the flour mill. The upper stories are faced with smooth concrete. This was a 2 1/2-story warehouse for flour and bran; the upper stories were added after 1943.

*Red Wing Milling Plant Structure* (northwest corner Main and Potter; ca. 1950). At the northwestern corner of Main and Potter is an altered multistory structure of unknown age and function. It is faced with blue corrugated metal.

*Red Wing Milling Elevator* (on riverbank; ca. 1963). On the riverbank north of the railroad is an altered circa 1963 elevator. A two-level elevated steel conveyor links the elevator to the main plant on the southern side of the tracks.

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

*Red Wing Milling Elevator* (west of Potter St.; ca. 1940-1990). Near the western end of the present ADM complex are three massive steel circular bins and a poured concrete multi-shaft elevator.

*ADM Grain Bins* (east of Bluff St.; ca. 1975-1990). At the eastern end of the present ADM complex are 12 circular steel bins of three sizes.

*ADM Elevator and Bins* (northeast corner Main and Potter; ca. 1960-1990). At the northeastern corner of Main and Potter are two large circular steel grain bins, a poured concrete elevator with six circular bins, and a tall blue (glass-lined?) metal silo.

### ***Historical Background***

Simmons Milling Company was founded in 1901 and built a flour mill at the southeastern corner of Potter Street and the railroad that year. In 1907 the name was changed to Red Wing Milling Company. The flour mill was acquired by Archer Daniels Midland (ADM) in 1970. In 1971 ADM acquired the Pittsburgh Plate Glass linseed oil plant (formerly Red Wing Linseed) next door to the east (at 116 Potter; GD-RWC-1450). ADM stopped milling flour in 1981 and now makes linseed and sunflower oil.

### ***Recommendation***

The former Red Wing Milling Company is too altered to be considered individually eligible for the National Register. The property is not located within the bounds of a historic district that is either listed on, or potentially-eligible for, the National Register.

The northern part of the ADM facility is, however, located within the local Historic Mall District, a historic district designated by the City. The part of ADM included in the local historic district is located within, and north of, the Soo Line railroad right-of-way east of Potter Street. (See Map 3.)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**Fig. 403. 113 Potter St.** Simmons Milling-Red Wing Milling, 1901 brick flour mill in center of photo (brick structures farther left are former Red Wing Linseed Mills) (facing E)

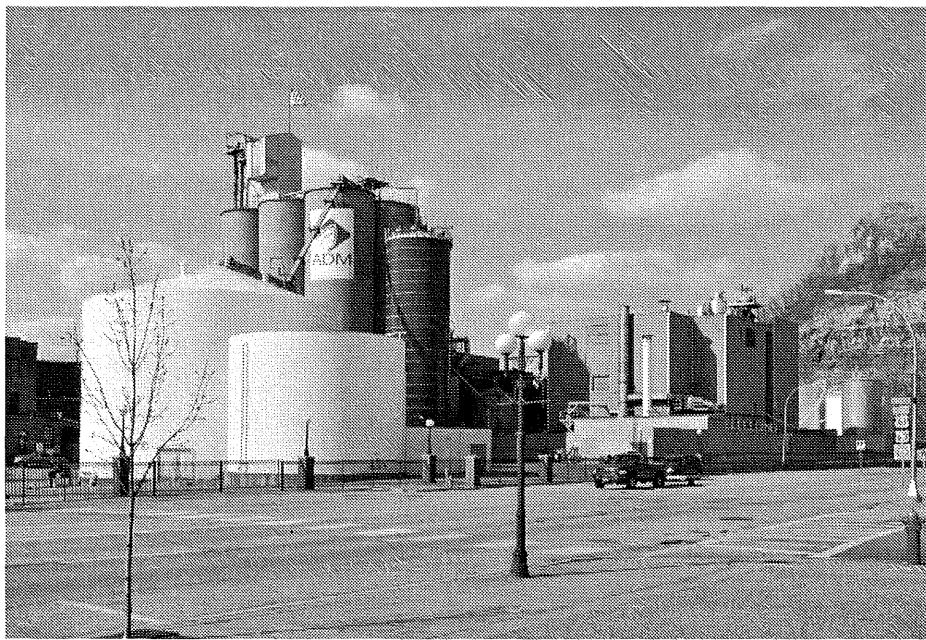


**Fig. 404. 113 Potter St.** Simmons Milling-Red Wing Milling, south side of 1901 brick flour mill (facing N)

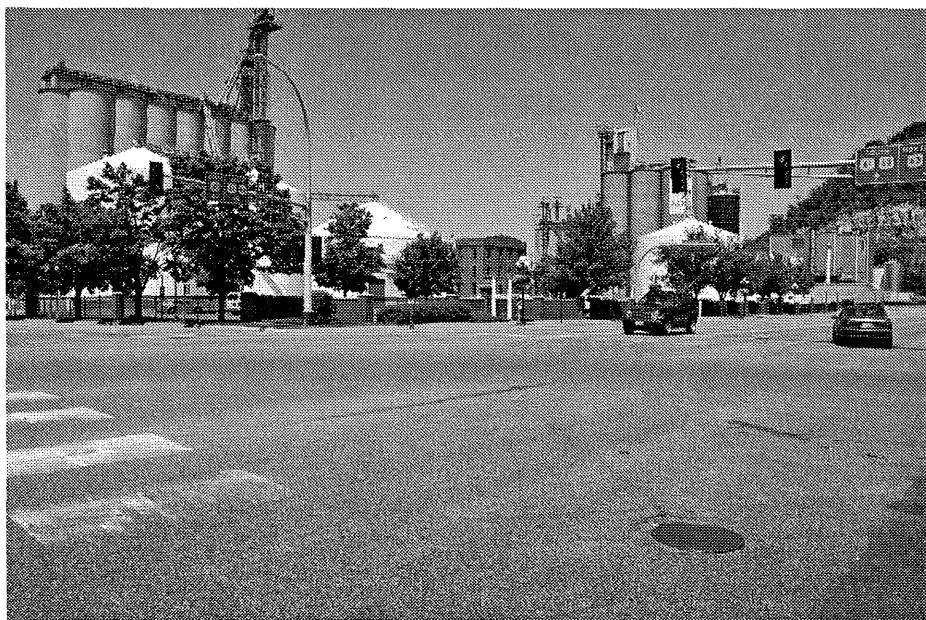
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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES



**Fig. 405. 113 Potter St.** Simmons Milling-Red Wing Milling, structures at the northeast corner of Potter and Main (facing N)



**Fig. 406. 113 Potter St.** Simmons Milling-Red Wing Milling, the plant from the southwest (facing N)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1445 301 Potter St**

**Hist Name:** Behren's Machine Service

**Built:** 1947

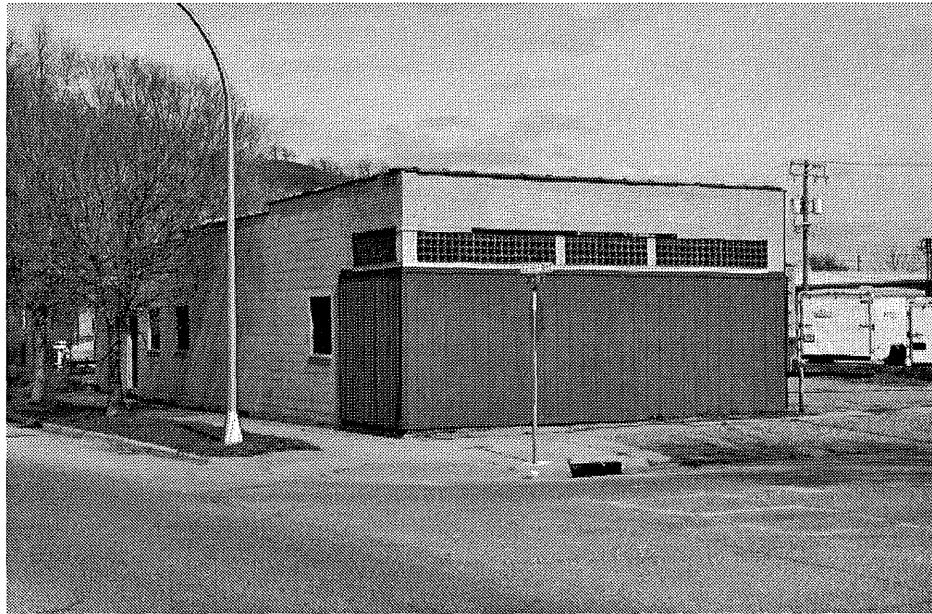
**NR Status:** Not Eligible

**HPC Status:**

The former Behren's Machine Service, built in 1947, is located at the southeastern corner of Potter and Third. It is an altered one-story concrete block building with main facade brick (now painted) that wraps around the front corners of the building. Most of the storefront has been obscured with vertical wood, but the storefront's glass block transom window is still visible. Some window openings retain industrial sash. There is a circa 1960 concrete block addition on the southern side.

Behrens Auto and Industrial Supply Company was established in 1936 in the building at 320-324 Plum St. (GD-RWC-378) by H. W. Behrens and his son R. H. Behrens. The firm moved to this building at 301 Potter in 1947. The company is now located at 207-217 W. Main St. (GD-RWC-299).

The property is too altered to meet National Register integrity requirements.



**Fig. 407. 301 Potter St. Behren's Machine Service (facing E)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-1446 321 Potter St**

**Hist Name:** **Light Industrial Building**

**Other Name:** A-1 Commercial Cleaning-Annadee's

**Built:** ca. 1955

**NR Status:** Not Eligible

**HPC Status:**

This light industrial complex is located at the northeastern corner of Potter and Fourth Streets. The oldest portion is a circa 1955, one-story, flat-roofed building faced with red-brown brick. It has a vehicle opening, rectangular window openings, and poured concrete trim. Attached to the eastern side is a one-story circa 1960s addition that has been altered with a stucco exterior and small square windows facing Fourth Street. Attached to the northern side of the brick-faced building is a large one-story, circa 1970s concrete block warehouse addition that is now operated as a store called Annadee's Closet. The warehouse has a false front and four vehicle openings on the Potter Street side.

The property is too altered to meet National Register integrity requirements.



**Fig. 408. 321 Potter St. Light Industrial Building (facing N)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-1447 510 Potter St**

**Hist Name:** House

**Built:** ca. 1910

**NR Status:** Not Eligible

**HPC Status:**

This house has substantial alterations including vinyl siding, porch changes, and a rear porch addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 409. 510 Potter St. House (facing S)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-711 511 Potter St****Hist Name:** House**Built:** 1916**NR Status:** Not Eligible**HPC Status:**

This Craftsman-style house has a central shed-roofed dormer. The house has architraves at the top of the window casings and 4/1 sash. The front porch, which is within the massing of the roofline, has been enclosed, and there is a rear addition. This property is too altered to meet National Register integrity requirements.

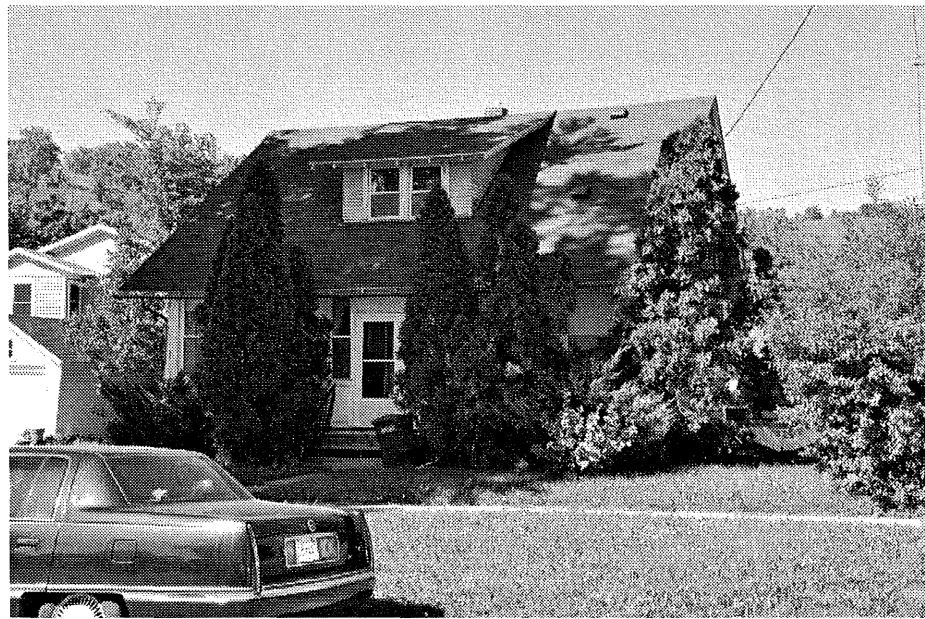


Fig. 410. 511 Potter St. House (facing N)

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-768 304 Sanderson St**

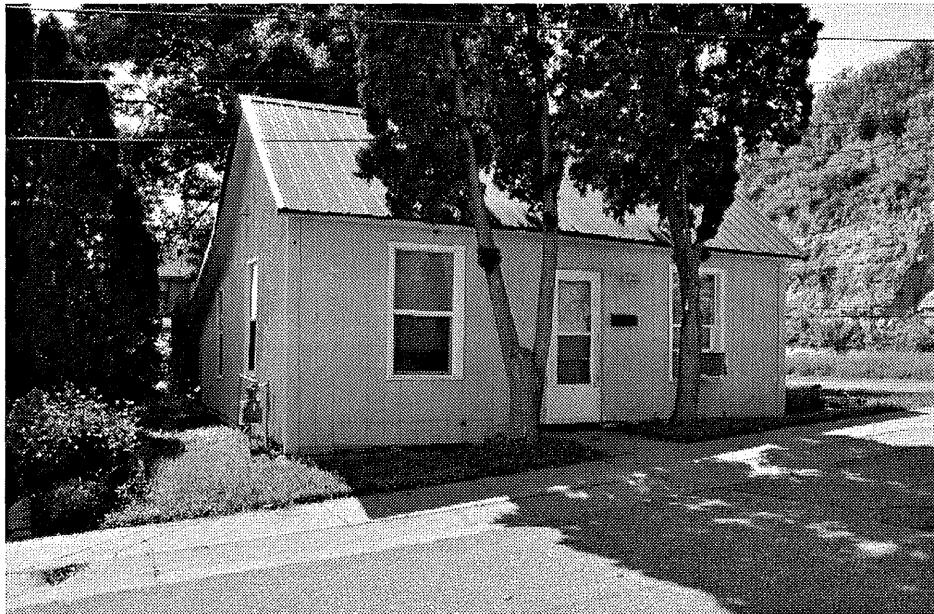
**Hist Name:** House

**Built:** ca. 1875

**NR Status:** Not Eligible

**HPC Status:**

This house is located just south of Barn Bluff in eastern Red Wing. It has several exterior alterations including a metal roof, plywood siding, probable porch changes, window sash replacement, and a rear addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 411. 304 Sanderson St. House (facing NW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-769 308 Sanderson St**

**Hist Name:** House  
**Built:** ca. 1915  
**NR Status:** Not Eligible  
**HPC Status:**

This house on Sanderson Street is located just south of Barn Bluff. The house's many alterations include metal siding, a porch that was replaced and later enclosed, altered window openings, window sash replacement, and rear addition(s). Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 412. 308 Sanderson St. House (facing NW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-770 309 Sanderson St**

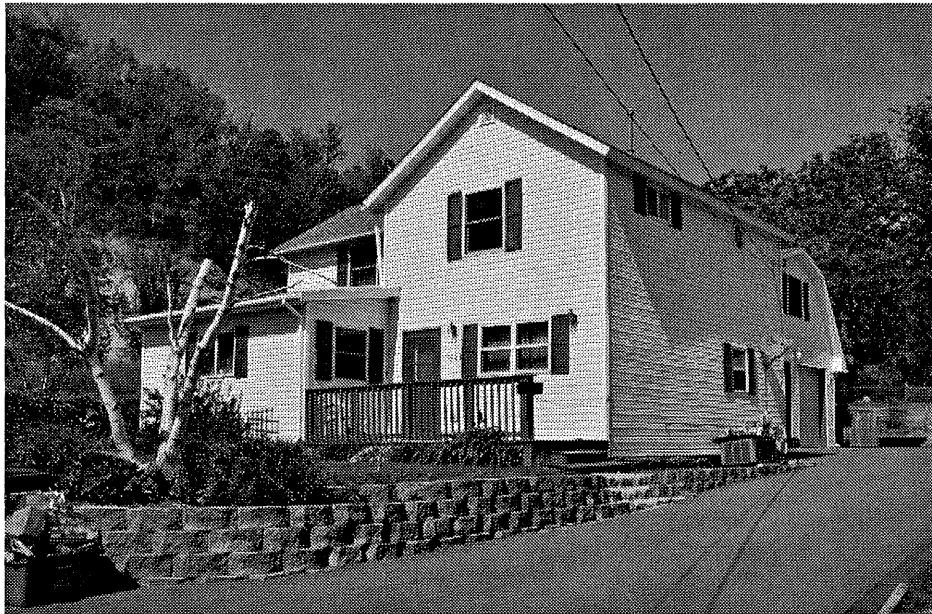
**Hist Name:** **Remshardt House**

**Built:** ca. 1875

**NR Status:** Not Eligible

**HPC Status:**

The Remshardt House is located just south of Barn Bluff. Exterior alterations include vinyl siding, porch enclosure, window openings altered, window sash replacement, a deck built on the front, and addition(s). Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 413. 309 Sanderson St. Remshardt House (facing NE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-771 310 Sanderson St**

**Hist Name:** **Erickson House**

**Built:** ca. 1905

**NR Status:** Not Eligible

**HPC Status:**

The Erickson House is located just south of Barn Bluff. It has significant exterior changes including asbestos siding, porch changes, altered window openings, window sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 414. 310 Sanderson St. Erickson House (facing W)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-772 315 Sanderson St**

**Hist Name:** Arntson House

**Built:** ca. 1885

**NR Status:** Not Eligible

**HPC Status:**

The Arntson House is located just south of Barn Bluff. It has many exterior changes including composition board siding, altered window openings, window sash replacement, and addition(s). Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 415. 315 Sanderson St. Arntson House (facing SE)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-773 318 Sanderson St****Hist Name:** Olson House**Built:** ca. 1865**NR Status:** Not Eligible**HPC Status:**

The Olson House is located just south of Barn Bluff. Its many alterations include asbestos siding, porch enclosure, window sash replacement, and addition(s). Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 416. 318 Sanderson St. Olson House (facing W)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-774 412 Sanderson St****Hist Name:** House**Built:** ca. 1875**NR Status:** Not Eligible**HPC Status:**

This house has possibly been moved to this site. It has many alterations including vinyl siding, porch changes, window sash replacement, and an addition. Architectural details have been covered and/or removed. This property is too altered to meet National Register integrity requirements.



**Fig. 417. 412 Sanderson St. House (facing SW)**

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-064 222 West Ave**

**Hist Name:** U.S. Post Office

**Built:** 1908, 1929

**NR Status:** Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

The U.S. Post Office, built in 1908, is located at the northwestern corner of West Avenue and Third Street on the western side of Red Wing's civic Mall, a multi-block wedge of land sited with parks, churches, and important public buildings. The post office has an ornate, formal, symmetrical design. The building is faced with tan-yellow brick and smooth tan limestone. The post office was designed by U.S. Treasury architect James Knox Taylor and built by Red Wing contractor William J. Loncor. A stylistically-compatible rear wing was added in 1929. The property retains historic integrity.

The U.S. Post Office is a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



**Fig. 418. 222 West Ave. U.S. Post Office (facing SW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-068 308-314 West Ave**

**Hist Name:** Lidberg Doublehouse

**Built:** ca. 1880

**NR Status:** Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

This doublehouse or duplex, built circa 1880, was moved to the site circa 1925. It does not have a street presence, but rather stands behind the Red Wing Framing building at 312 West Avenue (GD-RWC-069). The main facade of the doublehouse faces east and it is accessed from the block's east-west alley. It is a two-story woodframe structure with a limestone rubble foundation. It has boxlike massing, a symmetrical design, and a truncated hipped roof. The main entrance has a bracketed, curving, copper-clad overhang (an alteration?) that shelters two front doors. The window openings are rectangular with 4/4 sash. There is a fairly simple rear porch on the western facade.

The building is a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



**Fig. 419. 308-314 West Ave.** Lidberg Doublehouse, which stands behind Red Wing Framing and is accessed from the alley (facing NE)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-069 312 West Ave**

**Hist Name:** Chalet Studio

**Other Name:** Red Wing Framing

**Built:** ca. 1890

**NR Status:** Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

The Chalet Studio, now Red Wing Framing, was built circa 1890. It stood on the present site of the Sheldon Auditorium and was moved to this current site in 1902 when the auditorium was built. Historically it was a photographer's studio. It is a small woodframe building with a steeply-pitched gabled roof. It retains Queen Anne-style detailing. Part of the exterior is covered with stucco; it also has a circa 1920 rear addition. Behind the building is a duplex that was inventoried separately (see 308-314 West Ave.; GD-RWC-068).

This is a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)



**Fig. 420. 312 West Ave. Chalet Studio (facing NW)**

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**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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**GD-RWC-070 320 West Ave**

**Hist Name: St. Paul's Evang. Lutheran Church**

**Built: 1926**

**NR Status: Contributing to Red Wing Mall Historic District**

**HPC Status: In Historic Mall District**

St. Paul's Evangelical Lutheran Church was built in 1926 and dedicated in July 1927. It is located at the northwestern corner of East Avenue and Fourth Street and is one of several churches on Red Wing's multi-block civic Mall. The church superstructure is faced with textured brown brick and the foundation is built of, or faced with, random ashlar rockfaced limestone. The trim is also limestone. The main entrance is located in the base of the tower. There is an original education wing adjacent to West Avenue. A sensitively designed addition was built in 1998 at the northwestern corner of the church.

St. Paul's is a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. The local historic district boundaries exclude the 1998 addition to the church. (See Map 3.)



**Fig. 421. 320 West Ave.** St. Paul's Evang. Lutheran Church; the education wing is right of the tower (facing SW)

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## BRIEF DESCRIPTION OF INVENTORIED PROPERTIES

**GD-RWC-081 321 West Ave**

**Hist Name:** Christ Episcopal Church

**Built:** 1871, 1898

**NR Status:** Contributing to Red Wing Mall Historic District

**HPC Status:** In Historic Mall District

Christ Episcopal Church, built in 1871, is located on the southern side of Third Street between East and West Avenues within the city's civic Mall, a multi-block wedge of land populated with parks, churches, and important public buildings. It is a Gothic Revival-style church built of coursed ashlar rockfaced limestone that was quarried on Barn Bluff. Christ Church was designed by Henry Dudley of New York and built in 1871 by Red Wing contractor Daniel C. Hill to replace a previous woodframe church on the site. The tower was added in 1898. The attached parish house, built in 1910, faces south (inventoried separately; see 508 W. 4th St.; GD-RWC-082).

Christ Church is a Contributing property within the Red Wing Mall Historic District, which was listed on the National Register in 1980. See a brief description of the National Register-listed Red Wing Mall Historic District (GD-RWC-001) in Chapter 3. (See Map 2.)

The property is also within the local Historic Mall District, a historic district designated by the City. (See Map 3.)

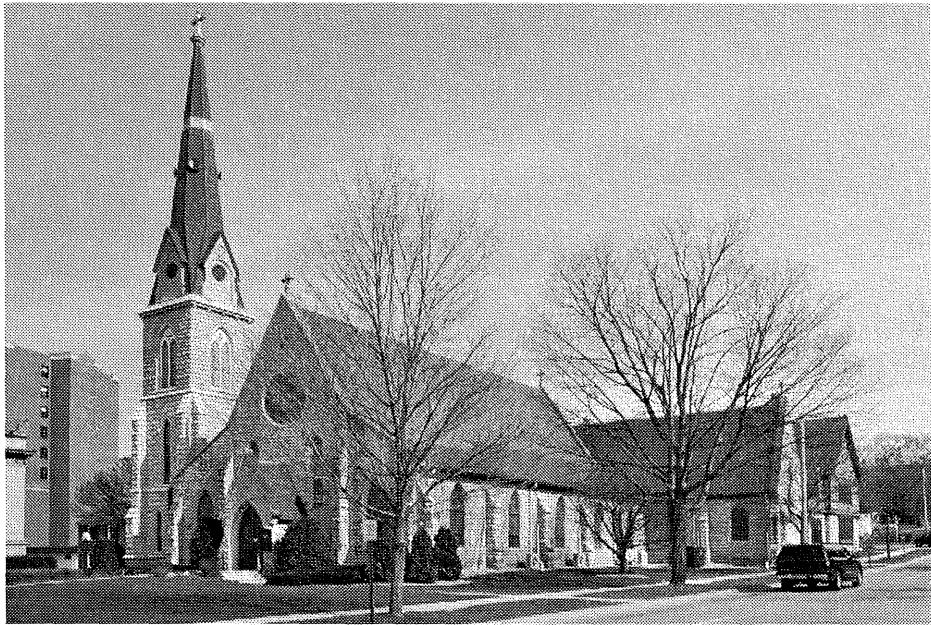


Fig. 422. 321 West Ave. Christ Episcopal Church (facing NW)

**BRIEF DESCRIPTION OF INVENTORIED PROPERTIES**

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## **APPENDIX A**

The table below is a list of the 292 Phase I architecture-history properties inventoried in association with the Red Wing Bridge and Route Improvement Project. They are arranged in order by SHPO Inventory Number. See Chapter 3 for a list of the properties arranged in order by street address.

Property locations are shown on this report's Map 4. A photo of each property appears in Chapter 5. (There are additional photos on the inventory forms on file at the Minnesota State Historic Preservation Office.)

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**Red Wing Bridge and Route Improvement Project: Phase I Architecture-History Properties  
(listed in order by SHPO Inventory Number)**

SHPO Inv #	Address		Historic Name	Other Name	Not Eligible for NRHP	Requires Phase II
GD-RWC-001			Red Wing Mall Historic District			Phase II
GD-RWC-002	443	3rd St. W	Sheldon Memorial Auditorium			Phase II
GD-RWC-004	406	Main St. W	St. James Hotel Complex			Phase II
GD-RWC-005	401	Levee St.	Red Wing Iron Works			Phase II
GD-RWC-006	409	Main St. W	Keystone Building	DeLeon Jewelers		Phase II
GD-RWC-007	305-313	Bush St.	Gladstone Building	RW Arts-Apropos Home-Clothes Horse		Phase II
GD-RWC-008	219-221	3rd St. W	Kappel Wagon Works	Knudsen's Cheesecake		Phase II
GD-RWC-009	315	4th St. W	Red Wing City Hall			Phase II
GD-RWC-010	325-327	Plum St.	Hotel de Batio	Eagle House Apts-New Life Church		Phase II
GD-RWC-012	316-318	Bush St.	Berglund's Stone Block-AOUW	Kiki's Simple Abundance-Body Kneads		Phase II
GD-RWC-013	319	3rd St. W	Anderson Building-Daily Eagle	Tee it Up-Red Wing Appliance		Phase II
GD-RWC-015	726	Main St. W	Chicago Great Western Depot	Caribou Coffee		Phase II
GD-RWC-018	113	Potter St.	Simmons Milling-Red Wing Milling	Archer Daniels Midland (ADM)	Not Eligible	
GD-RWC-019	129	Main St. W	Red Wing Shoe Company			Phase II
GD-RWC-022			Red Wing Residential Historic District			Phase II
GD-RWC-023	927	3rd St. W	Lawther House	Octagon House Bed & Breakfast		Phase II
GD-RWC-026	216	Dakota St.	Hewitt Laboratory			Phase II
GD-RWC-064	222	West Ave.	U.S. Post Office			Phase II
GD-RWC-065	617	3rd St. W	Smith House			Phase II
GD-RWC-066	607-609	3rd St. W	Smith Duplex			Phase II
GD-RWC-067	603	3rd St. W	Cliff's Typewriter Shop	Farmers Insurance-Chris' Cuts		Phase II
GD-RWC-068	308-314	West Ave.	Lidberg House			Phase II
GD-RWC-069	312	West Ave.	Chalet Studio	Red Wing Framing		Phase II
GD-RWC-070	320	West Ave.	St. Paul's Evang. Lutheran Church			Phase II
GD-RWC-081	321	West Ave.	Christ Episcopal Church			Phase II
GD-RWC-082	508	4th St. W	Christ Church Parish House	Wells Memorial Parish House		Phase II
GD-RWC-091	225	East Ave.	Red Wing Public Library			Phase II
GD-RWC-093	315	East Ave.	East Avenue Professional Building	Bergan Dental		Phase II

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GD-RWC-095	454	4th St. W	Masonic Temple	Vogel and Gorman Attorneys	Phase II
GD-RWC-106	418-420	Levee St.	Chic, Milw & St Paul Passenger Depot	Amtrak Depot-Visitors Bureau	Phase II
GD-RWC-107	604	Main St. W	Preston's Auto Sales	Taco Johns	Phase II
GD-RWC-108	116	Broad St.	State Employment Office	Royal Crown Dental Studio	Phase II
GD-RWC-109	102	Broad St.	Red Wing Malting Company	Fleischmann Malting Company	Phase II
GD-RWC-111	432	Levee St.	Levee Park		Phase II
GD-RWC-113	ca. 506	3rd St. W	Broadway Park	Rich, John H., Park	Phase II
GD-RWC-115	702	3rd St. W	Hayes House		Phase II
GD-RWC-118	710-712	3rd St. W	Bragg-Olson House		Phase II
GD-RWC-121	718-724	3rd St. W	Ahlers Flats		Phase II
GD-RWC-123	726-728	3rd St. W	Worden Flats		Phase II
GD-RWC-142	1008	3rd St. W	Sprague House		Phase II
GD-RWC-149	1104	3rd St. W	Wilkinson House		Phase II
GD-RWC-280			Barn Bluff	Mount LaGrange	Phase II
GD-RWC-281	ca. 1300	Levee Rd.	Red Wing Yacht Club		Phase II
GD-RWC-299	207-217	Main St. W	Red Wing Creamery	Behren's Supply Company	Phase II
GD-RWC-300	223	Main St. W	Kempe Block	Barrel House	Phase II
GD-RWC-301	301	Main St. W	Sterling's Brick Block	Ferrin's Furniture (NE part)	Phase II
GD-RWC-302	302-306	Main St. W	Buchholz-Hadler-Moeller Block	Riverfront Center-Red Wing Shoe Co. HQ	Phase II
GD-RWC-303	303	Main St. W	Sparrell's Block	Ferrin's Furniture (N part)	Phase II
GD-RWC-304	305	Main St. W	Sterling and Co. (W part)	Ferrin's Furniture (NW part)	Phase II
GD-RWC-305	307-311	Main St. W	J. C. Penney Company	Sarah's Restaurant	Phase II
GD-RWC-306	308	Main St. W	Day Block	Riverfront Center-Red Wing Shoe Co. HQ	Phase II
GD-RWC-307	310	Main St. W	Betcher Block	Riverfront Center-Red Wing Shoe Co. HQ	Phase II
GD-RWC-308	312-316	Main St. W	Wilson-Baker Block	Riverfront Center-Red Wing Shoe Co. HQ	Phase II
GD-RWC-310	318-322	Main St. W	Simmons-Swanson Block	Riverfront Center-Red Wing Shoe Co. HQ	Phase II
GD-RWC-311	319-321	Main St. W	Smith-McDonald Block	Inspired Home & Flower-Excell Financia I	Phase II
GD-RWC-312	323	Main St. W	Towne Block	Red Wing Confectionery	Phase II
GD-RWC-314	325-327	Main St. W	Lawther Block	Confluence Marketing-Indigo Salon	Phase II
GD-RWC-315	329	Main St. W	Clark and Hawley Block	Moments on Main	Phase II
GD-RWC-317	413-423	Main St. W	Boxrud Brothers Block	Riverbend Market-Bella Casa Interiors	Phase II
GD-RWC-318	420-426	Main St. W	Pioneer Garage	Johnson Tire Service	Phase II
GD-RWC-320	433-435	Main St. W	Phelps Block	Brickhouse Pub and Grill	Phase II

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GD-RWC-321	437-439	Main St. W	Cogel-Betcher Block	Red Wing Chamber of Commerce	Phase II
GD-RWC-324	313	3rd St. W	I OOF Hall	Carlson's Sports Center	Phase II
GD-RWC-325	318	3rd St. W	Metro Theater	Malmquist Home Furnishings	Phase II
GD-RWC-326	320	3rd St. W	Anderson Shoes	Cut Above Home	Phase II
GD-RWC-327	321	3rd St. W	Commercial Building	Body and Soul	Phase II
GD-RWC-328	401-411	3rd St. W	Wilkinson Building	Red Wing Corner Drug	Phase II
GD-RWC-329	410-412	3rd St. W	Union Block	Hanish Bakery (E part)	Phase II
GD-RWC-330	415-419	3rd St. W	Brink-Hawkins-Luce Block	Shear Perfection-Coffeehouse	Phase II
GD-RWC-331	414-416	3rd St. W	Centennial Block	Patterson Chiro-Hanish Bakery (W part)	Phase II
GD-RWC-332	418	3rd St. W	Ahler Electric	Midwest Vision Center	Phase II
GD-RWC-333	420-430	3rd St. W	Goodhue County Co-op Dept. Store	Cornerstone Community Church	Phase II
GD-RWC-334	425	3rd St. W	Magnussen's Pharmacy	Best of Times Bookstore	Phase II
GD-RWC-335	427	3rd St. W	Commercial Building	Blue Moon	Phase II
GD-RWC-336	433	3rd St. W	Red Wing Printing Company	Republican Eagle Building	Phase II
GD-RWC-337	432-438	3rd St. W	Webster Livery Stable	Kask Electric-Struss Optical	Phase II
GD-RWC-338	312	4th St. W	Commercial Building	Walt's Shoe Service	Phase II
GD-RWC-339	418	4th St. W	Northwestern Bell Telephone Co.	Qwest	Phase II
GD-RWC-340	202	Bush St.	Lawther Block	Uffda Shop (N pt)-Townhouse Condos	Phase II
GD-RWC-341	204-208	Bush St.	Lawther Block Addition	Uffda Shop (S pt)-Christian Books	Phase II
GD-RWC-342	207-209	Bush St.	Lawther Block	Wise Penny	Phase II
GD-RWC-343	210	Bush St.	Smith Block	Subhouse	Phase II
GD-RWC-344	211-213	Bush St.	Lawther Block	Life's Little Oasis	Phase II
GD-RWC-345	212	Bush St.	Wallower Block	Great Dragon Buffet	Phase II
GD-RWC-346	215-221	Bush St.	Busch Block	Josephsons-Staghead-Bev's Cafe	Phase II
GD-RWC-349	226-228	Bush St.	Goodhue County National Bank	Associated Bank	Phase II
GD-RWC-350	223	Bush St.	Hoffman Block	Claydon's Hallmark Shop (N part)	Phase II
GD-RWC-351	225-227	Bush St.	Smith-Masonic Block	Claydon's Hallmark Shop (S part)	Phase II
GD-RWC-352	301-303	Bush St.	Lawther Post Office Block	Howe's Jewelers-Hana No'eau	Phase II
GD-RWC-354	310-314	Bush St.	The Casino	Thunder Clan Trading Post	Phase II
GD-RWC-355	315-317	Bush St.	McCart Livery Stable	Hallstroms	Phase II
GD-RWC-356	320	Bush St.	Dunham Beauty Shop	Lori's New York Fashions	Phase II
GD-RWC-357	325	Bush St.	Chief Theater	Blue Duck	Phase II
GD-RWC-358	328	Bush St.	Edbom Conoco Station	Gernentz Auto Service	Phase II

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GD-RWC-359	327	Bush St.	Swanson Short Order Restaurant	River City Dental	Phase II
GD-RWC-360	201-207	Plum St.	Lawther-Park Block	Travel Leaders-Sonus Hearing Care	Phase II
GD-RWC-361	210	Plum St.	Globe Electric Light Company	Ferrin's Furniture (S part)	Phase II
GD-RWC-362	212	Plum St.	Sterling Block	Ferrin's Furniture (S part)	Phase II
GD-RWC-363	213	Plum St.	Little Green Front Restaurant	5 de Mayo	Phase II
GD-RWC-364	214	Plum St.	Linne Building	Ferrin's Furniture (S part)	Phase II
GD-RWC-365	217-221	Plum St.	National Guard Armory-Masonic Hall	Armory Mall	Phase II
GD-RWC-366	302	Plum St.	Greenwood Block	Liberty's Restaurant (N part)	Phase II
GD-RWC-367	304	Plum St.	Lindberg Block	Liberty's Restaurant (middle part)	Phase II
GD-RWC-368	303	Plum St.	Lyons Brick Block		Phase II
GD-RWC-369	306-308	Plum St.	Boston Block	Liberty's Restaurant (S part)	Phase II
GD-RWC-370	307	Plum St.	Red Wing Creamery	Red Men Club of Red Wing	Phase II
GD-RWC-371	309-313	Plum St.	Clum Block	Metro Apartments	Phase II
GD-RWC-372	310	Plum St.	Smith Harness Shop	Roxx Bar and Grill	Phase II
GD-RWC-373	312-314	Plum St.	White Front Clothing Store	B.S. Bar	Phase II
GD-RWC-375	316	Plum St.	Winters Building		Phase II
GD-RWC-376	318	Plum St.	Peterson Meat Market	Sorenson Financial	Phase II
GD-RWC-378	320-324	Plum St.	Salvation Army	Elks Lodge 845 (N part)	Phase II
GD-RWC-379	326-330	Plum St.	Becker Grocery	Elks Lodge 845 (S part)	Phase II
GD-RWC-380	135	3rd St. E	Brugge House		Not Eligible
GD-RWC-381	141	3rd St. E	Olson House		Not Eligible
GD-RWC-382	147	3rd St. E	Anderson House		Not Eligible
GD-RWC-383	157	3rd St. E	Sundell House		Not Eligible
GD-RWC-384	120	4th St. E	Gunderson House		Not Eligible
GD-RWC-385	121	4th St. E	Oskey House		Not Eligible
GD-RWC-386	124	4th St. E	Wilson House		Not Eligible
GD-RWC-387	125	4th St. E	Hubbard House		Not Eligible
GD-RWC-388	130	4th St. E	Johnson House		Not Eligible
GD-RWC-389	133	4th St. E	Culbertson-Gipfort House		Phase II
GD-RWC-390	134	4th St. E	Bordson House		Not Eligible
GD-RWC-391	137	4th St. E	Hendel House		Not Eligible
GD-RWC-392	141	4th St. E	Hanson House		Not Eligible
GD-RWC-393	142	4th St. E	Lund House		Not Eligible

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GD-RWC-394	147	4th St. E	Erickson House		Not Eligible
GD-RWC-395	150	4th St. E	Gunderson House		Not Eligible
GD-RWC-396	202	4th St. E	Fogerquist House		Not Eligible
GD-RWC-397	207	4th St. E	House		Not Eligible
GD-RWC-398	213	4th St. E	Sall House		Not Eligible
GD-RWC-399	214	4th St. E	Anderson House		Not Eligible
GD-RWC-400	215	4th St. E	Hult House		Not Eligible
GD-RWC-401	220	4th St. E	House		Not Eligible
GD-RWC-402	221-223	4th St. E	House		Not Eligible
GD-RWC-403	225	4th St. E	Ellingson House		Not Eligible
GD-RWC-404	227	4th St. E	Erickson House		Not Eligible
GD-RWC-405	228	4th St. E	Ingebritson House		Not Eligible
GD-RWC-406	232	4th St. E	Landberg House		Not Eligible
GD-RWC-407	233	4th St. E	Nelson House		Not Eligible
GD-RWC-408	236	4th St. E	Swanstrom House		Not Eligible
GD-RWC-409	239	4th St. E	Seline House		Not Eligible
GD-RWC-411	243	4th St. E	Nelson House		Not Eligible
GD-RWC-412	247	4th St. E	Shakespeare House		Not Eligible
GD-RWC-413	250	4th St. E	Daily House		Not Eligible
GD-RWC-414	255	4th St. E	House		Not Eligible
GD-RWC-415	263	4th St. E	Lindell House		Not Eligible
GD-RWC-416	273	4th St. E	House		Not Eligible
GD-RWC-417	301	4th St. E	Gulbrandson House		Not Eligible
GD-RWC-418	309	4th St. E	Eichinger House		Not Eligible
GD-RWC-419	127	5th St. W	House		Not Eligible
GD-RWC-421	117	5th St. W	Warner House		Not Eligible
GD-RWC-422	111	5th St. W	Anderson House		Not Eligible
GD-RWC-423	107	5th St. W	Anderson House		Not Eligible
GD-RWC-424	101	5th St. W	Pirius House		Not Eligible
GD-RWC-425	103	5th St. E	Davidson House		Phase II
GD-RWC-426	108	5th St. E	Axelson House		Not Eligible
GD-RWC-427	112	5th St. E	Anderson House		Not Eligible
GD-RWC-428	120	5th St. E	House		Not Eligible

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GD-RWC-429	122	5th St. E	House		Not Eligible	
GD-RWC-430	128	5th St. E	House		Not Eligible	
GD-RWC-431	201	5th St. E	Johnson House		Not Eligible	
GD-RWC-432	202	5th St. E	Hendel House		Not Eligible	
GD-RWC-433	205	5th St. E	House		Not Eligible	
GD-RWC-434	209	5th St. E	Otis House		Not Eligible	
GD-RWC-435	210	5th St. E	Ogilvie House		Not Eligible	
GD-RWC-436	214	5th St. E	Lindblom House		Not Eligible	
GD-RWC-437	217	5th St. E	House		Not Eligible	
GD-RWC-438	218	5th St. E	Hanson House		Not Eligible	
GD-RWC-439	221	5th St. E	Malloy House		Not Eligible	
GD-RWC-440	222	5th St. E	Reinbold House		Not Eligible	
GD-RWC-441	225	5th St. E	Nelson House		Not Eligible	
GD-RWC-442	228	5th St. E	Berlin House		Not Eligible	
GD-RWC-443	233	5th St. E	Ferrin House		Not Eligible	
GD-RWC-445	238	5th St. E	Olson House		Not Eligible	
GD-RWC-446	241	5th St. E	Olson House		Not Eligible	
GD-RWC-447	242	5th St. E	Rask House		Not Eligible	
GD-RWC-448	244	5th St. E	Bergen House		Not Eligible	
GD-RWC-449	248	5th St. E	Heinrichs House		Not Eligible	
GD-RWC-450	252	5th St. E	House		Not Eligible	
GD-RWC-451	256	5th St. E	House		Not Eligible	
GD-RWC-453	264	5th St. E	House		Not Eligible	
GD-RWC-454	268	5th St. E	House		Not Eligible	
GD-RWC-455	272	5th St. E	House		Not Eligible	
GD-RWC-456	269	5th St. E	Colvill School	Colvill School Family Center	Not Eligible	
GD-RWC-457	304	5th St. E	Anderson House			Phase II
GD-RWC-458	312	5th St. E	House		Not Eligible	
GD-RWC-459	326	5th St. E	House		Not Eligible	
GD-RWC-461	332	5th St. E	House		Not Eligible	
GD-RWC-462	338	5th St. E	House		Not Eligible	
GD-RWC-463	342	5th St. E	House			Phase II
GD-RWC-464	402	5th St. E	House		Not Eligible	

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GD-RWC-465	410	5th St. E	House		Not Eligible	
GD-RWC-466	425	5th St. E	House		Not Eligible	
GD-RWC-467	425.5	5th St. E	House		Not Eligible	
GD-RWC-469	429	5th St. E	House		Not Eligible	
GD-RWC-711	511	Potter St.	House		Not Eligible	
GD-RWC-735	320	Bluff St.	Pratt Bottling Works	Viking Coca Cola Bottling	Not Eligible	
GD-RWC-737	403	Bluff St.	Sexton House		Not Eligible	
GD-RWC-738	409	Bluff St.	Anderson House		Not Eligible	
GD-RWC-739	413	Bluff St.	House			Phase II
GD-RWC-740	415	Bluff St.	Johnson House		Not Eligible	
GD-RWC-742	423	Bluff St.	Erickson House		Not Eligible	
GD-RWC-743	433	Bluff St.	Carlson House		Not Eligible	
GD-RWC-744	513	Bluff St.	Chellson House		Not Eligible	
GD-RWC-746	519	Bluff St.	Luft Doublehouse			Phase II
GD-RWC-768	304	Sanderson St.	House		Not Eligible	
GD-RWC-769	308	Sanderson St.	House		Not Eligible	
GD-RWC-770	309	Sanderson St.	Remshardt House		Not Eligible	
GD-RWC-771	310	Sanderson St.	Erickson House		Not Eligible	
GD-RWC-772	315	Sanderson St.	Arntson House		Not Eligible	
GD-RWC-773	318	Sanderson St.	Olson House		Not Eligible	
GD-RWC-774	412	Sanderson St.	House		Not Eligible	
GD-RWC-787	407	Green St.	House		Not Eligible	
GD-RWC-788	410	Green St.	House		Not Eligible	
GD-RWC-789	413	Green St.	Kjellstrom House		Not Eligible	
GD-RWC-790	414	Green St.	Anderson House		Not Eligible	
GD-RWC-791	417	Green St.	House		Not Eligible	
GD-RWC-795	407	Arkin St.	House		Not Eligible	
GD-RWC-796	415	Arkin St.	House		Not Eligible	
GD-RWC-797	419	Arkin St.	House		Not Eligible	
GD-RWC-798	501	Centennial St.	Nyquist House		Not Eligible	
GD-RWC-799	502	Centennial St.	Sell House		Not Eligible	
GD-RWC-909	ca. 10	Highway 63	Bridge 9040 (Hiawatha Bridge)	Hiawatha Bridge	Not Eligible	
GD-RWC-912	112	Bush St.	Riedell Shoes Inc.	Art Reach		Phase II

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GD-RWC-1371		Soo Line RR	CMSTPP RR Corridor Hist Dist, RW Seg	Soo Line Railroad	Phase II
GD-RWC-1373	ca. 416	Levee St.	Chic, Milw & St Paul Pump House		Phase II
GD-RWC-1378	ca. 700	5th St. E	Red Wing Water Dept. Pump House 2		Phase II
GD-RWC-1380	230	Ikata Dr.	Red Wing Sewage Pumping Station		Phase II
GD-RWC-1383	810	Levee Rd.	Burdick Grain Co. Terminal Elevator	Red Wing Grain Company	Phase II
GD-RWC-1384	810	Levee Rd.	CMSTPP RR Spur at Burdick Grain Co.	Railroad Spur at Red Wing Grain	Phase II
GD-RWC-1387	ca. 100	Highway 63	Bridge 9103		Phase II
GD-RWC-1389	153	3rd St. E	House		Not Eligible
GD-RWC-1390	223	3rd St. W	Red Wing Creamery Ice Cream Plant		Phase II
GD-RWC-1391	ca. 229	3rd St. W	Mississippi Valley Garden		Phase II
GD-RWC-1392	413	3rd St. W	Sherman Grocery	United Way	Phase II
GD-RWC-1393	429	3rd St. W	Commercial Building	Creative Clips	Phase II
GD-RWC-1394	314	4th St. W	Commercial Building	Zibble Insurance	Phase II
GD-RWC-1395	434	4th St. W	Downtown Plaza		Not Eligible
GD-RWC-1397	1527	4th St. W	Featherstone-Sweasy House		Phase II
GD-RWC-1398	1603	4th St. W	Metzler House		Phase II
GD-RWC-1400	1759	4th St. W	Doebler House		Phase II
GD-RWC-1401	1765	4th St. W	Tollison House	Millard House	Phase II
GD-RWC-1402	201	5th St. W	Chirnock House		Not Eligible
GD-RWC-1403	209	5th St. W	House		Not Eligible
GD-RWC-1404	303	5th St. W	Office Building	Palmquist Dental	Not Eligible
GD-RWC-1405	311	5th St. W	House	Body & Soul Massage-Shears Magik	Not Eligible
GD-RWC-1406	315	5th St. W	Livery	Sign Worx	Not Eligible
GD-RWC-1407	725	6th St. W	Hedin House		Phase II
GD-RWC-1408	1400	6th St. W	McCoy-Jorgensen House	Blue House	Phase II
GD-RWC-1410	233	Bluff St.	Light Industrial Building	Laune's Alignment	Not Eligible
GD-RWC-1411	312	Bluff St.	Automobile Service Garage		Not Eligible
GD-RWC-1412	321	Bluff St.	Warehouse	City of Red Wing Parks Building	Not Eligible
GD-RWC-1413	216-224	Bush St.	Goodhue Co. National Bank Annex	Associated Bank Annex	Phase II
GD-RWC-1414	319-321	Bush St.	Becker Grocery	Aliveo Military Museum	Phase II
GD-RWC-1415	404	Bush St.	Goodhue Co. Nat'l Bank Auto Bank	Associated Bank Auto Bank	Not Eligible
GD-RWC-1416	410	Bush St.	Supermarket	Koplin's Village Market	Not Eligible
GD-RWC-1417	419	Bush St.	Medical Block Clinic	Red Wing Community Development Office	Phase II

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GD-RWC-1418	503	Bush St.	Marigold Dairies	Hair Associates-Midwest Bonding	Not Eligible	
GD-RWC-1419	115	Dakota St.	Betcher Lumberyard Office	Central Lumber Company Office	Not Eligible	
GD-RWC-1420	ca. 215	East Ave.	Studebaker Park Parking Ramp			Phase II
GD-RWC-1421	209	Fulton St.	Warehouse		Not Eligible	
GD-RWC-1422	521	Hill St.	Miller House	Wilson-Ryan House		Phase II
GD-RWC-1424		Levee Rd.	Red Wing Harbor and Levee			Phase II
GD-RWC-1425	ca. 205	Main St. W	Behren's Supply Co. Annex			Phase II
GD-RWC-1426	315	Main St. W	Red Wing Shoe Co. Store-Museum			Phase II
GD-RWC-1427	328	Main St. W	LaGrange Park & Parking Ramp		Not Eligible	
GD-RWC-1428	412	Main St. W	Medical Block Clinic	St. James Hotel Shops		Phase II
GD-RWC-1429	416	Main St. W	Northern States Power	St. James Hotel Shops		Phase II
GD-RWC-1430	434	Main St. W	Young Men's Christian Association			Phase II
GD-RWC-1431	610	Main St. W	Lawrence Realty & Construction		Not Eligible	
GD-RWC-1432	620	Main St. W	Lawrence-Bohmbach Insurance		Not Eligible	
GD-RWC-1433	621	Main St. W	Econo Foods			Phase II
GD-RWC-1436	526	Minnesota St.	Mossberg House			Phase II
GD-RWC-1438	1166	Oak St.	RW City Hospital & Home	Goodhue County Historical Society		Phase II
GD-RWC-1439	401	Plum St.	First National Bank of Red Wing	Wells Fargo Bank		Phase II
GD-RWC-1440	425	Plum St.	Kohn Grocery	Red Wing Laundry & Cleaners		Phase II
GD-RWC-1441	501	Plum St.	Usem Furniture	Salvation Army (N part)	Not Eligible	
GD-RWC-1442	511	Plum St.	Bernie's Tire Shop	Salvation Army (S part)	Not Eligible	
GD-RWC-1443	512	Plum St.	Kruger Garage	AI's Antique Mall (N part)	Not Eligible	
GD-RWC-1444	514	Plum St.	Livery	AI's Antique Mall (S part)	Not Eligible	
GD-RWC-1445	301	Potter St.	Behren's Machine Service		Not Eligible	
GD-RWC-1446	321	Potter St.	Light Industrial Building	A-1 Commercial Cleaning-Annadee's	Not Eligible	
GD-RWC-1447	510	Potter St.	House		Not Eligible	
GD-RWC-1448		Highway 61	Highway 61, Red Wing Segment			Phase II
GD-RWC-1450	116	Potter St.	Red Wing Linseed Mills	Archer Daniels Midland (ADM) (NE part)	Not Eligible	
GD-RWC-1451			Red Wing Commercial Historic District			Phase II
GD-RWC-1452			Mississippi River 9' Channel, R W Seg			Phase II
GD-RWC-1453	ca. 500	Highway 61	Bridge 9449			Phase II
GD-RWC-1454	1917	Grandview Ave.	Olson House			Phase II

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